

# AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
OCTOBER 14, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## (I) CALL TO ORDER

## (II) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

## (III) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of Minutes for the September 30, 2025 Planning and Zoning Commission meeting.

### (2) **P2025-032 (HENRY LEE)**

Consider a request by Dean & Tina Sweat for the approval of a Final Plat for Lots 1 & 2, Block A, Sweat Addition for an 8.67-acre tract of land identified as Tract 23-2 of the S. McFadgin Survey, Abstract No. 142, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 200 Sabine Creek Road, and take any action necessary.

## (IV) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### (3) **Z2025-062 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

### (4) **Z2025-063 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a Tract 36 of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and take any action necessary.

### (5) **Z2025-064 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Phillip Craddock of Craddock Architecture, PLLC on behalf of Clay Shipman of Shipman Fire Protection for the approval of a Specific Use Permit (SUP) to exceed the Maximum Permissible Height in a Commercial (C) District on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1020 La Jolla Pointe Drive.

### (6) **Z2025-065 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bost of JBR2, LLC for the approval of an Specific Use Permit (SUP) for a Retail Store with Gasoline Sales that has more than Two (2) Dispensers on a 2.59-acre parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas,

zoned General Retail (GR) District, generally located at the south corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

## (V) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

### (7) **MIS2025-016 (HENRY LEE)**

Discuss and consider a request by Gary and Carol Byrd for the approval of a *Miscellaneous Case* for an *Exception* for [1] a *Front Yard Fence* and [2] to the *Fence Standards* for a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.

### (8) **MIS2025-017 (BETHANY ROSS)**

Discuss and consider a request by John Arnold of Skorburg Company for the approval of a *Miscellaneous Case* for an *Alternative Tree Mitigation Settlement Agreement* for a residential subdivision on a 98.40-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

### (9) **SP2025-039 (HENRY LEE)**

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing LP for the approval of a *Site Plan* for a *Restaurant with 2,000 SF or More with Drive-Through* on a 0.936-acre parcel of land identified as a portion of Lot 18, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located east of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

## (VI) DISCUSSION ITEMS

### (10) *Director's Report* of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2025-031: Final Plat for Lots 23 & 24, Block A, Rainbo Acres (**APPROVED**)
- P2025-033: Final Plat for Lot 2, Block G, Lake Rockwall Estates East Addition (**APPROVED**)
- P2025-034: Final Plat for Lots 1 & 2, Block A, Rockwall Medical Office Building Addition (**APPROVED**)
- P2025-035: Replat for Lot 9, Block A, Ellis Centre Phase 2 Addition (**APPROVED**)
- Z2025-050: Text Amendment to Article 11, *Development Applications and Review Procedures*, of the UDC for Failure to Appear (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-051: Text Amendment to Article 12, *Enforcement*, of the UDC for the Expiration of Building Permits (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-052: Text Amendment to Article 05, *District Development Standards*, of the UDC for the Southside Residential Neighborhood Overlay (SRO) District (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-053: Specific Use Permit (SUP) for a Carwash (**WITHDRAWN**)
- Z2025-054: Specific Use Permit (SUP) for a *Carport* and *Accessory Structure* at 2389 Saddlebrook Lane (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-055: PD Development Plan for a *Medical Office Building* at 1301 S. Goliad Street (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-056: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 308 Harborview Drive (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-057: Specific Use Permit (SUP) for a Residence Hotel (**TABLED TO THE NOVEMBER 3, 2025 CITY COUNCIL MEETING**)
- Z2025-058: Specific Use Permit (SUP) for an *Accessory Structure* at 2310 Sarah Drive (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-059: Zoning Change from Agricultural (AG) District to Planned Development District for Single-Family 1 (SF-1) District land uses (**1<sup>ST</sup> READING; APPROVED**)
- Z2025-060: Specific Use Permit (SUP) for an *Accessory Structure* at 710 Hartman Street (**2<sup>ND</sup> READING; APPROVED**)
- Z2025-061: Zoning Change (MF-14 to SF-7) in the Southside Residential Neighborhood Overlay (SRO) District (**2<sup>ND</sup> READING; APPROVED**)

## (VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on October 8, 2025 at 5:00 PM, and remained so posted for at least three (3) business days preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
SEPTEMBER 30, 2025 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC*  
4 *USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

## 6 I. CALL TO ORDER

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8 **Chairman. Dr. Jean Conway called the meeting to order at 6:00PM. Commissioners present were Ross Husting, John Hagaman, Carin Brock, Ellis Bentley, Douglas Roth and David Schoen. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee, Senior Planner Bethany Ross, Planning Coordinator Melanie Zavala, City Engineer Amy Williams and Civil Engineer Madelyn Price. Staff absent were Planning Technician Angelica Guevara and Assistant City Engineer Jonathan Browning.**

## 13 II. APPOINTMENTS

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15 **1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.**

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18 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.**

## 21 III. OPEN FORUM

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23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

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28 **Chairman Dr. Conway explained how open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being no one indicating such Chairman Dr. Conway closed the open forum.**

## 31 IV. CONSENT AGENDA

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33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

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36 **2. Approval of the Minutes for the September 9, 2025 Planning and Zoning Commission meeting.**

### 38 **3. P2025-031 (HENRY LEE)**

39 Consider a request by John McKinney of M & J Ranch Trail Holdings, LLC for the approval of a *Final Plat* for Lots 23 & 24, Block A, Rainbo Acres Addition being a 9.76-acre parcel of land identified as a portion of Lot 18 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 365 Ranch Trail, and take any action necessary.

### 43 **4. P2025-033 (BETHANY ROSS)**

44 Consider a request by Alejandro Perales on behalf of Ariel Palacios for the approval of a *Final Plat* for Lot 2, Block G, Lake Rockwall Estates East Addition being an 0.17-acre parcel of land identified as Lot 910-A0 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses, addressed as 178 Lynne Drive, and take any action necessary.

### 49 **5. P2025-034 (BETHANY ROSS)**

50 Consider a request by Jake Hodges of Kimley-Horn & Associated on behalf of Jeff Brockette of Vue Realty Group, LLC for the approval of a *Final Plat* for Lots 1 & 2, Block A, Rockwall Medical Building Addition being an 8.4841-acre tract of land identified as Tract 2-2 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the southeast corner of the intersection of S. Goliad Street [SH-205] and SH-276, and take any action necessary.

### 56 **6. P2025-035 (BETHANY ROSS)**

57 Consider a request by Ankit Parmar of Adat Construction LLC for the approval of a *Replat* for Lot 9, Block A, Ellis Centre Phase 2 Addition being a 0.70-acre parcel of land being identified as Lot 6, Block A, Ellis Centre Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1940 Alpha Drive, and take any action necessary.

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Commissioner Hustings made a motion to approve the Consent Agenda. Commissioner Schoen seconded the motion which passed by a vote of 7-0.

## V. PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

### 7. Z2025-053 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of RHC 1 Properties, LLC for the approval of a Specific Use Permit (SUP) for a Carwash on a 2.008-acre tract of land identified as a portion of Lot 1, Block A, the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2215 Ridge Road [FM-740], and take any action necessary.

Senior Planner Bethany Ross provided a brief summary in regard to the applicant's request. At the September 15 City Council meeting, the City Council voted unanimously (7-0) to remand this case back to the Planning and Zoning Commission. The purpose of the remand was to revise the building elevations to comply with the General Overlay District Standards and to provide an exhibit showing the locations of the detention areas and the trees that will be preserved following development. These exhibits have been included in your packets. Additionally, language has been incorporated to ensure conformance with the updated elevations. According to the Unified Development Code (UDC), any changes made to a case require that it be remanded to the Planning and Zoning Commission for further review. As a reminder, the Planning and Zoning Commission recommended approval of this case on September 9, by a vote of 6-1, with Commissioner Conway dissenting.

Commissioner Hagaman asked the Director of Planning and Zoning Ryan Miller why the previous elevations did not meet.

The Director of Planning and Zoning Ryan Miller explained the previous elevations did not meet the general overlay district standards, articulation, materials and building design did not conform or meet.

Commissioner Hagaman asked if the buildings across from this development if they're also in the Overlay District.

The Director of Planning and Zoning explained they were in the Overlay District.

Chairman Dr. Conway asked if the bays were still at the end.

Chairman Dr. Conway opened the public hearing and asked if anyone wished to speak to come forward at this time.

Laura Carr  
667 Stafford Circle  
Rockwall, TX 75087

Mrs. Carr came forward and explained that the population of Rockwall has grown tremendously over the years.

Director of Planning and Zoning Ryan Miller explained the official population for the City of Rockwall is around 52,000 and County would be 137,000.

Chairman Dr. Conway asked if anyone else who wished to speak to come forward at this time, there being no one indicating such; Chairman Dr. Conway closed the public hearing and brought the item back for discussion or action.

Dub Douphrate  
2235 Ridge Road  
Rockwall, TX 75087

Mr. Douphrate came forward and asked if there were any questions.

Commissioner Hagaman asked what could they build that would not require a Specific Use Permit.

Director of Planning and Zoning Ryan Miller explained that the property currently allows anything in a Commercial (C) District.

Commissioner Hagaman expressed he did not like the use of a carwash being there.

Commissioner Schoen explained he liked what was provided before.

Commissioner Brock expressed the same Specific Use Permit (SUP) has passed in the past, and now the Commission will change direction because they don't like the choice of business.

125 Commissioner Brock made a motion to approve case Z2025-053. The motion was seconded by Commissioner Hustings but failed. A subsequent  
126 motion was made to deny the case with prejudice.

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128 **8. Z2025-057 (BETHANY ROSS)**

129 Hold a public hearing to discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Conor Keilty, AIA of Structured  
130 REA-Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Residence Hotel on a 2.819-acre portion of a larger 4.767-acre  
131 parcel of land identified as Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District,  
132 situated within the FM-549 Overlay (FM-549 OV) District, generally located east of the intersection of FM-549 and Fit Sport Life Boulevard, and  
133 take any action necessary.

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135 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. At the September 15 City Council meeting, the City  
136 Council voted 7-0 to remand this case back to the Planning and Zoning Commission for the purpose of including language in the draft ordinance  
137 that requires the building elevations to meet the General Overlay District Standards and, per the applicants request, a list of affiliation names that  
138 the limited service/residential hotel could be changed to in the future if the brand changes per most recent STR Chain scale. In addition, the applicant  
139 provided a room matrix that shows that there will be 60 limited service hotel rooms and 36 residence hotel rooms. Staff has included these items  
140 within the draft ordinance and within your packets. Our UDC states that if any changes are made, the City Council must remand the case back to  
141 Planning and Zoning As a reminder, the Planning and Zoning recommended approval of this case on September 9<sup>th</sup> by a vote of 7-0.

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143 **Kash Patel**  
144 **221 Tanner Creeks Circle**  
145 **Sunnyvale, TX 75182**

146  
147 Mr. Patel came forward and expressed this area of Rockwall is growing and they can capture more business travelers.

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149 Commissioner Hagaman asked if

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151 Chairman Dr. Conway asked if anyone who wished to speak to come forward at this time, there being no one indicating such; Chairman Dr. Conway  
152 closed the public hearing and brought the item back for discussion or action.

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154 Commissioner Hustings made a motion to approve Z2025-057. Commissioner Brock seconded the motion which passed by a vote of 4-3 with  
155 Chairman Dr. Conway, Commissioner Hagaman and Commissioner schoen dissenting.

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157 **9. Z2025-059 (HENRY LEE)**

158 Hold a public hearing to discuss and consider a request by William Andrew Solomon of KRE 15, LLC for the approval of a Zoning Change from  
159 an Agricultural (AG) District to a Planned Development District for Single-Family 1 (SF-1) District land uses on a 105.1004-acre tract of land  
160 identified as Tract 4 of the J. R. Marrs Survey, Abstract No. 152, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,  
161 situated within the SH-276 Overlay (SH-276 OV) District, generally located on the south side of SH-276 west of the intersection of SH-276 and  
162 E. FM-550, and take any action necessary.

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164 Senior Planner Henry Lee provided a brief summary in regard to the applicant's request. At the September 15 City Council meeting, the City Council  
165 voted 7-0 to remand this case back to the Planning and Zoning Commission. City Council had a few additional items that are requested from the  
166 applicant and given that they decided to comeback for review. They provided an amenity package, increase anti-monotony standards and more  
167 substantial entry monumentation and the inclusion of side entry garage. The applicant has returned to meet those standards and the first for the  
168 amenity center package and will be providing two covered pickleball courts. In addition, to increase anti-monotony standards they have that for  
169 every 25 homes constructed there shall not be more then one matching building elevation. With a subdivision this size there should be potentially  
170 at least two (2) of the same home. In regard to the side entry garages they have included that as their garage orientation configuration.

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172 Commissioner Schoen asked if everting is still staying the same other than the pickleball courts.

173  
174 **William Solomon**  
175 **4512 Legacy Drive**  
176 **Plano, Texas 75024**

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178 Mr. Solomon came forward and expressed that City Council had asked for an amenity and they had no issues with providing one.

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180 Commissioner Brock asked how they are able to accept the changes without any analysis and asked if they had any builders.

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182 Mr. Solomon provided details and explained the process.

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184 Chairman Dr. Conway opened the public hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating  
185 such; Chairman Dr. Conway closed the public hearing and brought the item back for discussion or action.

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187 Commissioner Schoen made a motion to approve Z2025-056. Commissioner Roth seconded the motion which passed by a vote of 7-0.

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189 Commissioner Brock asked if this land does not get developed would the next person who purchases the land would the zoning stay in place.

190 Commissioner Schoen made a motion to approve Z2025-056. Commissioner Roth seconded the motion which passed by a vote of 7-0.

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192 VI. ACTION ITEMS

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10. **SP2025-029 (HENRY LEE) [THE APPLICANT HAS TABLED THIS CASE TO OCTOBER 14, 2025]**

Discuss and consider a request by Pene Sherman of P. Sherman Construction on behalf of Adam Mitchell for the approval of a Site Plan for an existing Office/Warehouse building on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 IH-30, and take any action necessary.

11. **SP2025-032 (HENRY LEE)**

Discuss and consider a request by Hooman Sedaghat of Buildeng, LLC on behalf of Salvador Salcedo for the approval of a Site Plan for an Office/Warehouse Building on a 0.45-acre parcel of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, being zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

Senior Planner Henry Lee provided a brief summary regarding the applicant's request for approval of a Site Plan for an office warehouse building. The request was initially denied by the Planning and Zoning Commission on November 14, 2023. The applicant resubmitted the case on March 15, 2024, but subsequently withdrew the application. A third submission was made on June 14, 2024, which was again denied, primarily due to an exception request related to off-street loading dock screening requirements. The main changes from the previous submissions include modifications to the building elevations. However, issues remained, particularly the placement of one loading dock facing Whitmore Road and another on the left side of the building, which did not meet screening requirements. Additionally, the applicant increased the parapet height, impacting the articulation requirements, and did not provide any compensatory measures to address this deficiency. The Architectural Review Board (ARB) also recommended denial of the request.

Hooman Sedaghat  
2202 Pebblebrook Ct  
Grande Prairie TX 75050

Mr. Sedaghat came forward and asked if there were any questions.

Commissioner Hagaman explained that it is the same drawing from the first time they submitted, asked why the changes have not been made.

Commissioner Schoen asked why the doors would face the street.

Commissioner Roth made a motion to deny SP2025-032. commissioner Schoen seconded the motion which was denied by a vote of 7-0.

12. **SP2025-033 (BETHANY ROSS)**

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kim Timpa for the approval of a Site Plan for an Office Building on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District land uses, addressed as 906 S. Goliad Street [SH-205], and take any action necessary.

Senior Planner Bethany Ross provided a brief summary regarding the applicant's request for Site Plan approval for the construction of an office building within the General Commercial District. The proposed development meets all applicable standards of the district, with the exception of the building articulation requirements. To address this exception, the applicant is offering two compensatory measures: a landscape coverage of 55 percent, which exceeds the required 20 percent, and the use of 100 percent masonry materials for the building exterior. As a condition of approval, the applicant will be required to submit a landscape plan that includes structured three-tiered screening, as well as a photometric plan that complies with the requirements of the Unified Development Code.

Dub Douphrate  
2235 ridge Road  
Rockwall, TX 75087

Commissioner Hagaman asked if Hardie board was masonry.

Commissioner Hustings made a motion to approve SP2025-033. Commissioner Schoen seconded the motion which passed by a vote of 7-0.

13. **MIS2025-013 (HENRY LEE)**

Discuss and consider a request by Brad Helmer of Heritage Christian Academy (HCA) for the approval of a Miscellaneous Case for an Exception to the Fence Requirements for a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition, City of

254 Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, situated  
255 within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.  
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257 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting an exception to the fence material  
258 requirements. This Planned Development District is within a base zoning of multi-family district. In that Multi-family district, you are permitted either  
259 a wrought iron or a masonry wall. In lieu of doing either a wrought iron fence or a masonry wall they're requesting to do a black vinyl coding chain  
260 link fence which is not inconsistent with other athletic fields that have been seen in the City.

261  
262 Brad Helmer  
263 2917 Chuck Wagon Drive  
264 Rockwall, TX 75032  
265

266 Mr. Helmer came forward and expressed they needed something for their football players to practice.  
267

268 Commissioner Hustings made a motion to approve MIS2025-013. Commissioner Hagaman seconded the motion which passed by a vote of 7-0.  
269

270 14. MIS2025-014 (BETHANY ROSS)

271 Discuss and consider a request by Kristin & Joshua Whitaker for the approval of a *Miscellaneous Case* for a *Front Yard Fence* on a 0.3880-acre  
272 parcel of land identified as Lot 7, Block M, The Shores Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District  
273 3 (PD-3) for Single Family 10 (SF-10) District land uses, addressed as 1000 Ridge Road Court, and take any action necessary.  
274

275 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a front yard fence exception  
276 within the Single-Family 10 (SF-10) District for a four-foot-high wrought iron fence. Staff notes the presence of mature screening trees adjacent to  
277 the proposed fence on the subject property, which help mitigate visual impact. Additionally, the property directly east, owned by the Shores  
278 Homeowner's Association (HOA), includes a four-foot wrought iron fence that extends into the front yard of the subject property. The applicant has  
279 stated that the proposed fence will connect to the existing HOA fence, maintaining design consistency. The fence does not appear to enclose or  
280 obstruct the view of the primary structure, and therefore is not expected to negatively affect adjacent properties. However, it should be noted that  
281 any request for a front yard fence exception is subject to the discretionary approval of the Planning and Zoning Commission.  
282

283 Kristin Whitaker  
284 1001 Ridge Road Ct  
285 Rockwall, TX 75087  
286

287 Mrs. Whitaker came forward and provided additional details in regards to the applicant's request.  
288

289 Commissioner Hagaman made a motion to approve MIS2025-014. Commissioner Hustings seconded the motion which passed by a vote of 7-0.  
290

291 VII. DISCUSSION ITEMS  
292

293 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases*  
294 *that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can*  
295 *take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning*  
296 *Commission public hearing and/or action date for the following cases is October 14, 2025.*  
297

298 15. Z2025-062 (BETHANY ROSS)

299 Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC  
300 for the approval of a *Specific Use Permit (SUP)* for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land  
301 identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7  
302 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.  
303

304 Hunter Hayes  
305 10517 Takala Drive  
306 Fort Worth, TX 76179  
307

308 Andrew Shall  
309 1415 Dominion Street  
310 Dallas, TX 75208  
311

312 Soni Cheng  
313 5315 Isidore Lane  
314 Missouri City, TX 77459  
315

316 Chau Guo  
317 5315 Isidore Lane  
318 Missouri City, TX 77459



319 Mr. Hayes came forward and explained this would benefit the Harbor.

320  
321 Commissioner Roth asked if they had stores elsewhere.

322  
323 Mr. Cheng explained they did have other locations.

324  
325 Commissioner Schoen asked if this was a concept that has been in the DFW.

326  
327 Commissioner Roth explained he is in favor of the request.

328  
329 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on October 14, 2025.

330  
331 16. **Z2025-063 (BETHANY ROSS)**

332 Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a *Specific Use Permit (SUP)* for Residential  
333 *Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a  
334 Tract 36 of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as  
335 902 Aluminum Plant Road, and take any action necessary.

336  
337 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. This is a Specific Use Permit for Residential infill adjacent  
338 to Park Place Phase 2. The proposed home meets all of the density and dimensional requirements for a single-family home in a Single Family 7  
339 District

340  
341 TJ Mutcherson  
342 1549 Wyler Drive  
343 Forney TX75126

344  
345 Mr. Mutcherson came forward and provided additional details.

346  
347 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on October 14, 2025.

348  
349 17. **Z2025-064 (BETHANY ROSS)**

350 Hold a public hearing to discuss and consider a request by Phillip Craddock of Craddock Architecture, PLLC on behalf of Clay Shipman of  
351 Shipman Fire Protection for the approval of a *Specific Use Permit (SUP)* to exceed the *Maximum Permissible Height in a Commercial (C)*  
352 *District* on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2  
353 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay  
354 (IH-30 OV) District, addressed as 1020 La Jolla Pointe Drive.

355  
356 Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. This is a Specific use permit to exceed the maximum  
357 height within the Commercial (C) District. The maximum height is 60 feet within a commercial district and the applicant is requesting 91 feet.

358  
359 Phillip Craddock  
360 551 Embargo Drive  
361 Fate, TX 75189

362  
363 Mr. Craddock came forward and provided additional details in regards to the request.

364  
365 Commissioner Hagaman asked how tall the current building is.

366  
367 Commissioner Brock asked where the EDC building would be built.

368  
369 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on October 14, 2025.

370  
371 18. **Z2025-065 (HENRY LEE)**

372 Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of D. W. Bost of JBR2, LLC  
373 for the approval of an *Specific Use Permit (SUP)* for a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* on a 2.59-acre  
374 parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District,  
375 generally located at the south corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

376  
377 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a retail store with gasoline sales  
378 and previously they had a SUP approved and since then they have expired.

379  
380 Phillip Craddock  
381 551 Embargo Drive  
382 Fate, TX 75189

384 Mr. Craddock came forward and provided additional details in regards to the request.

385  
386 Commissioner Hagaman asked if this would match the other buildings.

387  
388 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on October 14, 2025.

389  
390 19. **P2025-032 (HENRY LEE)**

391 Discuss and consider a request by Dean & Tina Sweat for the approval of a Final Plat for Lots 1 & 2, Block A, Sweat Addition for an 8.67-acre  
392 tract of land identified as Tract 23-2 of the S. McFadgin Survey, Abstract No. 142, City of Rockwall, Rockwall County, Texas, situated within  
393 the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 200 Sabine Creek Road, and take any action necessary.

394  
395 Senior Planner Henry Lee explained Rockwall County would need to review,

396  
397 20. **SP2025-039 (HENRY LEE)**

398 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing LP for  
399 the approval of a Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through* on a 0.936-acre parcel of land identified as a portion of  
400 Lot 18, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located east  
401 of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

402  
403 Senior Planner Henry Lee provided a brief summary in regard to the applicants request. The applicant is requesting a Site Plan for a Restaurant with  
404 2,000SF. ARB did make a recommendation for approval as long as they do not make any changes to the building.

405  
406 Mike Stansberry  
407 101 E Cherokee Street  
408 Jacksonville, TX 75766

409  
410 Keaton Mai  
411 10755 Sanden Drive  
412 Dallas, TX 75238

413  
414 Commissioner Hagaman asked if brick would match the other restaurant around it.

415  
416 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on October 14, 2025.

417  
418 21. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 419  
420 • P2025-028: Final Plat for Phase 1 of the Southside Hills Subdivision (**APPROVED**)  
421 • P2025-029: Replat for Lots 7 & 8, Block J, Sanger Addition (**APPROVED**)  
422 • P2025-030: Replat for Lots 3 & 4, Block A, Industrial Boulevard Addition (**APPROVED**)  
423 • Z2025-049: Text Amendment to Article 06, *Parking and Loading*, of the UDC for Garage Orientations (**2<sup>ND</sup> READING; APPROVED**)  
424 • Z2025-050: Text Amendment to Article 11, *Development Applications and Review Procedures*, of the UDC for Failure to Appear (**1<sup>ST</sup> READING;**  
425 **APPROVED**)  
426 • Z2025-051: Text Amendment to Article 12, *Enforcement*, of the UDC for the Expiration of Building Permits (**1<sup>ST</sup> READING; APPROVED**)  
427 • Z2025-052: Text Amendment to Article 05, *District Development Standards*, of the UDC for the Southside Residential Neighborhood Overlay  
428 (SRO) District (**1<sup>ST</sup> READING; APPROVED**)  
429 • Z2025-053: Specific Use Permit (SUP) for a *Carwash* (**REMANDED BACK TO THE PLANNING AND ZONING COMMISSION**)  
430 • Z2025-054: Specific Use Permit (SUP) for a *Carport and Accessory Structure* at 2389 Saddlebrook Lane (**1<sup>ST</sup> READING; APPROVED**)  
431 • Z2025-055: PD Development Plan for a *Medical Office Building* at 1301 S. Goliad Street (**1<sup>ST</sup> READING; APPROVED**)  
432 • Z2025-056: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 308 Harborview Drive (**1<sup>ST</sup> READING; APPROVED**)  
433 • Z2025-057: Specific Use Permit (SUP) for a *Residence Hotel* (**REMANDED BACK TO THE PLANNING AND ZONING COMMISSION**)  
434 • Z2025-058: Specific Use Permit (SUP) for an *Accessory Structure* at 2310 Sarah Drive (**1<sup>ST</sup> READING; APPROVED**)  
435 • Z2025-059: Zoning Change (AG to PD for SF-1) for a Residential Subdivision (**REMANDED BACK TO THE PLANNING AND ZONING**  
436 **COMMISSION**)  
437 • Z2025-060: Specific Use Permit (SUP) for an *Accessory Structure* at 710 Hartman Street (**1<sup>ST</sup> READING; APPROVED**)  
438 • Z2025-061: Zoning Change (MF-14 to SF-7) in the Southside Residential Neighborhood Overlay (SRO) District (**1<sup>ST</sup> READING; APPROVED**)

439  
440 VIII. ADJOURNMENT

441  
442 Chairman Dr. Conway adjourned the meeting at 7:45PM

443  
444 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
445 \_\_\_\_\_, 2025.

446  
447  
448  
449  
450  
451

Attest:

---

Melanie Zavala, Planning Coordinator

---

Dr. Jean Conway, Chairman



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** Dean & Tina Sweat  
**CASE NUMBER:** P2025-032; *Final Plat for Lots 1 & 2, Block A, Sweat Addition*

---

### SUMMARY

Consider a request by Dean & Tina Sweat for the approval of a *Final Plat* for Lots 1 & 2, Block A, Sweat Addition for an 8.67-acre tract of land identified as Tract 23-2 of the S. McFadgin Survey, Abstract No. 142, City of Rockwall, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 200 Sabine Creek Road, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a *Final Plat* of an 8.67-acre tract of land (*i.e. Tract 23-2 of the S. McFadgin Survey, Abstract No. 142*) for the purpose of creating two (2) lots (*i.e. Lots 1 & 2, Block A, Sweat Addition*). In accordance with the *Interim Interlocal Agreement By and Between the City of Rockwall and Rockwall County*, staff provided the applicant's plat to Rockwall County for review. Rockwall County determined that the submitted plat meets the requirements of the *Interim Interlocal Agreement By and Between the City of Rockwall and Rockwall County*.
- Conformance to the Interlocal Agreement.* The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Interim Interlocal Agreement by and Between the City of Rockwall and Rockwall County* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conformance to the Subdivision Ordinance.* The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval.* Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- Conformance of the Subdivision Plat.* With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Regulation for Review of Plats* in the Extraterritorial Jurisdiction (ETJ) of the City.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for *Lots 1 & 2, Block A, Sweat Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- (2) Any construction resulting from the approval of this *Final Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>3</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$3,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

### PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 200 Sabine Creek Rd  
 SUBDIVISION Sweet Addition LOT 1+2 BLOCK A  
 GENERAL LOCATION Hwy 276 + Sabine Creek Rd

### ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING AG (ETT) CURRENT USE  
 PROPOSED ZONING AG (ETT) PROPOSED USE  
 ACREAGE 8.67 LOTS [CURRENT] 2 LOTS [PROPOSED] 2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

### OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Dean Sweet + Tina Sweet  APPLICANT Same  
 CONTACT PERSON CONTACT PERSON  
 ADDRESS ADDRESS  
 CITY, STATE & ZIP CITY, STATE & ZIP  
 PHONE PHONE  
 E-MAIL E-MAIL

### NOTARY VERIFICATION (REQUIRED)

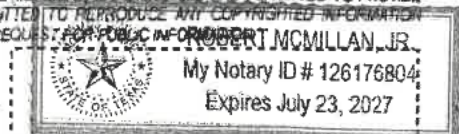
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dean Sweet [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 413.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20 DAY OF August, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. ICIV) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20 DAY OF August, 2025  
OWNER'S SIGNATURE Wendell D. Sweet

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

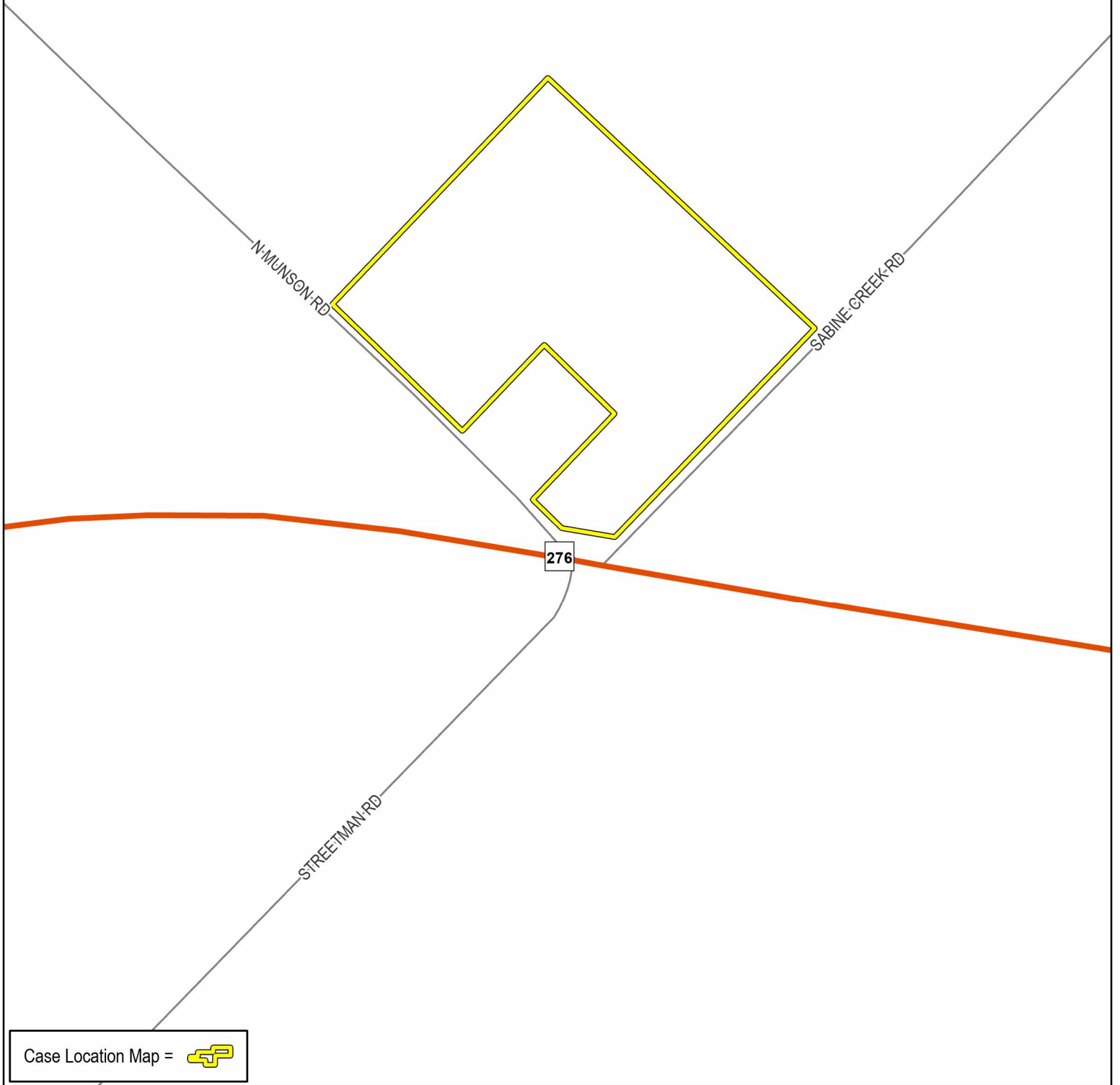
Robert M. McMillan Jr.



MY COMMISSION EXPIRES 7/23/27



P2025-032: Final Plat for Lots 1 & 2, Block A,  
Sweat Addition

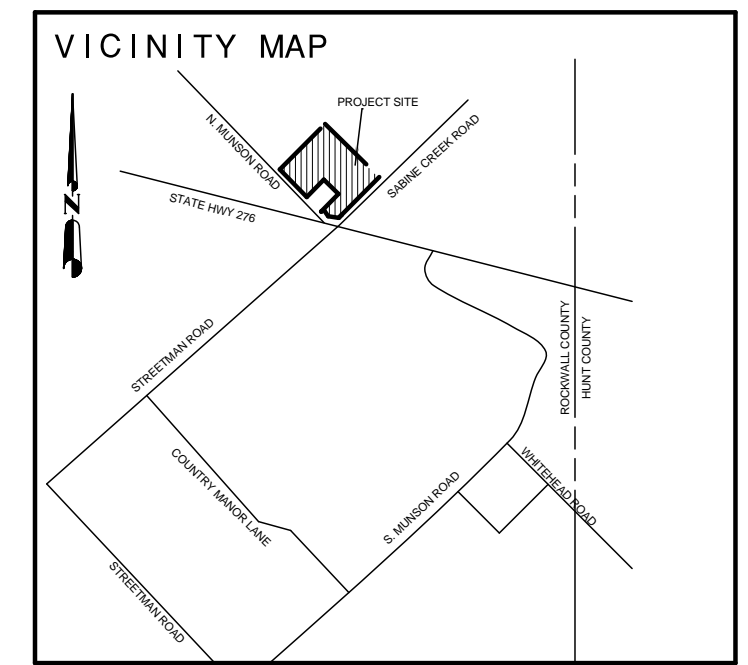


# City of Rockwall

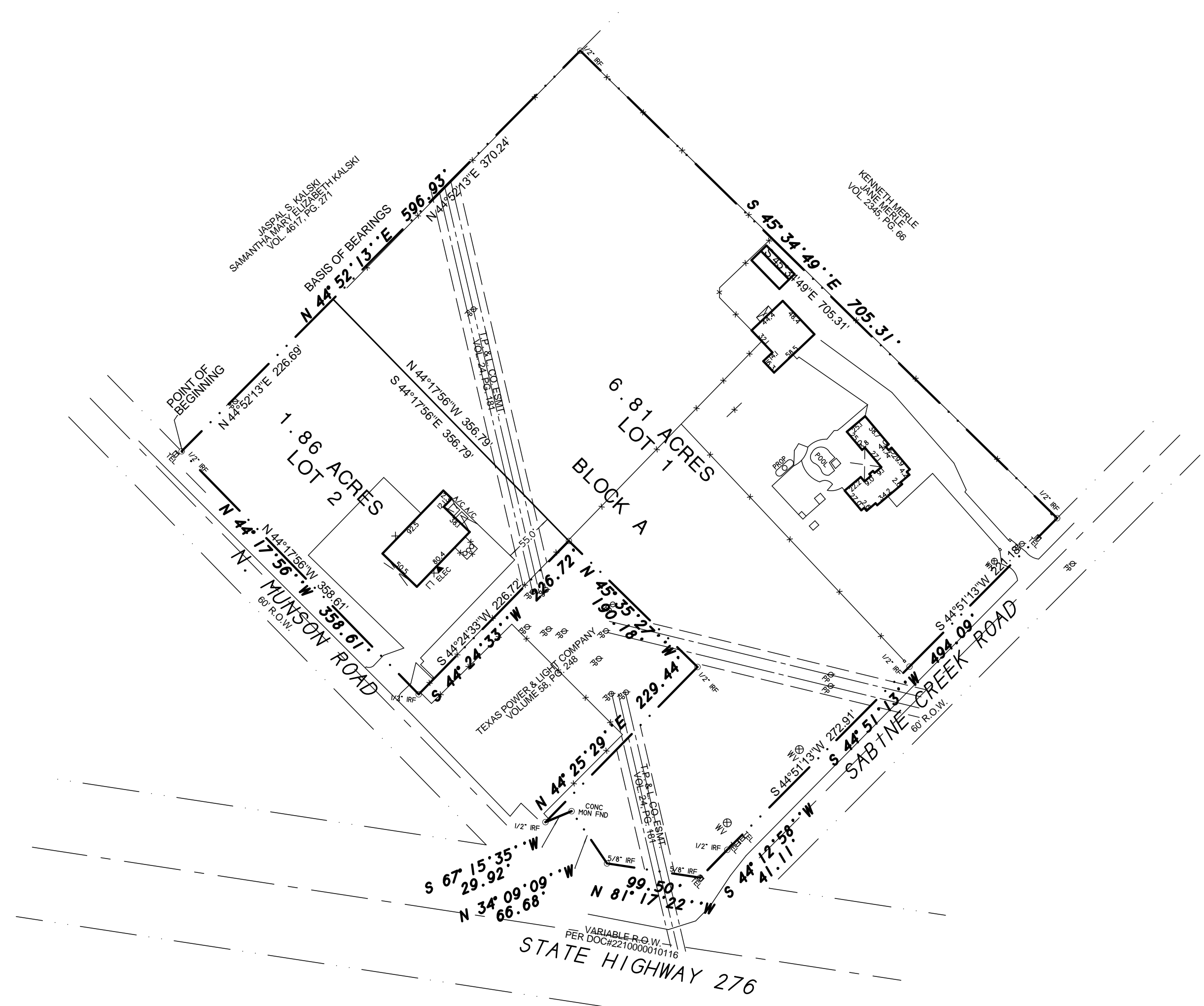
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





GRAPHIC SCALE 1"=100'



- GENERAL NOTES:
- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
  - (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
  - (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
  - (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
  - (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

- SURVEYOR'S NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0070 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
  - 2) BEARING SOURCE: RECORDED DEED.
  - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS " RPLS 5034."

FINAL PLAT  
**SWEAT ADDITION**  
**LOT 1 & 2**  
**BLOCK A**  
 2 LOTS - 8.67 ACRES/377,611 S.F.  
 SAMUEL MCFADGIN SURVEY, ABST. 142  
 ROCKWALL COUNTY, TEXAS

OWNERS:  
 WENDALL SWEAT  
 TINA SWEAT  
 200 SABINE CREEK RD  
 ROYSE CITY, TX 75189

**H.D. Fetty Land Surveyor, LLC**  
 Firm Registration no. 101509-00  
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SHEET 1 OF 2  
 SURVEY DATE JUNE 10, 2025  
 SCALE 1" = 100' FILE # 20250063-FP  
 CLIENT SWEAT



OWNER'S CERTIFICATE  
(Public Dedication)  
STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS, WENDALL SWEAT and TINA SWEAT, BEING THE OWNER OF A TRACT OF land in the McFADGIN SURVEY, ABSTRACT NO. 142, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the SAMUEL McFADGIN SURVEY, ABSTRACT NO. 142, Rockwall County, Texas, and being a part of a tract of land as described in a Warranty deed to Wendall Sweat and Tina Sweat, as recorded in Volume 1193, Page 188, Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the west corner of Sweat tract and in the northeast right-of-way line of N, Munson Road;

THENCE N. 44 deg. 52 min. 13 sec. E. along Sweat tract, a distance of 596.93 feet to a 1/2" iron rod found for corner at the north corner of same;

THENCE S. 45 deg. 34 min. 49 sec. E. a distance of 705.31 feet to a 1/2" iron rod found for corner in the northwest right-of-way of Sabine Creek Road;

THENCE S. 44 deg. 51 min. 13 sec. W. along said right-of-way a distance of 494.09 feet to a 1/2" iron rod found for corner;

THENCE S. 44 deg. 12 min. 58 sec. W. along said right-of-way, a distance of 41.11 feet to a TXDOT 5/8" iron rod with pink plastic cap found in the north right-of-way of State Highway 276;

THENCE N. 81 deg. 17 min. 22 sec. W. along said right-of-way, a distance of 99.50 feet to a TXDOT 5/8" iron rod with pink plastic cap found for corner;

THENCE N. 34 deg. 09 min. 09 sec. W. a distance of 66.68 feet to a TXDOT concrete monument found for corner;

THENCE S. 67 deg. 15 min. 35 sec. W. a distance of 29.92 feet to a 1/2" iron rod found for corner;

THENCE N. 44 deg. 25 min. 29 sec. E. a distance of 229.44 feet to a 1/2" iron rod found for corner;

THENCE N. 45 deg. 35 min. 27 sec. W. a distance of 190.18 feet to a 1/2" iron rod found for corner;

THENCE S. 44 deg. 24 min. 33 sec. W. a distance of 226.72 feet to a 1/2" iron rod found for corner in the northeast right-of-way of N. Munson Road;

THENCE N. 44 deg. 17 min. 56 sec. W. a distance of 358.61 feet to the POINT OF BEGINNING and containing 377,611 square feet or 8.67 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as LOTS 1 & 2, BLOCK A, SWEAT ADDITION an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in LOTS 1 & 2, BLOCK A, SWEAT ADDITION, have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

Wendall Sweat \_\_\_\_\_

Tina Sweat \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Wendall Sweat, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Tina Sweat, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public \_\_\_\_\_

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III  
Registered Professional Land Surveyor No. 5034



APPROVED: I hereby certify that the above and foregoing subdivision plat of LOTS 1 & 2, BLOCK A, SWEAT ADDITION, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

Mayor of City of Rockwall \_\_\_\_\_ Planning and Zoning Commission Chairman

City Secretary \_\_\_\_\_ City Engineer

STATE OF TEXAS  
COUNTY OF ROCKWALL

RECOMMENDED FOR FINAL APPROVAL

I, Frank New, County Judge of Rockwall County, Texas, do hereby certify that the foregoing plat was approved and accepted by the Commissioner's Court of Rockwall County on the \_\_\_\_\_ day of \_\_\_\_\_, 2025 as shown of record in the Minutes of said Court.

WITNESS MY HAND AND SEAL OF OFFICE IN ROCKWALL COUNTY, TEXAS, this the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Frank New  
Rockwall County Judge

ATTEST:

\_\_\_\_\_

FINAL PLAT

SWEAT ADDITION  
LOT 1 & 2  
BLOCK A

2 LOTS - 8.67 ACRES/377,611 S.F.

SAMUEL MCFADGIN SURVEY, ABST. 142  
ROCKWALL COUNTY, TEXAS

OWNERS:  
WENDALL SWEAT  
TINA SWEAT  
200 SABINE CREEK RD  
ROYSE CITY, TX 75189

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00  
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JUNE 10, 2025  
SCALE 1" = 100' FILE # 20250063-FP  
CLIENT SWEAT



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** Sairong Cheng; *Joyful Claw, LLC*  
**CASE NUMBER:** Z2025-062; *Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on October 29, 1973 by *Ordinance No. 73-40 [Case No. A1973-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 12, 1973, the City Council approved a zoning change from Agricultural (AG) District to Planned Development District 7 (PD-7) by adopting *Ordinance No. 73-47*. At the time of adoption, the planned development district permitted a combination of neighborhood service, water recreation, single-family, and multi-family land uses. This ordinance was later amended on August 2, 1982 by *Ordinance No. 82-36*, which incorporated a concept plan and expanded the land uses to include a commercial hotel, marina, retail, multi-family, and condominiums. On April 6, 1987, the Planned Development District was again amended to limit the land uses to include office, restaurants, hotel and marina. On March 6, 2017, the City Council approved a subsequent amendment to Planned Development District 7 (PD-7) by adopting *Ordinance No. 17-11 [Case No. Z2017-003]* for the purpose of incorporating a 0.30-acre portion of Lot 7 and all of Lots 3, 4, & 5, Block A, the Harbor-Rockwall Addition into Planned Development District 7 (PD-7). On February 6, 2017, the City Council approved a replat [*Case No. P2017-004*] for Lots 8 & 9, Block A, the Harbor-Rockwall Addition.

Since construction of the development, the subject property (*i.e. Suite R103*) has accommodated a variety of retail and office uses. On July 18, 2025, the applicant submitted an application for a Specific Use Permit (SUP) for *Indoor Commercial Amusement/Recreation* which the Planning and Zoning Commission reviewed on August 12, 2025, and ultimately approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 4-2, with Commissioners Roth and Bentley dissenting, and Commissioner Conway absent. The primary reason for the denial recommendation was the Planning and Zoning Commission did not feel the amount of information provided by the applicant was sufficient to make a positive recommendation. Based on this action, the applicant -- *Sairong Cheng* -- sent an email to staff, on August 14, 2025, requesting to withdraw *Case No. Z2025-047*. According to the applicant, the purpose of the withdrawal request was to allow the applicant time to resubmit additional information for the case that could better articulate their request and better clarify the proposed business for the Planning and Zoning Commission and City Council. On August 18, 2025, the City Council approved a motion to allow the applicant to withdraw the case. Subsequently, the applicant made a second submittal with the requested additional information on September 12, 2025.

### PURPOSE

The applicant -- *Sairong Cheng* -- is requesting the approval of a Specific Use Permit (SUP) to allow *Indoor Commercial Amusement/Recreation*, specifically an arcade, within the 4,800 SF suite (*i.e. Suite R103*) situated on the subject property.

## ADJACENT LAND USES AND ACCESS

The subject property is generally located in Suite R103 on 2071 Summer Lee Drive. The land uses adjacent to the subject property are as follows:

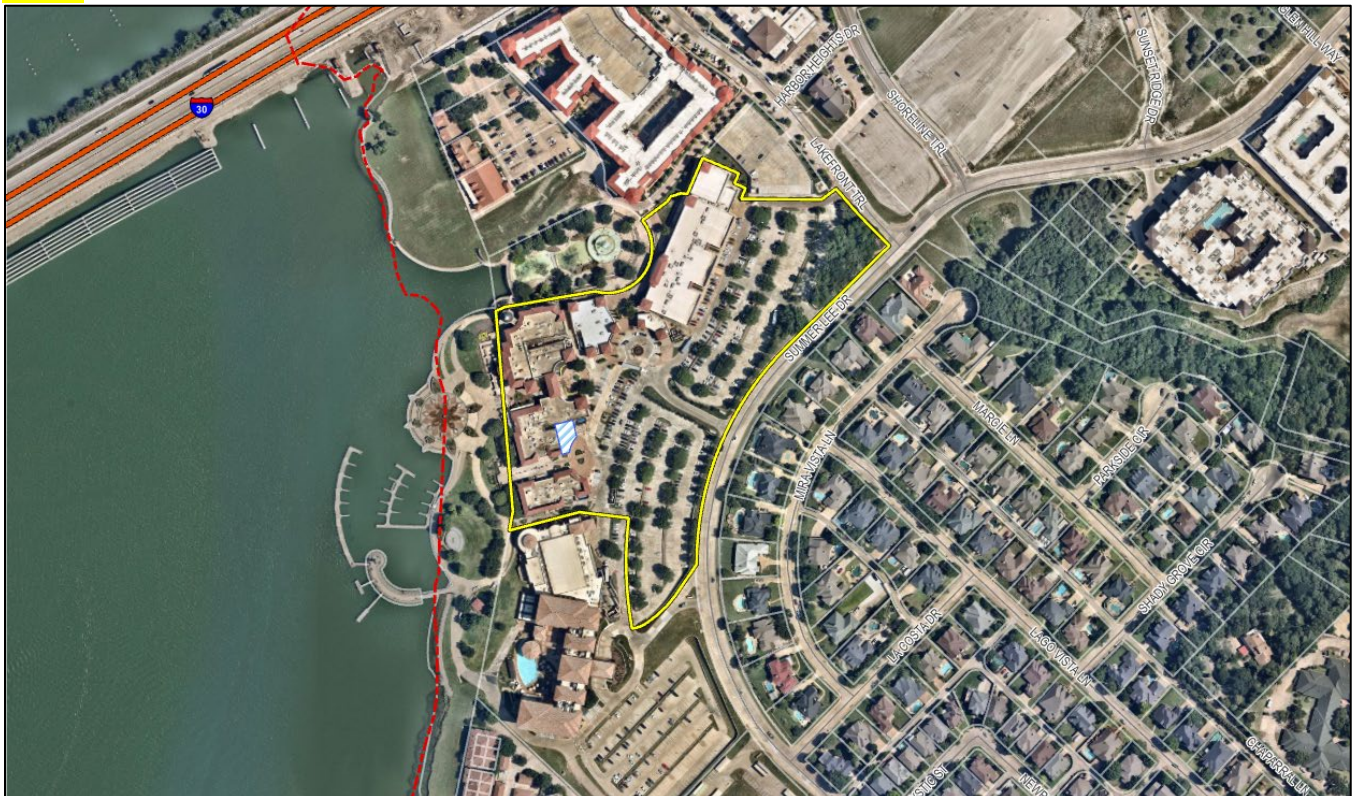
North: Directly north of the subject property is a general retail store (*i.e. En Fuego*) located at 2083 Summer Lee Drive, Suite 109. Beyond this is a small fountain at the Harbor and a *restaurant (i.e. Giovanni)* located at 2091 Summer Lee Drive, Suite 111. Beyond that is another *restaurant (i.e. Yuzu Japanese)*. All of these uses are located within the same structure as the subject property, zoned Planned Development District 7 (PD-7). Beyond this is a 1.7812-acre parcel of land (*i.e. Lot 6, Block A, The Harbor-Rockwall Addition*) zoned Planned Development District 7 (PD-7) and developed with the Harbor Fountain, which is owned and operated by the City of Rockwall.

South: Directly south of the subject property is a *restaurant (i.e. Twisty Treats)* located at 2065 Summer Lee Drive, Suite 103, and a general retail store (*i.e. Stephanie's Creative Space*) located at 2065 Summer Lee Drive, Suite 101. All of these uses are located within the same structure as the Suite R103, and are zoned Planned Development District 7 (PD-7). Beyond this is an 8.9244-acre parcel of land (*i.e. Lot 4, Block A, The Harbor-Rockwall*) which is zoned Planned Development District 7 (PD-7) and developed with a hotel (*i.e. Hilton*).

East: Directly east of the subject property is the remainder of Lot 8, Block A, The Harbor-Rockwall Addition, which is zoned Planned Development District 7 (PD-7) and developed with a parking lot. Beyond this is Summer Lee Drive which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lago Vista Subdivision, which consists of 92 lots and was incorporated in 1994 and zoned Planned Development District 18 (PD-18) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is a *restaurant (i.e. Tiffs Treats Bakery)* located at 2071 Summer Lee Drive, Suite 101, and a *restaurant (i.e. The Brass Tap)* located at 2075 Summer Lee Drive. These two (2) uses are located within the same structure as the subject property, and are zoned Planned Development District 7 (PD-7). Beyond this is the corporate limits of the City of Rockwall followed by the Lake Ray Hubbard Takeline.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



## **CHARACTERISTICS OF THE REQUEST**

The proposed *Indoor Commercial Amusement/Recreation* facilities (i.e. arcade games) are to be situated within a 4,800 SF suite designated as Suite R103 on the subject property. The applicant has provided a letter, floor plan for the recreational amenity that includes the proposed arcade machines and their locations as well as a rendering of similar arcades. The applicant also provided a Dallas Morning News article about the growing popularity of this type of facility. These have been provided in the attached packet.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 02.02(E), *Recreation, Entertainment and Amusement Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the proposed land use falls under the definition for *Indoor Commercial Amusement/Recreation* which is defined as “(a)ny enterprise whose main purpose is to provide the general public with a variety of amusing or entertaining activities, including such activities as skating rinks, bowling alleys, video arcades, billiard tables and similar enterprises, but does not include theaters and auditoriums.” In addition, according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Indoor Commercial Amusement/Recreation* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of this requirement is to acknowledge that the *Indoor Commercial Amusement/Recreation* land use is not appropriate within all of the areas of the City that are zoned General Retail (GR) District, and that the City Council should have discretionary oversight with regard to the establishment of this land use and its potential impacts on surrounding properties.

## **STAFF ANALYSIS**

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district.” In this case, the applicant is requesting to allow an arcade within the subject property. As mentioned earlier this use requires discretionary consideration as it may not be compatible with certain locations within General Retail (GR) Districts throughout the City. According to Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, the *Indoor Commercial Amusement/Recreation* land use has the following exemptions within the conditional land use standards: [1] Skill or coin-operated machines kept in private residences or apartments and used without charge by members of the family or bona fide guests, [2] Skill or coin-operated machines on the premises of religious, charitable, educational or fraternal organizations for the use of members or their guests, and not for private profit, although a charge is made for playing, and [3] Billiard or pool tables on the premises of publicly owned facilities. In this case, the arcade use appears to meet all the conditional land use standards. All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Harbor District*. As one of the primary gateways into the City of Rockwall, the *Harbor District* is envisioned as a pedestrian-oriented, mixed-use district that accommodates residential, non-residential, and public spaces. It is characterized by the “live, work and play” environment offering professional offices, scenic condominiums, a wide array of shopping, dining, entertainment, and recreational opportunities. The *Harbor District* is further intended to serve as a regional commercial hub, providing a distinct alternative to the local, small town shopping experience found in the Downtown Square. The subject property is designated as *Mixed Use* within this district, which is intended to foster walkable, pedestrian-friendly environment that blends multiple land uses. In this case, the proposed *Indoor Commercial Amusement/Recreation* appears to align with the entertainment component envisioned for the Harbor District. With that being said, since this use is permitted only by Specific Use Permit (SUP), it is at the discretion of the Planning and Zoning Commission and City Council if the proposed *Indoor Commercial Amusement/Recreation* meets the *District Strategies* outlined within the OURHometown Vision 2040 Comprehensive Plan; however, it does appear to generally conform with the intent of the existing development and the overall district.

## **NOTIFICATIONS**

On September 19, 2025, staff mailed 78 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At this time, staff has not received any notices in favor or in opposition of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Indoor Commercial Amusement/Recreation* within a General Retail (GR) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of the SUP ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2071 Summer Lee Drive, Suite R 103, Rockwall, TX 75032

SUBDIVISION Harbor - Rockwall The

LOT

8

BLOCK

A

GENERAL LOCATION HARBOR - ROCKWALL, THE, BLOCK A, LOT 8, ACRES 12.894, (REPLAT 2017)

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

Amusement Arcade Business

ACREAGE

12.89

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER PA Harbor Retail, LLC

APPLICANT Joyful Claw, LLC

CONTACT PERSON Jeff Carter

CONTACT PERSON Sairong Cheng

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Sairong Cheng [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 205.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8<sup>th</sup> DAY OF September, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

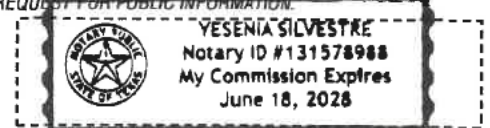
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8<sup>th</sup> DAY OF September, 2025.

OWNER'S SIGNATURE

*[Signature]*

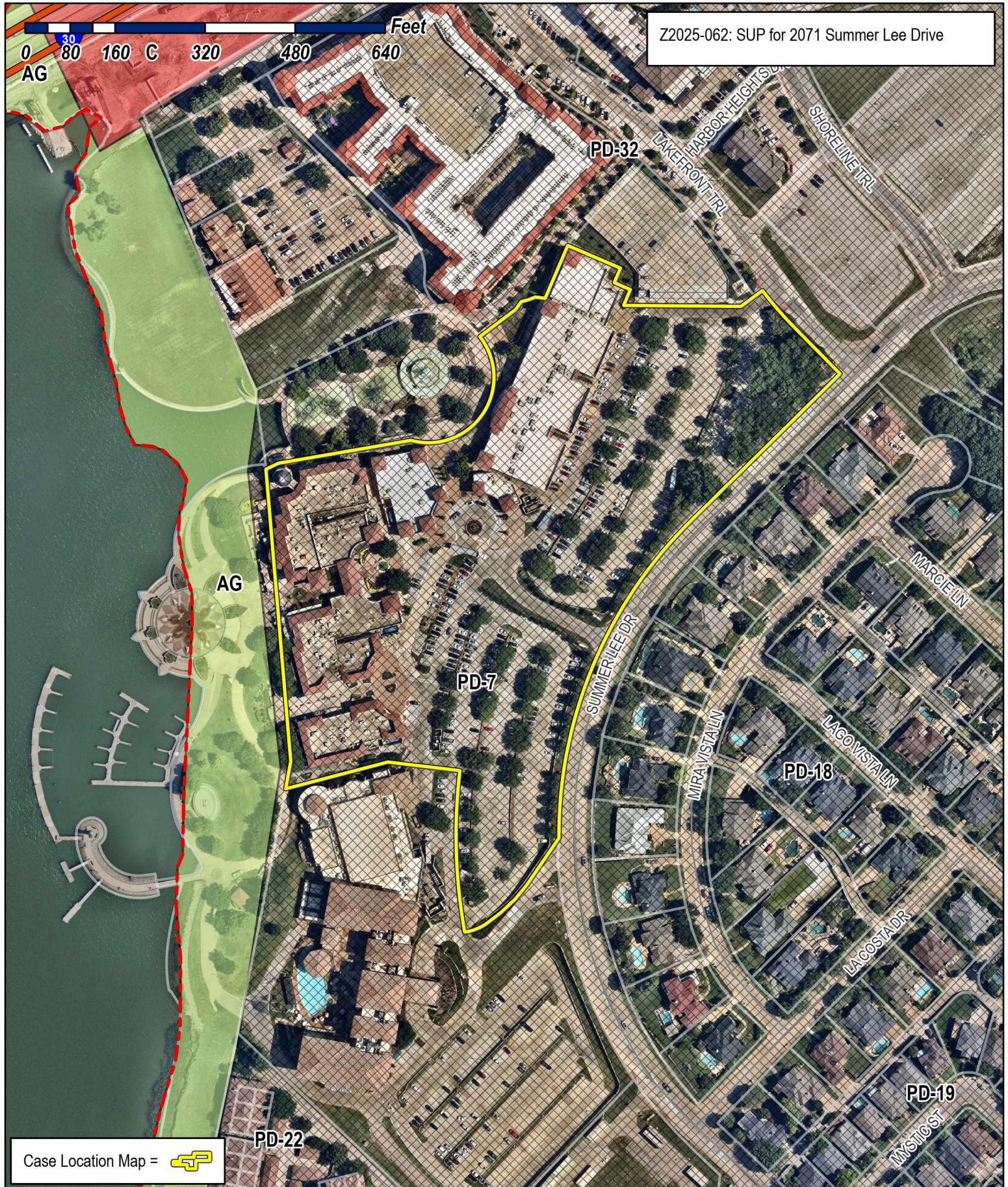
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*




MY COMMISSION EXPIRES

June 18, 2028



Z2025-062: SUP for 2071 Summer Lee Drive

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

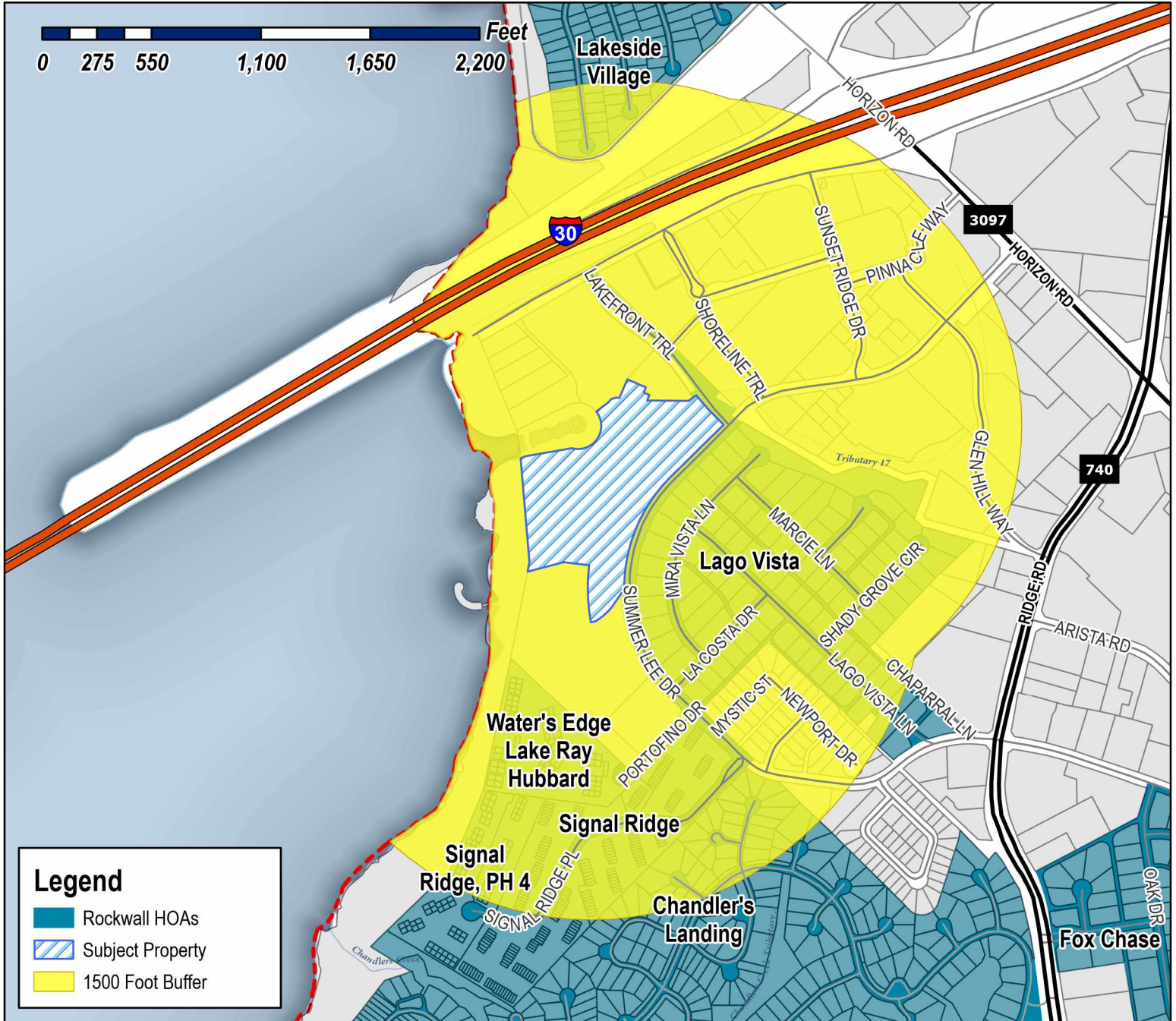




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**Case Number:** Z2025-062  
**Case Name:** SUP for 2071 Summer Lee Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development 7 (PD-7)  
 District  
**Case Address:** 2071 Summer Lee Drive

**Date Saved:** 9/10/2025  
 For Questions on this Case Call (972) 771-7745





**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2025-062]  
**Date:** Wednesday, September 17, 2025 11:18:05 AM  
**Attachments:** [Public Notice \(9.16.2025\).pdf](#)  
[HOA Map \(09.16.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 14, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 20, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-062: SUP for Indoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

Thank you,

*Melanie Zavala*

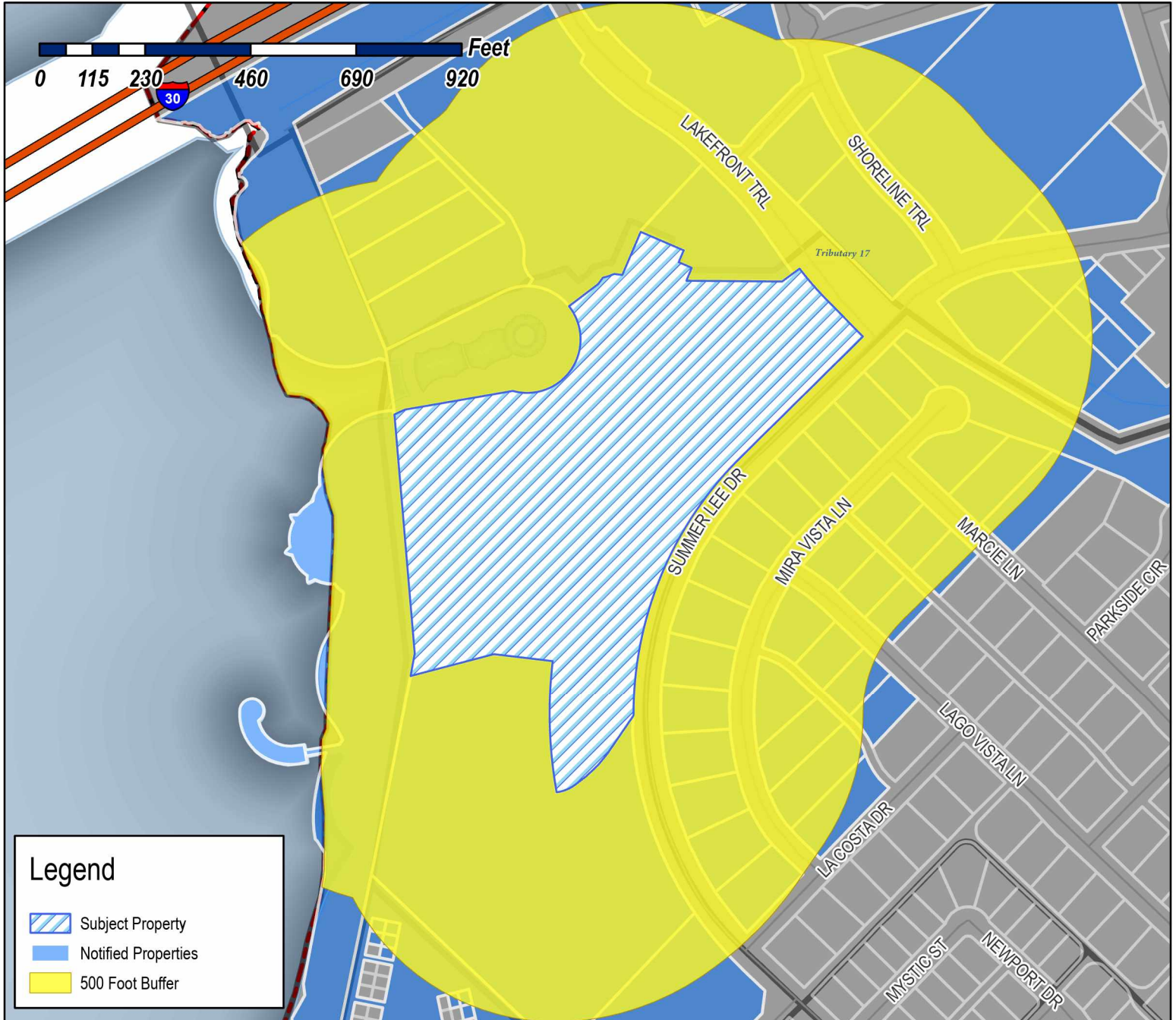
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

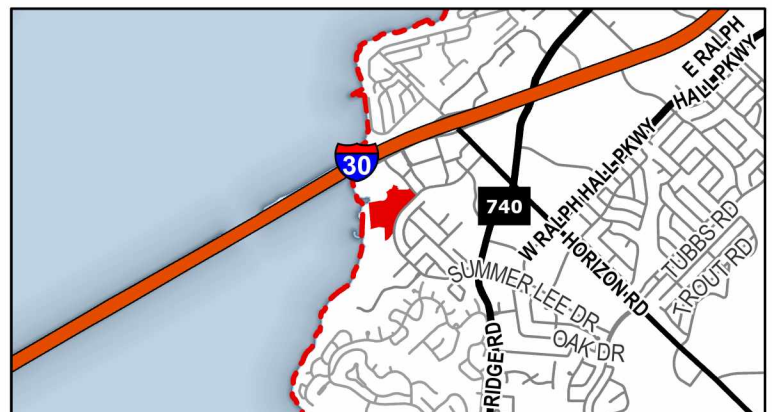
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**Case Number:** Z2025-062  
**Case Name:** SUP for 2071 Summer Lee Drive  
**Case Type:** Zoning  
**Zoning:** Planned Development 7 (PD-7)  
 District  
**Case Address:** 2071 Summer Lee Drive

**Date Saved:** 9/10/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1995SUMMER LEEDR  
ROCKWALL, TX 75087

HARVILLE BRET  
2003 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
201E130  
ROCKWALL, TX 75087

ARKOMA REALTY LTD  
A TEXAS LTD PARTNERSHIP  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

ARKOMA REALTY LTD  
A TEXAS LTD PARTNERSHIP  
203 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
203E130  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
205 W RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
2055SUMMER LEEDR  
ROCKWALL, TX 75087

RESIDENT  
2057SUMMER LEDR  
ROCKWALL, TX 75087

RESIDENT  
205I30  
ROCKWALL, TX 75087

BUSTILLO RAFAEL  
2197 PORTOFINO DRIVE  
ROCKWALL, TX 75032

TOMBLIN REGINALD WAYNE AND  
MARIA EMILY MATHEWS  
2201 PORTOFINO DR  
ROCKWALL, TX 75032

MOORE PATRICIA  
2203 PORTOFINO DRIVE  
ROCKWALL, TX 75032

KURT PFLIEGER REVOCABLE TRUST  
KURT LORING PFLIEGER - TRUSTEE  
2208 PORTOFINO DR  
ROCKWALL, TX 75032

EWING WENDY L  
2212 PORTOFINO DR  
ROCKWALL, TX 75032

KUBIT THOMAS MICHAEL & KIMBERLY D  
2214 PORTOFINO DR  
ROCKWALL, TX 75032

SARMIENTO FAMILY TRUST  
REYNALDO DOMINGO SARMIENTO - TRUSTEE  
2218 PORTOFINO DR  
ROCKWALL, TX 75032

RESIDENT  
2220PORTOFINODR  
ROCKWALL, TX 75087

ROCKWALL LOT 3 OWNER LLC  
255 Alhambra Cir Ste 760  
Coral Gables, FL 33134

2055 SUMMER LEE ROCKWALL OWNER LLC  
255 Alhambra Cir Ste 760  
Coral Gables, FL 33134

RESIDENT  
2600LAKEFRONTTRAIL  
ROCKWALL, TX 75087

RESIDENT  
2601LAKEFRONTTR  
ROCKWALL, TX 75087

HARBOR LAKE POINTE INVESTORS LLC  
2701 Sunset Ridge Dr Ste 607  
Rockwall, TX 75032

101 HUBBARD DR LLC  
2701 Sunset Ridge Dr Ste 610  
Rockwall, TX 75032

THOMPSON GARY  
2730 MIRA VISTA LN  
ROCKWALL, TX 75032

MCKINNEY MARVIN  
2738 MIRA VISTA LANE  
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J AND  
ROSALIE A CRACCHIOLO  
2748 MIRA VISTA LANE  
ROCKWALL, TX 75032

COOLIDGE JONATHAN S & CATHEY M  
2756 MIRA VISTA LN  
ROCKWALL, TX 75032

DOUGLAS JOETTA & ROY  
2766 MIRA VISTA LN  
ROCKWALL, TX 75032

BAILEY RICHARD A AND GENA B  
2774 MIRA VISTA LN  
ROCKWALL, TX 75032

TURNER KATHY BAIRD  
2782 MIRA VISTA  
ROCKWALL, TX 75032

RESIDENT  
2782MIRA VISTALN  
ROCKWALL, TX 75087

SIDEREAS BRENDON L ET UX  
2790 MIRA VISTA LN  
ROCKWALL, TX 75032

KIDD DAVID A AND MARY S SOTELO-KIDD  
2800 MIRA VISTA LANE  
ROCKWALL, TX 75032

RESIDENT  
2800LAKEFRONTTRL  
ROCKWALL, TX 75087

RESIDENT  
2800MIRA VISTALN  
ROCKWALL, TX 75087

YU JOHNNY & HAE SUK  
2804 MARCIE LN  
ROCKWALL, TX 75032

MILLER DARYL & CAMILLE STEARNS  
2805 LAGO VISTA LN  
ROCKWALL, TX 75032

VANHOV ENTERPRISES LLC  
2805 MARCIE LANE  
ROCKWALL, TX 75032

PRESTENBERG W JAY & PATSY R  
2806 LAGO VISTA LN  
ROCKWALL, TX 75032

POLGAR ROBERT PETER & MARLA  
2807 MIRA VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2808MIRA VISTALN  
ROCKWALL, TX 75087

BUTLER ROVON AND ROSALYN  
2813 LAGO VISTA LN  
ROCKWALL, TX 75032

CASSADY CHARLES P  
2814 MARCIE LN  
ROCKWALL, TX 75032

BENNETT CLIFF AND STELLA  
2815 MARCIE LN  
ROCKWALL, TX 75032

BRADFORD PATRICIA L  
2816 LAGO VISTA LN  
ROCKWALL, TX 75032

JOHNSTON MARK D AND LISA P  
2818 MIRA VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2821LAGO VISTALN  
ROCKWALL, TX 75087

FRY ROBIN KAY  
2822 MARCIE LN  
ROCKWALL, TX 75032

HOOD ANTOINE M & ROGUE N  
2823 MIRA VISTA LN  
ROCKWALL, TX 75032

NGUYEN LE MINHCHAU AND  
BRYAN NGUYEN LE AND JESSICA NGUYEN LE  
2824 LAGO VISTA LN  
ROCKWALL, TX 75032

RESIDENT  
2825MARCIELN  
ROCKWALL, TX 75087

MCBANE JANET T AND  
TRESA LEE MCBANE  
2828 MIRA VISTA LN  
ROCKWALL, TX 75032

TOLBERT MELISSA RENAE  
2834 LAGO VISTA LANE  
ROCKWALL, TX 75032

ROCHA GUADALUPE  
2835 Mira Vista Ln  
Rockwall, TX 75032

WOMBLE JOHN & GINGER  
2836 MIRA VISTA LN  
ROCKWALL, TX 75032

TAGGART FAMILY TRUST  
MICHAEL JORDAN TAGGART & KELLY ANNE  
TAGGART - TRUSTEES  
2843 MIRA VISTA LN  
ROCKWALL, TX 75032

SOLERO DANIEL J AND ANDREA  
2844 MIRA VISTA LN  
ROCKWALL, TX 75032

LAKE FRONT TRAIL LP  
2850 Shoreline Trl Ste 200  
Rockwall, TX 75032

TOP NOTCH LEASING LLC  
2900 S Peachtree Rd  
Balch Springs, TX 75180

RUBY REAL ESTATE, LLC  
3000 CUSTER RD STE 270 PMB 1595  
PLANO, TX 75075

LAKEFRONT TRAIL ROCKWALL HOTEL LP  
3021 RIDGE ROAD A-120  
ROCKWALL, TX 75032

RESIDENT  
303E130  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

BPD REALTY GROUP LLC  
4515 DORSET RD  
DALLAS, TX 75229

SARMIENTO FAMILY TRUST  
507 AZALEA LN  
MT PLEASANT, TX 75455

CRABB JESSICA M ESTATE OF  
C/O BANK OF AMERICA TRUST  
575 MARYVILLE CENTRE DR SUITE 511  
ST LOUIS, MO 63141

PA HARBOR RETAIL LLC  
8222 Douglas Ave Ste 390  
Dallas, TX 75225

PA HARBOR RETAIL LLC  
8222 Douglas Ave Ste 390  
Dallas, TX 75225

ABLON AT HARBOR VILLAGE OWNER LLC  
8222 DOUGLAS AVE STE 390  
DALLAS, TX 75225

CLEMENTS BOB L  
PO BOX 1850  
MCKINNEY, TX 75070

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER/SPATEX JV  
% GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

CULPEPPER /SPATEX JV  
%GARY SHULTZ  
PO BOX 190569  
DALLAS, TX 75219

ROCKWALL RENTAL PROPERTIES LP  
PO BOX 818  
TERRELL, TX 75160

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-062: SUP for Indoor Commercial Amusement/Recreation

Hold a public hearing to discuss and consider a request by Sairong Cheng of Joyful Claw, LLC on behalf of Jeff Carter of PA Harbor Retail, LLC for the approval of a Specific Use Permit (SUP) for Indoor Commercial Amusement/Recreation on a portion of a 12.89-acre parcel of land identified as Lot 8, Block A, the Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, Suite R103, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 14, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 20, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 20, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-062: SUP for Indoor Commercial Amusement/Recreation

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

September 12, 2025

Planning & Zoning Commission  
City of Rockwall  
385 S. Goliad St.  
Rockwall, TX 75087

## **Re: Specific Use Permit — Joyful Claw (Claw-Arcade Concept) at The Harbor**

Honorable Commissioners:

I represent the owners of **Joyful Claw**, a small-format, family-friendly claw machine arcade looking to secure a Special Use Permit at The Harbor. As you know, the Harbor is already positioned as Rockwall’s premier lakefront dining and entertainment destination. A family friendly low-impact arcade like Joyful Claw will increase dwell time, bridge mealtime peaks, and activate the waterfront year-round, especially during extreme heat/cold or inclement weather when outdoor options are limited.

### **Why Joyful Claw compliments The Harbor**

- **Pre- and post-meal activation.** Quick, “drop-in” play that pairs naturally with restaurant visits and lakefront strolls—boosting cross-shopping without requiring a large footprint.
- **All-ages, all-weather utility.** Approachable for children, teens, and adults; creates daytime family activity and safe evening entertainment while respecting the district’s ambience.
- **Light operational impact.** Smaller space needs, lighter sound, and modest parking demand—yet visible energy for the District.

### **How the machines work (Joyful Claw Play & Trade System)**

Joyful Claw uses a simple and transparent token-and-trade model designed to maximize guest satisfaction while encouraging repeat play:

- **Purchase tokens** (1 token = 1 play).
- **Pricing tiers:**
  - \$5 = 5 tokens
  - \$10 = 11 tokens
  - \$20 = 23 tokens
  - \$50 = 65 tokens
  - \$100 = 135 tokens
- **Play & win plushies.** Modern claw machines are calibrated to balance fun and attainability. Staff often assist by helping align the claw or ensuring younger children have a positive experience.
- **Redeem or exchange prizes.** Players may:
  - **Trade in plushies** for larger prizes (such as popular **Labubu** dolls), **or**
  - **Exchange plushies** for **Kingdom Coins** (1 plushie = 1 Kingdom Coin).

## Typical spend patterns (observational)

- Many families start with \$10–\$20 token bundles. For birthdays, special outings, or weekend visits, some families choose to purchase multiple bundles—occasionally spending a few hundred dollars in a single visit or across several visits—to accumulate enough small plush wins to trade up to an aspirational item like a Labubu.
- Because Kingdom Coins can be banked for future visits, guests aren't pressured to complete a trade-up in one session; families can pace spending responsibly while still enjoying immediate wins.

This system allows families to see immediate wins (plushies) while working toward larger aspirational prizes over time—encouraging both excitement and return visits. While claw win rates vary, consistent prize availability and staff support help ensure most guests experience success during their visit.

## Major operators are evolving toward crane/claw machines

Even the region's bigger entertainment concepts are expanding into modern claw experiences—an important signal of mainstream appeal. **Cidercade Fort Worth** recently added a separate, pay-to-play claw/prize redemption area (“new claw arcade expansion”), evolving beyond its traditional all-you-can-play model to meet guest expectations. **Round1 (Grapevine Mills)**, a national chain, actively markets Claw Machines as a core draw, and local visitors consistently praise the crane machine area. This is clear market validation that claw games attract families, refresh easily with new prizes, and drive repeat visits—the same outcomes Joyful Claw aims to deliver at The Harbor.

## DFW precedents: locations, tenure, and reviews

- **Round1 Bowling & Arcade — Grapevine Mills (Grapevine)**. Opened **May 2016**; widely recognized for a large crane/claw zone. Public review snapshots show **~4,800 Google reviews** with many crane-focused comments.
- **Cidercade — Fort Worth (TCU/District 90)**. Opened **August 23, 2022**; now features a new claw arcade expansion with a room of pay-to-play prize redemption games. Third-party tracking shows **~1,800 Google reviews** and strong ratings.
- **Side Quest Arcade — Firewheel Town Center (Garland)**. Opened **July 2024**; operator materials highlight **~40 claw/prize machines**. Early Google reviews indicate strong family appeal.
- **Clutch-Em — (Grand Prairie)**. Operating since **2022**; dedicated claw-machine arcade concept with active local following.
- **Nova Claw — Carrollton (Old Denton Rd.)**. Operating since early 2025; dedicated claw arcade focused on trendy plush and blind-box prizes.
- **Clawzania — Richardson & Arlington**. Richardson opened **October 2024**; Arlington grand opening **April 26, 2025**. Both are dedicated claw arcades with growing review activity.

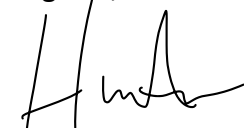


## Why this matters for The Harbor and Rockwall

- **Market validation.** The success of anchor-scale operators such as Round1, Cidercade, and Clawzania demonstrates that claw machines are no longer a niche attraction but a mainstream form of entertainment. When large, diversified venues dedicate significant square footage or create entirely new expansions for claw/prize machines, it signals that the demand is both sustained and profitable. These operators have access to guest data, foot traffic analytics, and revenue models at a scale far greater than a single small-format arcade, yet they continue to spotlight claw machines as a growth category. Their investment decisions effectively “de-risk” the concept for Rockwall, showing that Joyful Claw is not experimental but part of a proven national and regional trend with no other competitor stores within the general area. The Harbor can confidently capture this demand by offering a compact, family-friendly version tailored to its waterfront setting.
- **Event synergies.** Prizes and promotions can be themed to concerts, fireworks, and holiday markets—amplifying The Harbor’s brand and calendar as well as a birthday or other party type options.
- **Complementary economics.** Short, add-on visits between dining and shopping increase dwell time and support surrounding restaurants and retailers—without heavy infrastructure or noise.

In summary, **Joyful Claw** offers a light-touch, family-friendly amenity that complements The Harbor’s existing restaurants and retail tenants while mirroring successful precedents across DFW. Thank you for your consideration of our SUP request and we look forward to meeting with you on September 30 to discuss our business and any questions you may have in more detail.

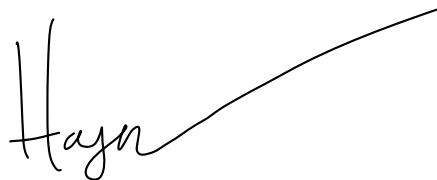
Regards,

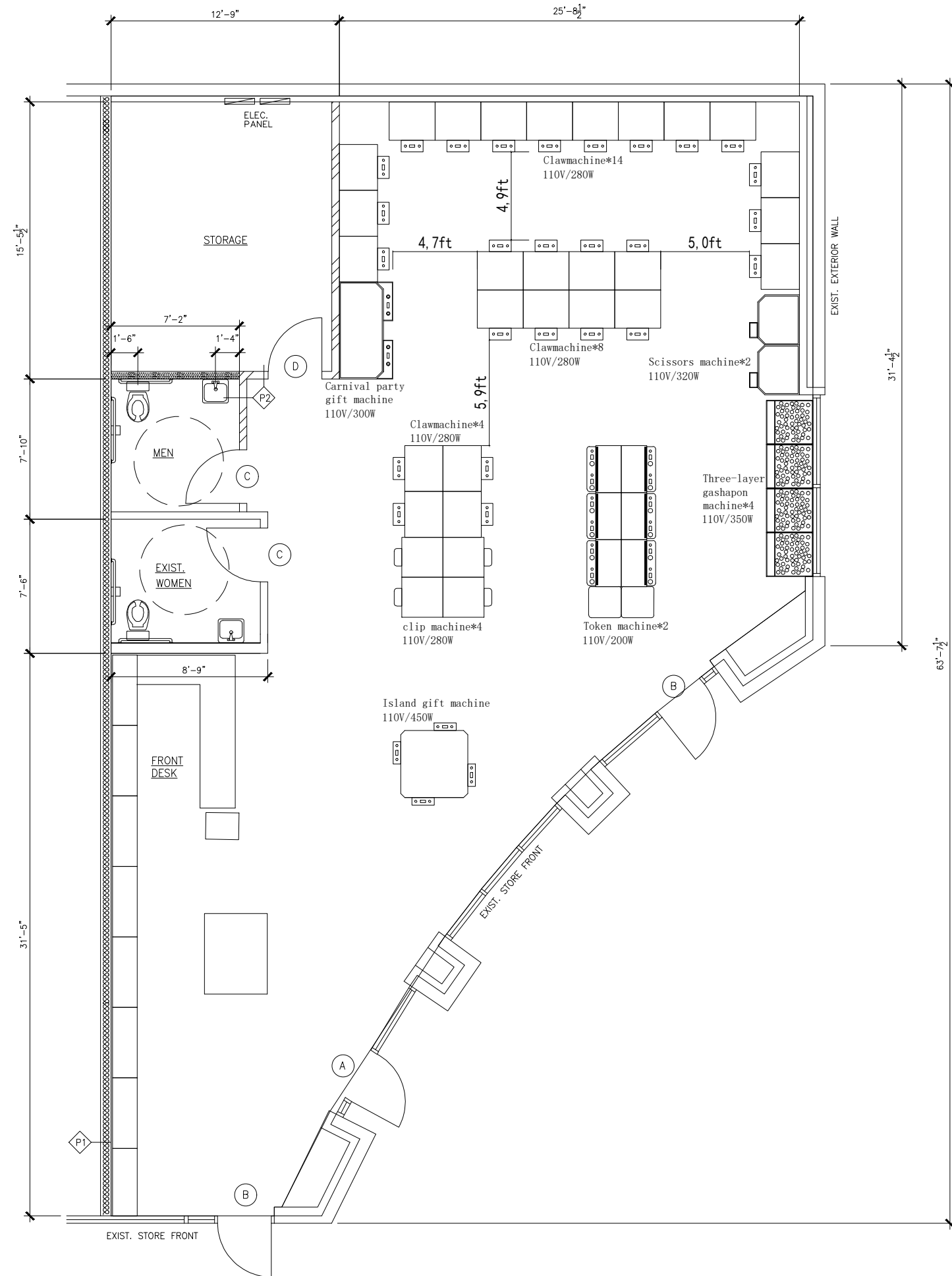


Hunter Hayes  
Broker/Representative

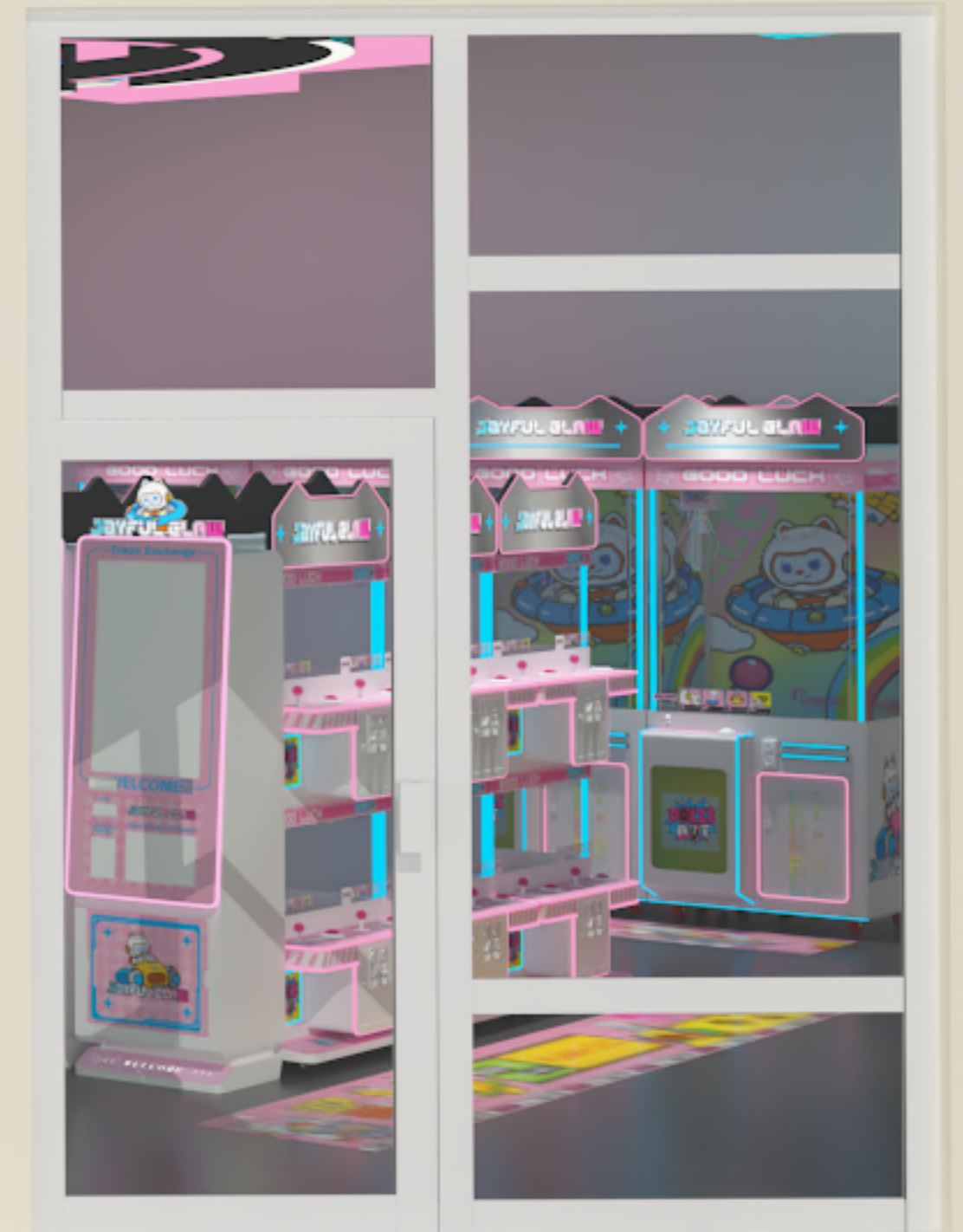
[hhayes@edge-re.com](mailto:hhayes@edge-re.com)

(214) 545-6939





  
**JOYFUL CLAW**



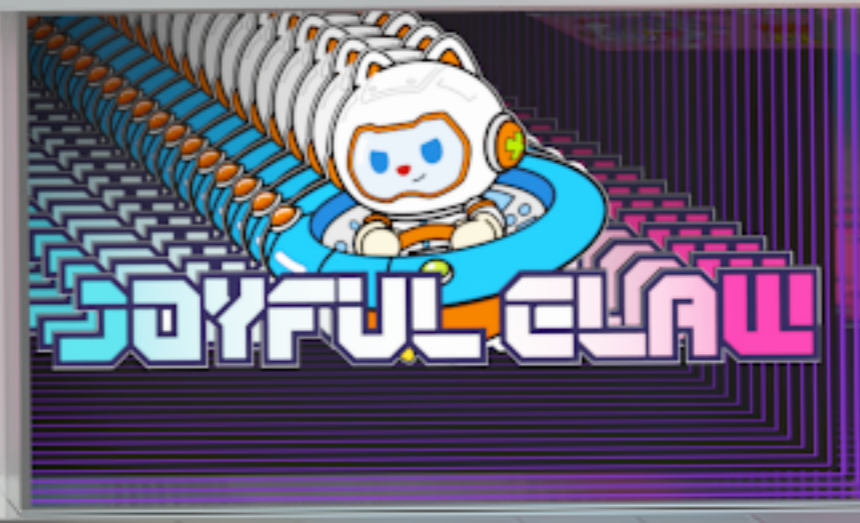


# service counter

WELCOME

WELCOME

WELCOME





GOOD LUCK

JOYFUL CLAW! GO!

JOYFUL CLAW!

GOOD LUCK

JOYFUL CLAW!

GOOD LUCK

JOYFUL CLAW!

LET'S GO

JOYFUL CLAW!

JOYFUL CLAW!

LET'S GO

CLAW DEN

JOYFUL CLAW!

JOYFUL CLAW!

GOOD LUCK

JOYFUL CLAW!

JOYFUL CLAW!

GOOD LUCK

JOYFUL CLAW!

WELCOME!



HAPPY GAMES

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

JOYFUL CLAW

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

GOOD LUCK

HAPPY GAMES

NICE!

HAPPY GAMES

Play Game

Play Game  
Play Game  
Play Game  
Play Game

Play Game  
Play Game  
Play Game  
Play Game

Play Game  
Play Game  
Play Game  
Play Game

WELCOME!

WELCOME!

FUNNY CAT

JOYFUL CLAW  
JOYFUL CLAW  
JOYFUL CLAW  
JOYFUL CLAW

GOOD LUCK

GOOD LUCK

GOOD LUCK

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

FUNNY CAT

CAT





PRIZE

PRIZE



JOYFUL CLAW

GOOD LUCK

HAPPY GAMES

NICE!

JOYFUL CLAW

GOOD LUCK

JOYFUL CLAW

GOOD LUCK

PRIZE OUT

PRIZE OUT

PRIZE OUT

PRIZE OUT

JOYFUL CLAW

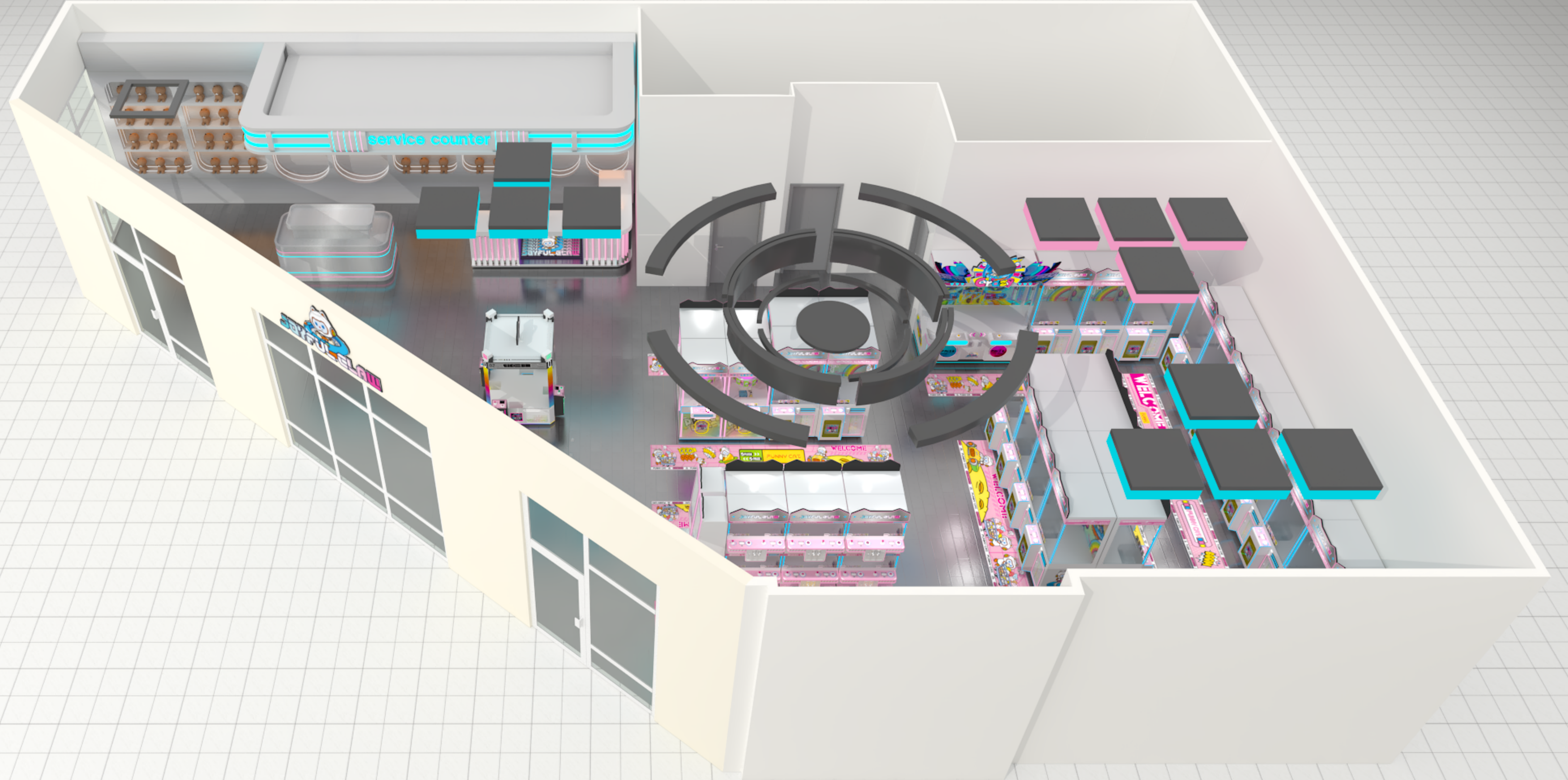
JOYFUL CLAW

PRIZE OUT

PRIZE OUT







PROJECT  
LOCATION



01 SITE PLAN  
A1.1



SI ARCHITECT  
4845 WILLOWBROOK BLVD  
Houston, Texas 77035  
Phone 281.977.2489  
Email CONTACT@SI-ARCH.COM



Joyful Claw  
2071 Summer Lee Dr, Suite B103  
Rockwell, Texas 78052

PROJECT INFORMATION

PROJECT No. 2027

DATE:

SCALE:

REVISION:

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Sheet:

SITE  
PLAN

A1.1

## What in the labubu is going on? North Texans are obsessed

On Sunday, labubu fans gathered at a festival in Dallas' RedBird Mall to buy the quirky plush dolls.



By [Elizabeth Myong](#)

Staff writer

Sep. 8, 2025

Updated 11:56 a.m. CDT



Fans wait to make a purchase at one of the vendor booths at the Labubu festival which was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

On Sunday afternoon at RedBird mall in Dallas, North Texans sipped on matchas and purchased labubus as the viral song “Golden” from Netflix’s *KPop Demon Hunters* blasted during a Labubu Festival.

The event, the third of its kind, shows North Texans’ love for the plush dolls has reached a fever pitch. In recent months, there have been dozens of labubu-themed events in North Texas from [raves](#) to markets and [cake-decorating classes](#).



A large crowd of fans attended a labubu festival filled with vendor booths, food and a plethora of labubu dolls. The Labubu festival was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

Inspired by Nordic mythology, the collectible labubu dolls sold by Chinese toy company PopMart have garnered a cultlike following with many crediting Blackpink's Lisa for its rise after she featured the toys on her social media last year. Now, labubus have a host of celebrity fans including Rihanna, Kim Kardashian and tennis star Naomi Osaka who at the U.S. Open in the past few weeks debuted [blinged out tennis-themed labubu dolls](#) including "Billie Jean Bling."



Naomi Osaka, of Japan, walks on the court with a Labubu doll hanging from her bag before playing against Amanda Anisimova, of the United States, during the women's singles semifinals of the U.S. Open tennis championships, Thursday, Sept. 4, 2025, in New York.

(AP Photo/Yuki Iwamura)

Yuki Iwamura / AP

Tram Nguyen, 33, was a vendor at Sunday's Labubu Festival in Dallas where she sold hand-crocheted hats and bags to accessorize labubus. She said she makes several hundred dollars at each festival with her most popular item being a hat and bag combo for \$15.



**Company making chocolate labubus and other viral confections to open D-FW shop**

Nguyen, who lives in Carrollton, said she's noticed labubu dolls seem to have a universal appeal regardless of age.

"It's everyone, like it's so surprising," she said. "You have kids that are like 5-years old up to people that are in their 40s and 50s collecting these labubus."



Aladeen Alhayek, right, takes a photo on his smartphone of himself and Amira Alhayek as they pose with a costumed labubu doll at the Labubu festival which was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

That's something that resonates with 51-year-old Arlington resident Roni West whose son Zaytoven, 33, bought her a mini labubu keychain. Back at home, she also has a large Zimomo labubu on a stand next to her TV.

For her, there's something nostalgic about labubus which remind her of the monchhichis, Japanese stuffed monkey toys, that were popular in the 70s and 80s.

"This is me telling my age, but I remember the monchhichis. And I guess this is just a newer trend of the monchhichis upgraded. So I'm just happy with the colors and color scheme of it all," she said.



### **Overnight lines, mall fights and instant sellouts: Labubu toy mania comes to America**

She attended a previous labubu festival earlier this year and plans on attending more in the future. West said part of the reason she attends festivals is because she trusts that vendors are selling authentic labubus and not lafufus, cheaper dupes of the toy, which have also become a lucrative market.

"It wasn't me who did, but I did have a friend who picked up one. And I was like, 'nah, man that's not real.' So yeah, it happens," she said.



Pictured from left, Pablo Medrano, Diana Medrano, 9, Daniela Ramirez and Rosa Medrano as they checked out a display of labubu products for display and sale at a Labubu festival which was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

Advertisement

Fourth grader Diana Medrano, 9, walked around the festival with her parents and cousin on the hunt for her second authentic labubu. She couldn't contain her excitement for the furry dolls, which she started collecting after a friend brought one to school.

"I kind of love having labubus," she said. "One of my brothers always says they're kind of like creepy for him, but I just said they're kinda cute for me. They're cute and you can dress them up!"

That's exactly what she did to the blue sea salt coconut macaron labubu hanging from her purse. She put a hot pink bracelet around its little waist to match the ruffles on her flamingo-themed shirt.



An aerial view of the Labubu festival which was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

Advertisement

Other festivalgoers like Gen Zers Elaine Wong, 25, and Maddie Reyna, 25, came to look at labubus but also to sell off some of their collections.

Part of the appeal of labubus is the suspense of opening up a blind box and not knowing what'll be inside. But that also creates surpluses for collectors who can end up with multiple of the same kind.

Reyna said she wants to sell her sesame bean and toffee labubus from the macaron series.

"I am trying to sell two of them just because ... I just want the ones that I want but I don't need all the series and all the types of them," she said.

Advertisement



A booth vendor directs fans through a variety of items on display for sale at the Labubu festival which was held at The Shops at RedBird in Dallas, on September 7, 2025.

Steve Hamm / Special Contributor

Though labubus at the festival ranged from about \$50 to \$400, Wong said buying labubus is well worth it.

“They are expensive, but so is like paying for a meal. It’s temporary joy. I want to spend the money how I want and this is what I choose to do with it,” she said.

Wong said there’s something freeing about doing what she wants with her adult money.

Advertisement

“I loved plushes when I was younger and this is kind of like healing my inner childhood by being able to purchase them with money that I wasn’t able to as a kid if you were turned down by your parents.”

For many North Texans, whether they’re actually kids or just kids at heart, that seems to be the draw of the quirky-looking fluffy dolls with gnashing teeth.



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 7 (PD-7) [*ORDINANCE NO. 17-11*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW INDOOR COMMERCIAL AMUSEMENT/RECREATION ON A PORTION OF A 12.89-ACRE PARCEL OF LAND IDENTIFIED LOT 8, BLOCK A, HARBOR-ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Sairong Cheng of Joyful Claw, LLC. on behalf of Jeff Carter of PA Harbor Retail, LLC. for the approval of a *Specific Use Permit (SUP)* for *Indoor Commercial Amusement/Recreation* on a portion of a 12.89-acre parcel of land identified Lot 8, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 7 (PD-7) for limited General Retail (GR) District land uses, addressed as 2071 Summer Lee Drive, and being more specifically depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Planned Development District 7 (PD-7) [*Ordinance No. 17-11*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow *Indoor Commercial Amusement/Recreation* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 7 (PD-7) [*Ordinance No. 17-11*]; Subsection 04.04, *General Retail* Z2025-062: SUP for Indoor Commercial Amusement/Recreation Ordinance No. 25-XX; SUP # S-3XX

(GR) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of the *Indoor Commercial Amusement/Recreation* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3<sup>RD</sup> DAY OF NOVEMBER, 2025.**

---

Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: October 20, 2025

2<sup>nd</sup> Reading: November 3, 2025

**Exhibit 'A'**  
**Location Map**

**Legal Description:** A Portion of Lot 8, Block A, Harbor-Rockwall Addition  
**Address:** 2071 Summer Lee Drive



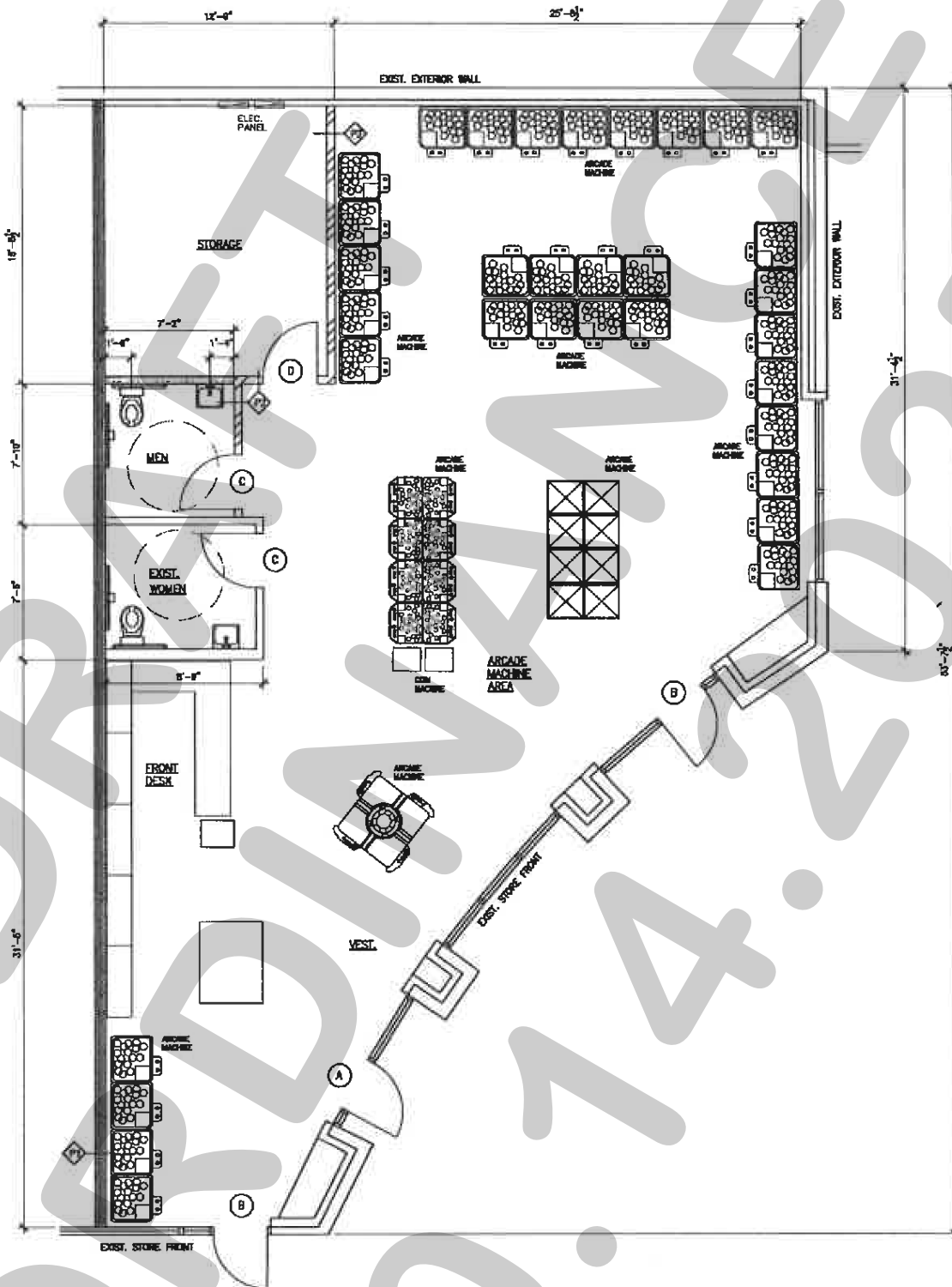
**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Exhibit 'B':**  
**Floor Plan**



**01 FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** T.J. Mutcherson  
**CASE NUMBER:** Z2025-063; *Specific Use Permit (SUP) for Residential Infill at 902 Aluminum Plant Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a Tract 36 of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on February 6, 1961 by *Ordinance No. 60-01 [i.e. Case No. A1960-001]*. According to the January 3, 1972 zoning map the subject property was zoned Single Family 3 (SF-3) District. At some point between January 3, 1972 and May 16, 1983 the subject property was rezoned to Single Family 7 (SF-7) District. The subject property has remained vacant since annexation.

### PURPOSE

The applicant -- *T.J. Mutcherson* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 Aluminum Plant Road. The land uses adjacent to the subject property are as follows:

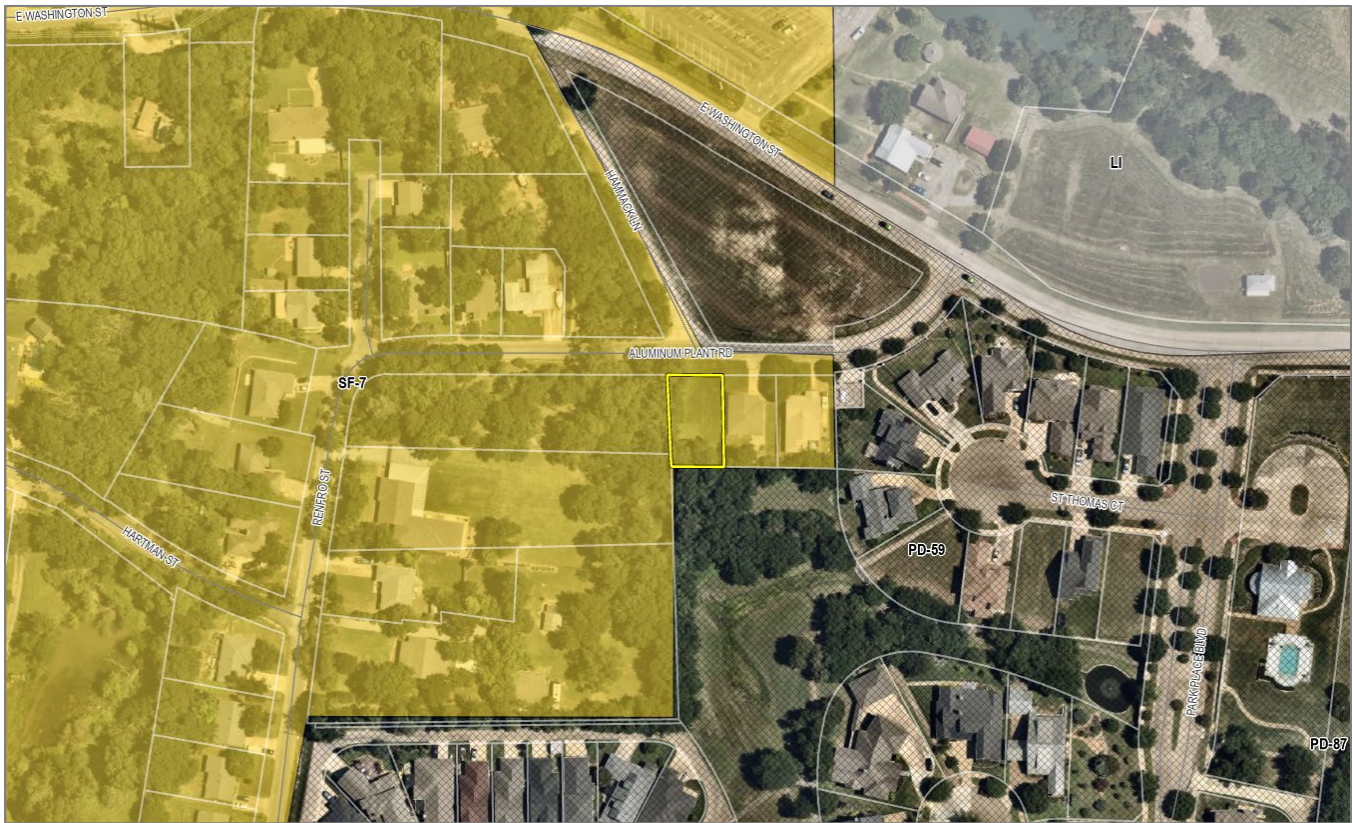
North: Directly north of the subject property is Aluminum Plant Road, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is Hammack Lane, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 1.26-acre tract of land (*i.e. Tract 32, of the R. Ballard Survey, Abstract No. 29*) owned by the City of Rockwall, and zoned Planned Development District 59 (PD-59) for Neighborhood Services (NS) District land uses. Beyond this is E. Washington Street, which is identified as an *A4D (i.e. arterial, four [4] lane, divided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 3.77-acre parcel of land (*i.e. Lot 4, Block X, Park Place West Phase 2 Addition*), zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses and currently owned by the Park Place Homeowner's Association (HOA) and used as drainage/open space. South of this is the rest of Park Place, Phase 2 Addition which was established in 2005, has 92 residential lots, and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses. South of this is Park Place West, Phase 3 Addition which was established in 2018, has 82 residential lots, and is zoned Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

East: Directly east of the subject property is a 0.159-acre tract of land (i.e. Tract 4-1, of R Ballard Survey, Abstract No. 29; 904 Aluminum Plant Road) which is developed with a single-family home, and zoned Single-Family 7 (SF-7) District. Beyond this is a 0.159-acre tract of land (i.e. Tract 4, of the R. Ballard Survey, Abstract No. 29; 906 Aluminum Plant Road) which is developed with a single-family home, and zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are two (2) tracts of land (i.e. 301 and 303 Renfro Street) developed with single-family homes that are zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 0.36-acre parcel of land (i.e. Lot 2, Renfro Place North; 374 Renfro Street), which is zoned Single-Family 7 (SF-7) District and developed with a single-family home.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is adjacent to Park Place West Phase 2 Addition, which has been in existence since August 8, 2005, consists of 92 residential lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Aluminum Plant Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Aluminum Plant Road and Renfro Street	Proposed Housing
Building Height	One (1)	Two (2) Story (29' 1")
Year Built	1956-2002	N/A
Building SF on Property	936-3,400	3,073 SF
Building Architecture	Traditional Suburban Residential & Newer Modern Residential Homes	Comparable Architecture to the Newer Homes in the area as well as Park Place.
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	>20-Feet
Side	The side yard setbacks appear to conform to the required five (6) foot side yard setback.	X>6
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	X=10
Building Materials	Brick and Siding	Hardie Board Siding
Paint and Color	White, Cream, Brown, Blue, Red, and Grey	White
Roofs	Composite Shingles	Composite Shingles
Driveways/Garages	Driveways are all in the front with the orientations being <i>flat front entry</i> , <i>side entry</i> , and <i>'J' or traditional swing entry</i> .	'J' Swing

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Aluminum Plant Road and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On September 19, 2025, staff mailed 72 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Park Place Homeowner’s Associations (HOAs), which is the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) email notice in opposition of the applicant’s request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.



- (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Gollad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1</sup> **1##**
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 902 Aluminum Plant Rd Rockwall, Tx 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER  APPLICANT

CONTACT PERSON Tim Mutcherson CONTACT PERSON \_\_\_\_\_

ADDRESS \_\_\_\_\_ ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_ CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_ PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_ E-MAIL \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

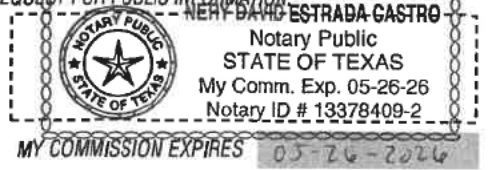
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tim Mutcherson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

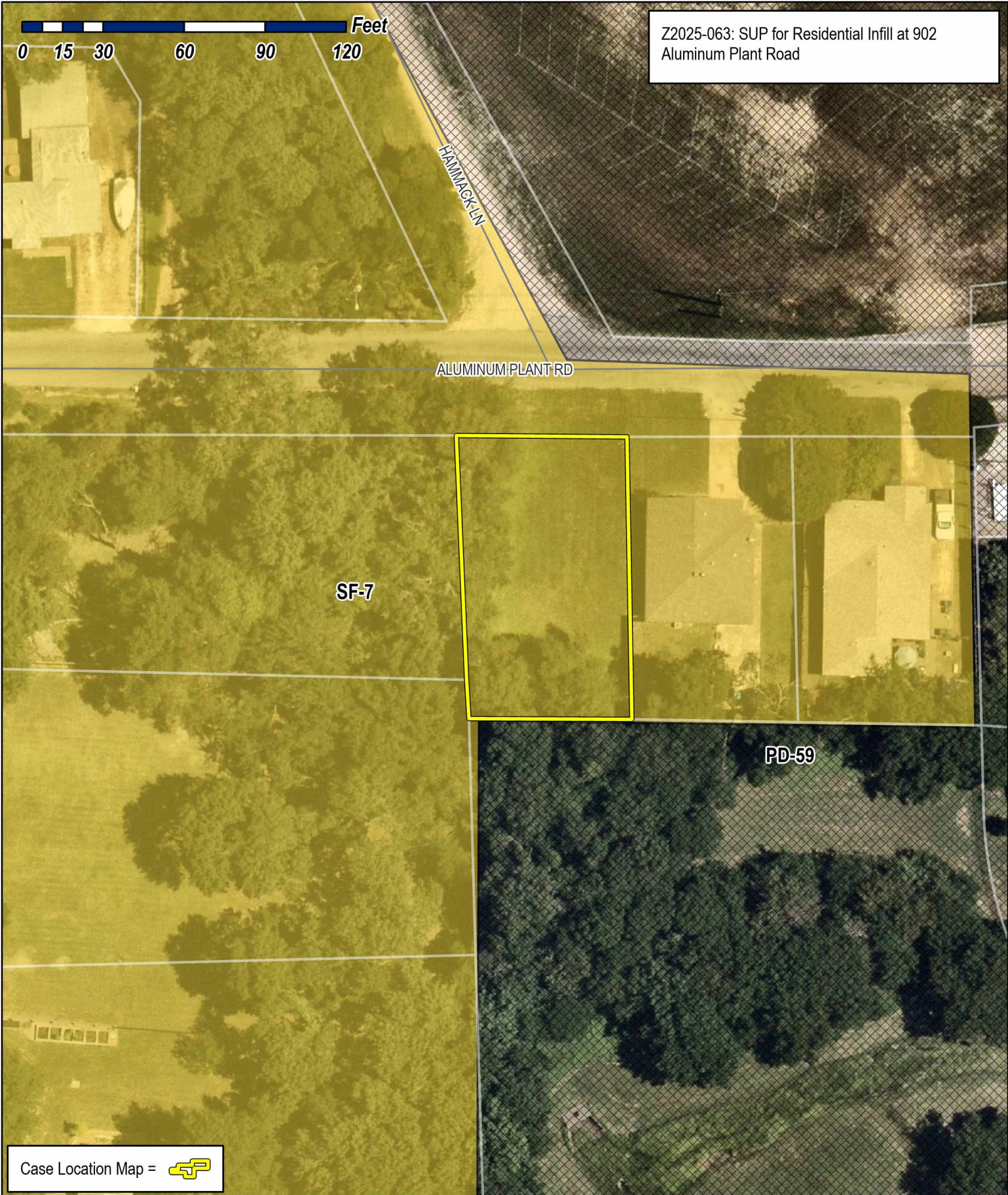
**I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 25 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10<sup>th</sup> DAY OF September, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.**

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10<sup>th</sup> DAY OF September, 2025.

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_





Z2025-063: SUP for Residential Infill at 902 Aluminum Plant Road

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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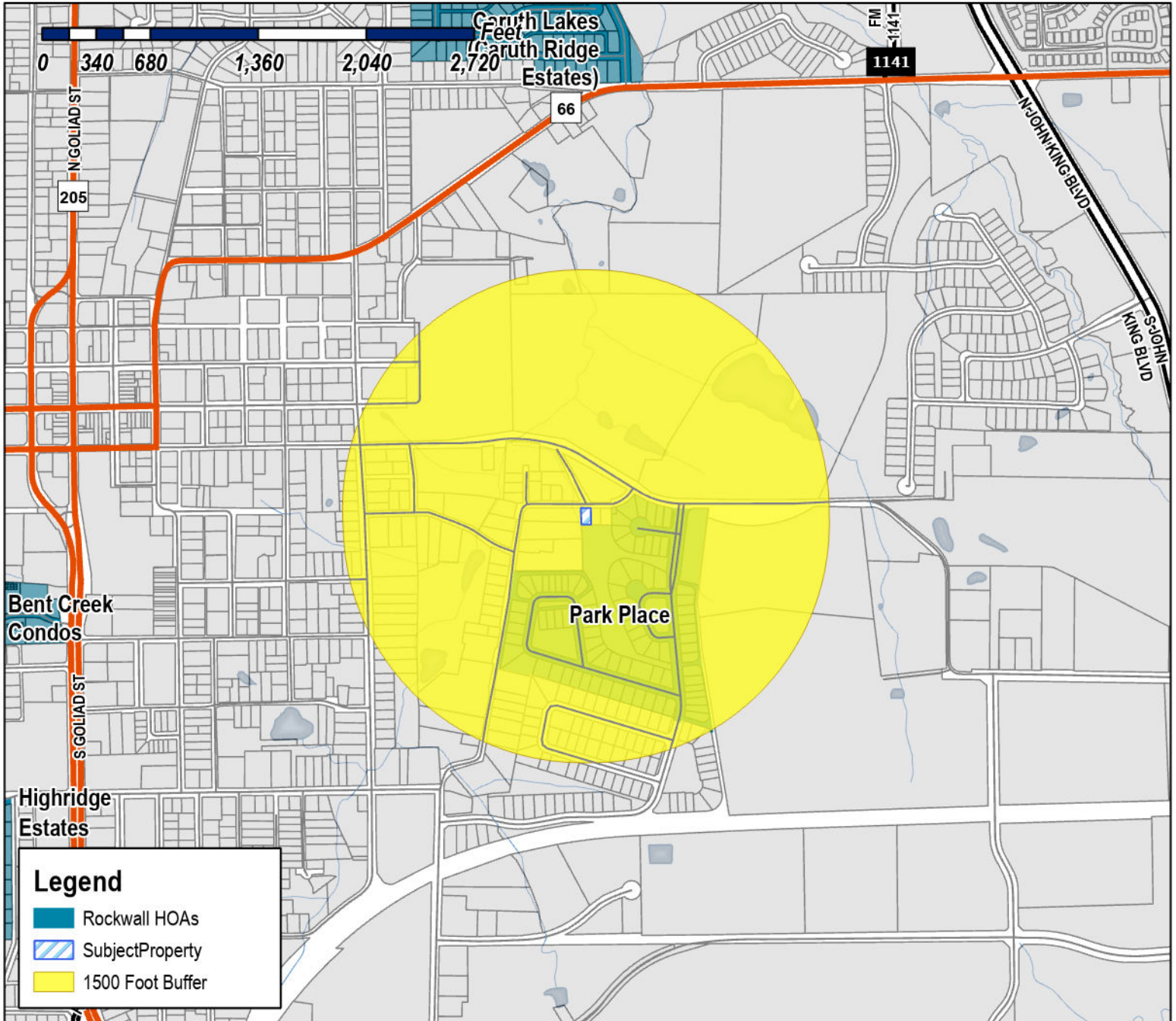




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**Case Number:** Z2025-063  
**Case Name:** SUP for Residential Infill at 902 Aluminum Plant Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 902 Aluminum Plant Road

**Date Saved:** 9/12/2025  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2025-063]  
**Date:** Wednesday, September 17, 2025 11:08:35 AM  
**Attachments:** [Public Notice \(09.16.2025\).pdf](#)  
[HOA Map \(09.16.2025\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 14, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 20, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-063: SUP for a Residential Infill at 902 Aluminum Plant Road

Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a Tract 36 of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and take any action necessary.

Thank you,

*Melanie Zavala*

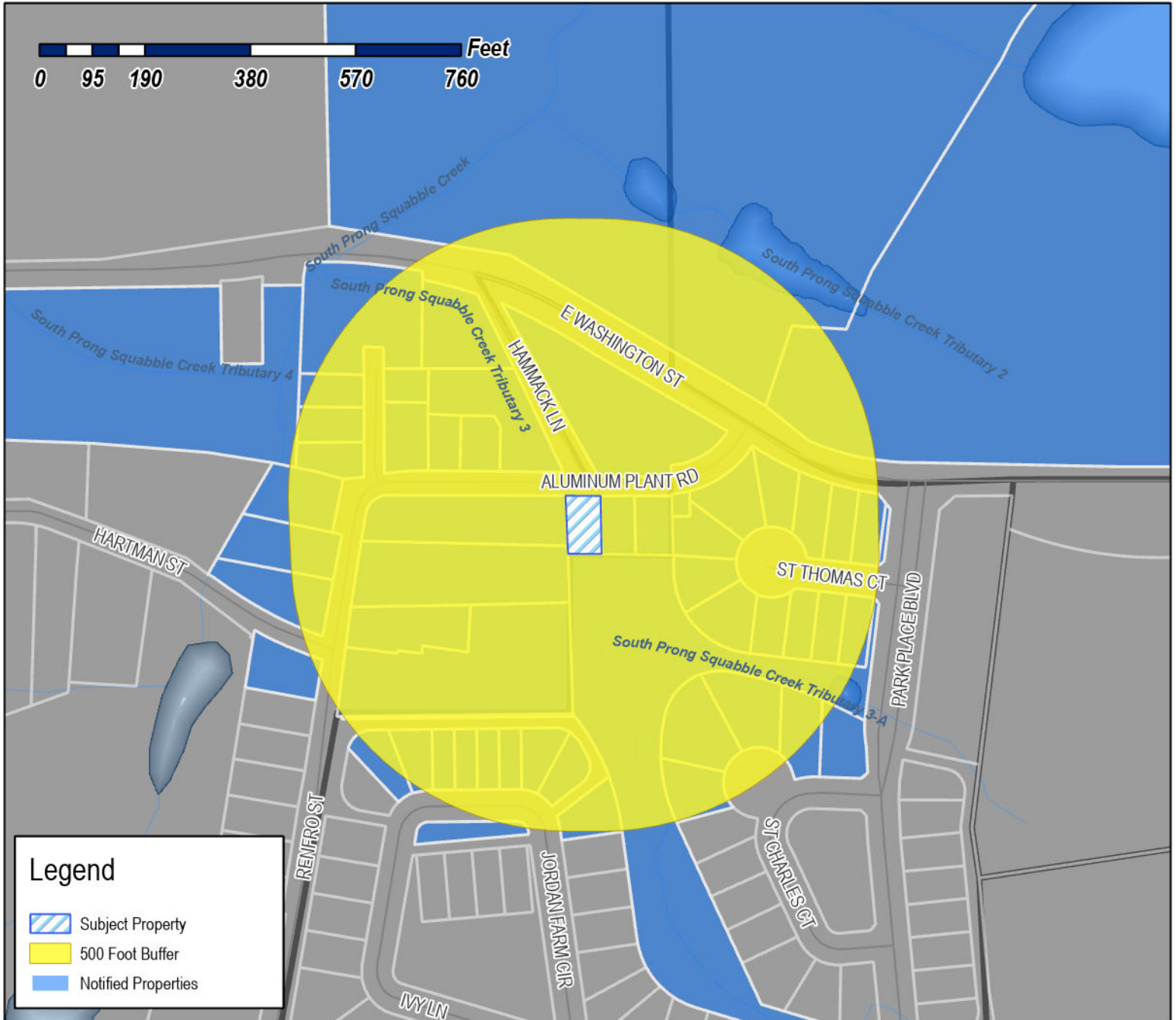
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2025-063  
**Case Name:** SUP for Residential Infill at 902 Aluminum Plant Road  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 902 Aluminum Plant Road

**Date Saved:** 9/12/2025

For Questions on this Case Call: (972) 771-7745



HONER PENNY MCNEIL  
1001 SAINT CHARLES CT  
ROCKWALL, TX 75087

RESIDENT  
1002 ST CHARLES CT  
ROCKWALL, TX 75087

LEE WILLIAM R & DEBRA  
1002 SAINT CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA  
1007 ST. CHARLES CT  
ROCKWALL, TX 75087

RESIDENT  
1015 ST CHARLES CT  
ROCKWALL, TX 75087

TAYLOR TIMOTHY DAVID AND  
JUDY HELENE DUBREUIL  
1023 ST THOMAS COURT  
ROCKWALL, TX 75087

IVEY BRUCE AND TINA  
1026 ST THOMAS CT  
ROCKWALL, TX 75087

FOX DENNIS AND KAREN  
1027 ST THOMAS CT  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

RESIDENT  
1030 ST THOMAS CT  
ROCKWALL, TX 75087

WHITWORTH JULIE A  
1031 ST THOMAS COURT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST  
EDWINA W EDWARDS TRUSTEE  
1034 ST THOMAS CT  
ROCKWALL, TX 75087

JOHNSON RICHARD ERIC AND DIANNA MUNRO  
1035 SAINT THOMAS CT  
ROCKWALL, TX 75087

RESIDENT  
1038 ST THOMAS CT  
ROCKWALL, TX 75087

BEER TERRY L AND  
CYNTHIA OLSON  
1039 ST THOMAS CT  
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD  
1042 SAINT THOMAS CT  
ROCKWALL, TX 75087

SOUTHERLAND CHRISTOPHER AND JENNIFER  
1043 ST THOMAS COURT  
ROCKWALL, TX 75087

RESIDENT  
1046 ST THOMAS CT  
ROCKWALL, TX 75087

TAH MS BORROWER LLC  
C/O TRICON AMERICAN HOMES LLC  
15771 RED HILL AVE  
TUSTIN, CA 92780

RESIDENT  
202 HAMMACK LN  
ROCKWALL, TX 75087

RESIDENT  
202 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
203 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
204 RENFRO ST  
ROCKWALL, TX 75087

RESIDENT  
206 HAMMACK LN  
ROCKWALL, TX 75087

ESPINOZA MARCELA P AND ROLAND  
206 RENFRO ST  
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE  
207 WADE DRIVE  
ROCKWALL, TX 75087

COLUMBIA EXTRUSIONS CORP  
ATTN BILL BRICKER  
2235 RIDGE RD STE 201  
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL K AND CYNTHIA DAWN  
256 WINDY LN  
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA  
256 WINDY LN  
ROCKWALL, TX 75087

RESIDENT  
301 RENFRO ST  
ROCKWALL, TX 75087

ZYLKA PROPERTIES LLC  
3021 RIDGE ROAD A66  
ROCKWALL, TX 75032

CHERRY JOHN T  
303 RENFRO STREET  
ROCKWALL, TX 75087

RESIDENT  
305 RENFRO ST  
ROCKWALL, TX 75087

PARK PLACE WEST HOMEOWNERS ASSOCIATION  
INC  
305 PARK PLACE BLVD  
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G  
3514 LAKESIDE DR  
ROCKWALL, TX 75087

STRADTMANN TROY H  
366 RENFRO ST  
ROCKWALL, TX 75087

MEYER DAVID JAMES AND ALETA KAY  
369 JORDAN FARM CIR  
ROCKWALL, TX 75087

JOHNSON DANA  
373 JORDAN FARM CIRCLE  
ROCKWALL, TX 75087

RESIDENT  
374 RENFRO ST  
ROCKWALL, TX 75087

YOUNT STEPHEN & PHYLLIS J  
377 JORDAN FARM CIR  
ROCKWALL, TX 75087

SIKES MARK EUGENE AND AMY CHRISTINE  
381 JORDAN FARM CIR  
ROCKWALL, TX 75087

RESIDENT  
382 RENFRO ST  
ROCKWALL, TX 75087

HALL JESSIE MARIE AND  
JAMIE KATE HALL  
382 RENFRO ST  
ROCKWALL, TX 75087

MOSBY CYNTHIA ANN BURTON  
385 JORDAN FARM CIRCLE  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
ATTN;MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

FAUCON SERGE AND JENNIFER  
389 JORDAN FARM CIRCLE  
ROCKWALL, TX 75087

PEURIFOY REBECCA  
393 JORDAN FARM CIR  
ROCKWALL, TX 75087

LADD CHARLES  
397 Jordan Farm Cir  
Rockwall, TX 75087

RESIDENT  
400 RENFRO ST  
ROCKWALL, TX 75087

CLARK JERRY W & PAMELA  
401 RENFRO ST  
ROCKWALL, TX 75087

MARSHA FREDERICK FAMILY LIVING TRUST  
MARSHA R FREDERICK - TRUSTEE  
405 JORDAN FARM CIR  
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE  
428 COACHLIGHT TRL  
ROCKWALL, TX 75087

RUFF DAVID & ANNE  
6105 LAKESHORE DR  
ROWLETT, TX 75089

HARNED CHRISTOPHER SHAWN & SHONDA AND  
RHONDA SUSAN CASKEY  
701 LONE RIDER CT  
ROCKWALL, TX 75087

SWANSON PARKER G AND ABBY M  
724 E WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
801 ALUMINUM PLANT RD  
ROCKWALL, TX 75087



WISE ALICE  
803 ALUMINUM PLANT ROAD  
ROCKWALL, TX 75087

RESIDENT  
805 ALUMINUM PLANT RD  
ROCKWALL, TX 75087

RESIDENT  
815 E WASHINGTON ST  
ROCKWALL, TX 75087

WARDELL JOHN AND  
JAKE WARDELL  
880 IVY LN  
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH K  
880 SHORES BLVD  
ROCKWALL, TX 75087

RESIDENT  
902 ALUMINUM PLANT RD  
ROCKWALL, TX 75087

RESIDENT  
904 ALUMINUM PLANT RD  
ROCKWALL, TX 75087

STATON CARL E & BOBBIE JANE  
906 ALUMINUM PLANT RD  
ROCKWALL, TX 75087

RUSHING JOE L & DONNA S  
9414 SHEARER ST  
ROWLETT, TX 75088

RESIDENT  
945 E WASHINGTON ST  
ROCKWALL, TX 75087

2020 T R MARTIN REVOCABLE TRUST  
CHARLES TED MARTIN AND RHONDA KAREN  
MARTIN- TRUSTEES  
995 ST CHARLES COURT  
ROCKWALL, TX 75087

HARRIS HOLLI J  
PO BOX 2191  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-063: SUP for a Residential Infill at 902 Aluminum Plant Road**

*Hold a public hearing to discuss and consider a request by T. J. Mutcherson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.16-acre tract of land identified as a Tract 36 of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 14, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 20, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 20, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-063: SUP for a Residential Infill at 902 Aluminum Plant Road**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**From:** [John Cherry](#)  
**To:** [Miller, Ryan](#)  
**Cc:** [Planning](#)  
**Subject:** Case No. Z2025-063 SUP at 902 Aluminum Plant Road  
**Date:** Thursday, October 2, 2025 8:44:46 AM

---

Hi Ryan and Planning Department,

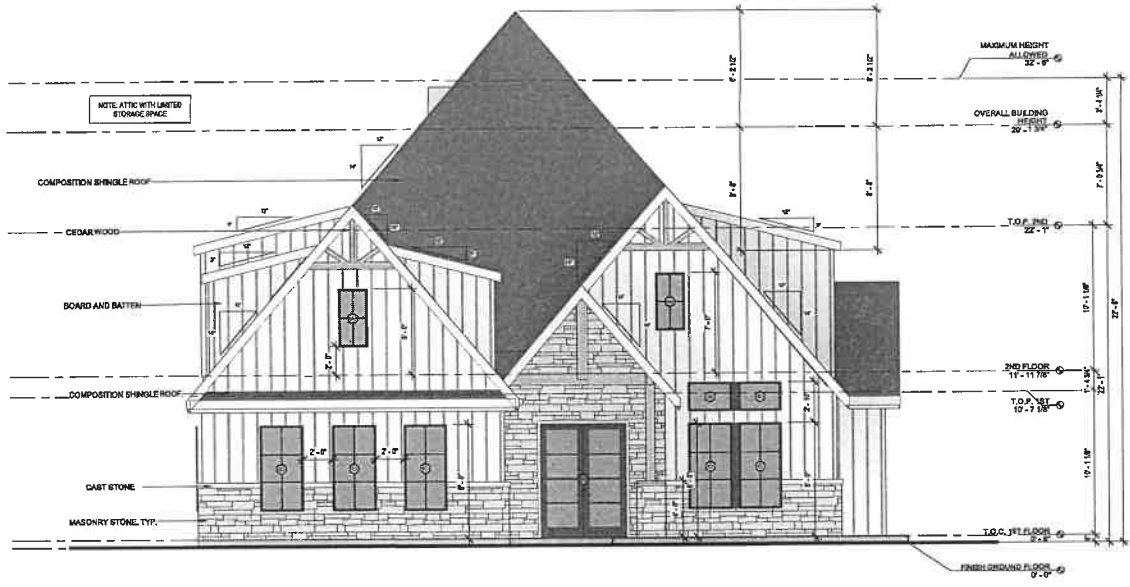
I am writing regarding the SUP request for a Residential Infill at 902 Aluminum Plant Road (Case No. Z2025-063). I am opposed to the request as currently proposed.

This lot is substandard in size at 6,969 sq ft, below the 7,000 sq ft minimum required for SF-7. The proposed home design is too large in massing for a lot of this size. While it may meet the technical height measurement standard of 32' at the midpoint of the pitched roof, the overall height shown on the plans is over 37'. This scale feels disproportionate for such a small lot and does not fit the established character of the street, where all existing homes are modest, single-story residences.

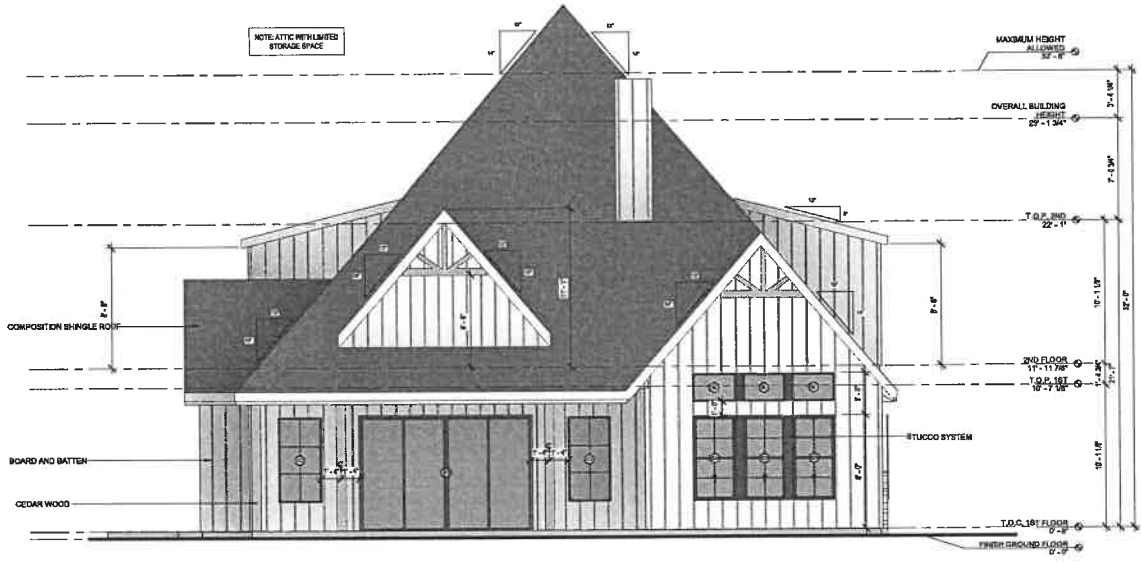
Allowing this two-story design would introduce a structure that is both out of scale and out of step with the aesthetics of the neighborhood. I respectfully request that the City require a home design more appropriate in size and massing to the lot and consistent with the surrounding one-story homes.

Thank you for your consideration,  
John Cherry  
303 Renfro Street  
Rockwall, TX 75087

**CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.**



02 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



01 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

CITY APPROVAL STAMP



ARCHITECT  
VIZUAL ARCHITECTURE, L.L.C.  
JOHNNY BRONKHORST  
jbronz@vizualarchitecture.com  
www.vizualarchitecture.com

ALUMINUM HOUSE  
902 ALUMINUM PLANT ROAD  
ROCKWALL, TEXAS 75087

CURRENT REVISION

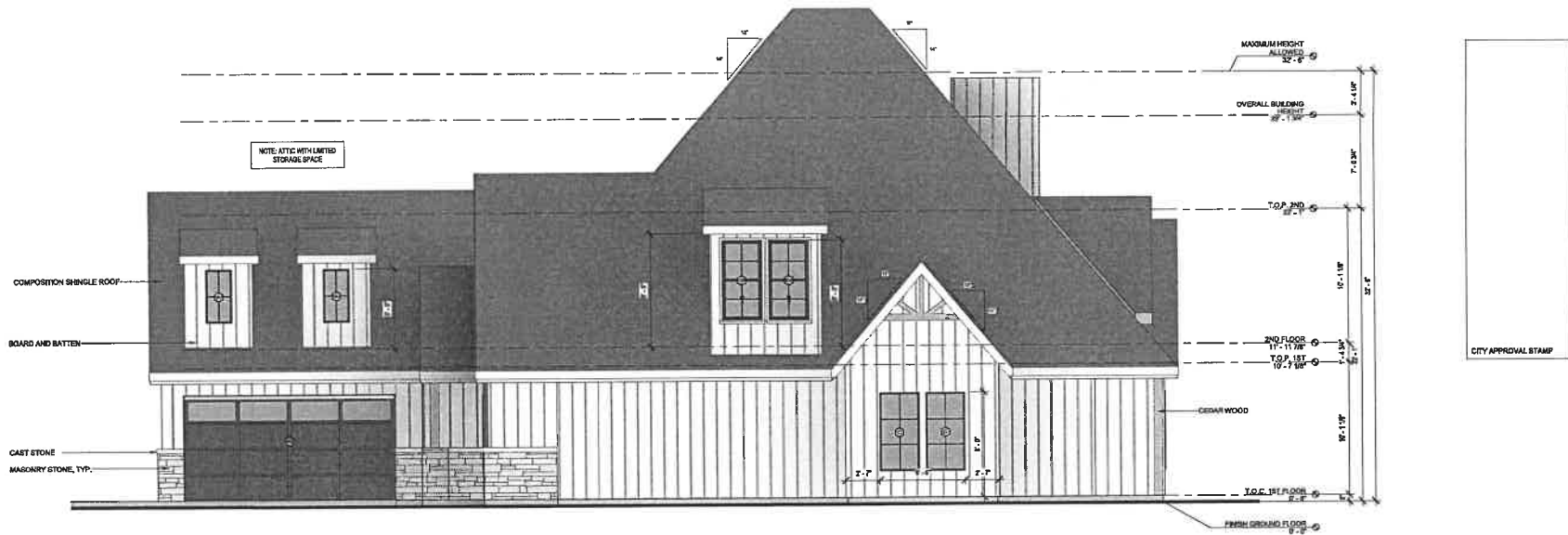


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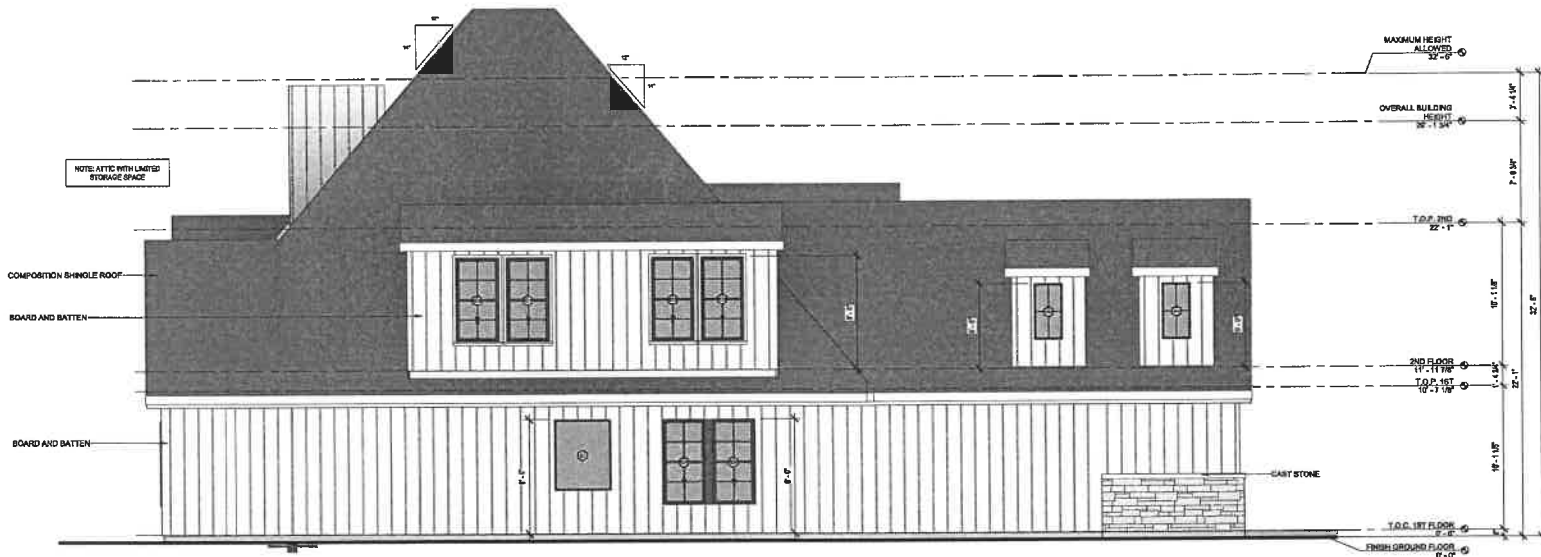
EXTERIOR ELEVATIONS

A5.1

Project # 1111-01  
Scale 1/4" = 1'-0"



02 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



01 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



ARCHITECT  
VIZUAL ARCHITECTURE, LLC.  
JOHNWAY LIMONES  
info@vzualarchitecture.com  
www.vzualarchitecture.com

ALUMINUM HOUSE  
902 ALUMINUM PLANT ROAD  
ROCKWALL, TEXAS 75087

CURRENT REVISION



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EXTERIOR ELEVATIONS

A5.2

Project # 1111-01  
Scale 1/4" = 1'-0"



VIZUAL ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, LLC.  
JOHNNY LIMONES  
info@vizualarchitecture.com  
www.vizualarchitecture.com

ALUMINUM HOUSE  
902 ALUMINUM PLANT ROAD  
ROCKWALL, TEXAS 75087

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COVER SHEET/  
INDEX

A0.1

Project # 1111-01  
Scale 1/2" = 1'-0"



VICINITY MAP



PROJECT NOTES

NET AREA: 3073 SF  
BUILDING FOOTPRINT: 2387 SF  
POURING AND GARAGES  
LOT COVERAGE: 41.2%

NET AREA SQUARE FOOTAGES			
ROOM NAME	LEVEL	AREA	
LEVEL 1	T.O.C. 1ST FLOOR	2387 SF	
LEVEL 2	2ND FLOOR	686 SF	
Grand total 2		3073 SF	

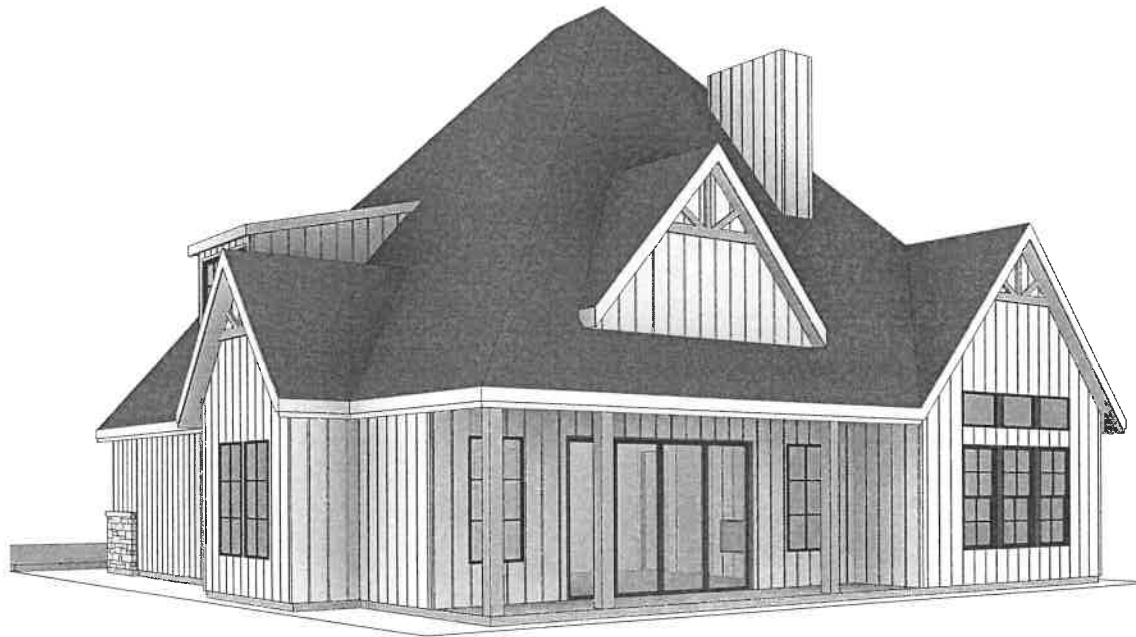
GROSS AREA SQUARE FOOTAGES			
Name	Area	Level	
PORCH	51 SF	T.O.C. 1ST FLOOR	
PATIO	145 SF	T.O.C. 1ST FLOOR	
2 CAR GARAGE	531 SF	T.O.C. 1ST FLOOR	
LEVEL 1	2171 SF	T.O.C. 1ST FLOOR	
T.O.C. 1ST FLOOR-4	2897 SF		
LEVEL 2	602 SF	2ND FLOOR	
2ND FLOOR-1	602 SF		
Grand total 5	3739 SF		

SHEET INDEX	
#	SHEET NAME
AA.1	COVER SHEET/INDEX
AA.2	SCHEDULES/CODE ANALYSIS
AA.3	WINDOW/DOOR SCHEDULE
AA.1	SITE PLAN
AA.3	CLIMATATION PROFILE
AA.3	FLOOR PLAN
AA.2	FLOOR PLAN
AA.4	ROOF PLAN
AA.1	REFLECTED CEILING PLAN/ELECTRICAL
AA.2	REFLECTED CEILING PLAN/ELECTRICAL
AA.1	PLUMBING PLAN

SHEET INDEX	
#	SHEET NAME
AA.2	PLUMBING PLAN
AA.1	EXTERIOR ELEVATIONS
AA.2	EXTERIOR ELEVATIONS
AA.1	WALL SECTIONS
AA.2	WALL SECTIONS
AA.1	BUILDING SECTIONS
AA.1	PERSPECTIVE VIEWS
AA.2	AXONOMETRIC VIEWS
Grand total: 19	

ARCHITECT  
VIZUAL ARCHITECTURE LLC  
1430 DRAGON ST, SUITE 25  
DALLAS, TX 75207  
CONTACT: JOHNNY LIMONES  
E: JOHNNY@VIZUALARCHITECTURE.COM

THIS IS A NEW TWO STORY SINGLE FAMILY RESIDENCE.



CITY APPROVAL STAMP



VIZUAL  
ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, LLC.  
JOHNNY LINDNER  
info@vvisualarchitecture.com  
www.vvisualarchitecture.com

ALUMINUM HOUSE  
902 ALUMINUM PLANT ROAD  
ROCKWALL, TEXAS 75087

CURRENT REVISION



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PERSPECTIVE  
VIEWS

A8.1

Project # 1111-01  
Scale



VIZUAL ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, L.L.C.  
JOHNNY LIMONES  
info@vizualarchitecture.com  
www.vizualarchitecture.com

ALUMINUM HOUSE  
902 ALUMINUM PLANT ROAD  
ROCKWALL, TEXAS 75087

CITY APPROVAL STAMP

**SITE NOTES**

1. WATER METER MAY NOT BE LOCATED IN DRIVEWAY OR APPROACH
2. KEEP 3' BY 3' VISIBILITY TRIANGLES AT ALLEY CLEAR. SIDEWALKS AND DRIVE APPROACH REQUIRE A SEPARATE POINT
3. FENCE WILL REQUIRE A SEPARATE POINT.
4. POOL DESIGN SHALL REQUIRE A SEPARATE POINT.
5. SITE IMPROVEMENTS SUBJECT TO FIELD INSPECTORS APPROVAL.
6. GENERAL CONTRACTOR TO VERIFY ALL OR ANY USED RESTRICTIONS BEFORE ANY SITE WORK IS STARTED.
7. GENERAL CONTRACTOR TO VERIFY ALL OR ANY SETBACKS BEFORE ANY SITE WORK IS STARTED.
8. GENERAL CONTRACTOR TO VERIFY ALL OR ANY EASEMENTS BEFORE ANY SITE WORK IS STARTED.
9. GENERAL CONTRACTOR TO VERIFY MINIMUM SQUARE FOOTAGE ALLOWED ON THE PROPERTY.
10. UTILITY AND DRAINAGE SENSITIVITY MUST REMAIN OPEN AND UNOBTAINED. NO ENCROACHMENTS PERMITTED
11. WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJACENT POSITIVE PROPERTY
12. PREPLACE MANSUET ENCROACHMENT 2' INTO RETRACK UP TO 12' TOTAL FIELD VERIFY.
13. WATER COURSE ARROWS DENOTE WATER FLOW. DRAINAGE TO BE DESIGNED BY GRADER.
14. SET FENCE TO BE METALLED PER CITY REQUIREMENTS. GENERAL CONTRACTOR TO CONFIRM DRAINAGE AND CONSTRUCTION ACCESS.
15. PROVIDE MANSUET REQUIRED TREES PER CITY ORDINANCE.
16. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECT PLACEMENT OF THE BUILDING.
17. PERMIT MUST BE APPROVED BEFORE ANY SITE WORK IS STARTED.
18. UNLESS NOTED OTHERWISE GENERAL CONTRACTOR TO VERIFY FINISHED SLAB HEIGHT ABOVE FINISHED GROUND FLOOR FOR ACCURATE DRAINAGE FOR CODE.
19. DESIGN TEAM SHALL NOT BE HELD LIABLE PRIOR TO ANY SIGNATURE OF BUILDING PERMIT AND THE GENERAL CONTRACTOR WILL HAVE FULL LIABILITY AND RESPONSIBILITY FOR ANY WORK THAT IS DONE.

**PROJECT NOTES**

SITE AREA: 10,000 SQ FT  
BUILDING FOOTPRINT: 1,000 SQ FT  
(PORCH AND GARAGES)  
LOT COVERAGE: 4.16%

ROOM NAME	LEVEL	AREA
LEVEL 1	T.O.C. 1ST FLOOR	2111 SF
LEVEL 2	2ND FLOOR	802 SF
Grand Total: 2		3793 SF

GROSS AREA SQUARE FOOTAGES		
Name	Area	Level
PORCH	51 SF	T.O.C. 1ST FLOOR
PATIO	145 SF	T.O.C. 1ST FLOOR
2 CAR GARAGE	531 SF	T.O.C. 1ST FLOOR
LEVEL 1	2171 SF	T.O.C. 1ST FLOOR
T.O.C. 1ST FLOOR-4	2897 SF	4.15 ACRES
LEVEL 2	802 SF	2ND FLOOR
2ND FLOOR-1	802 SF	
Grand Total: 5	3798 SF	



CURRENT REVISION

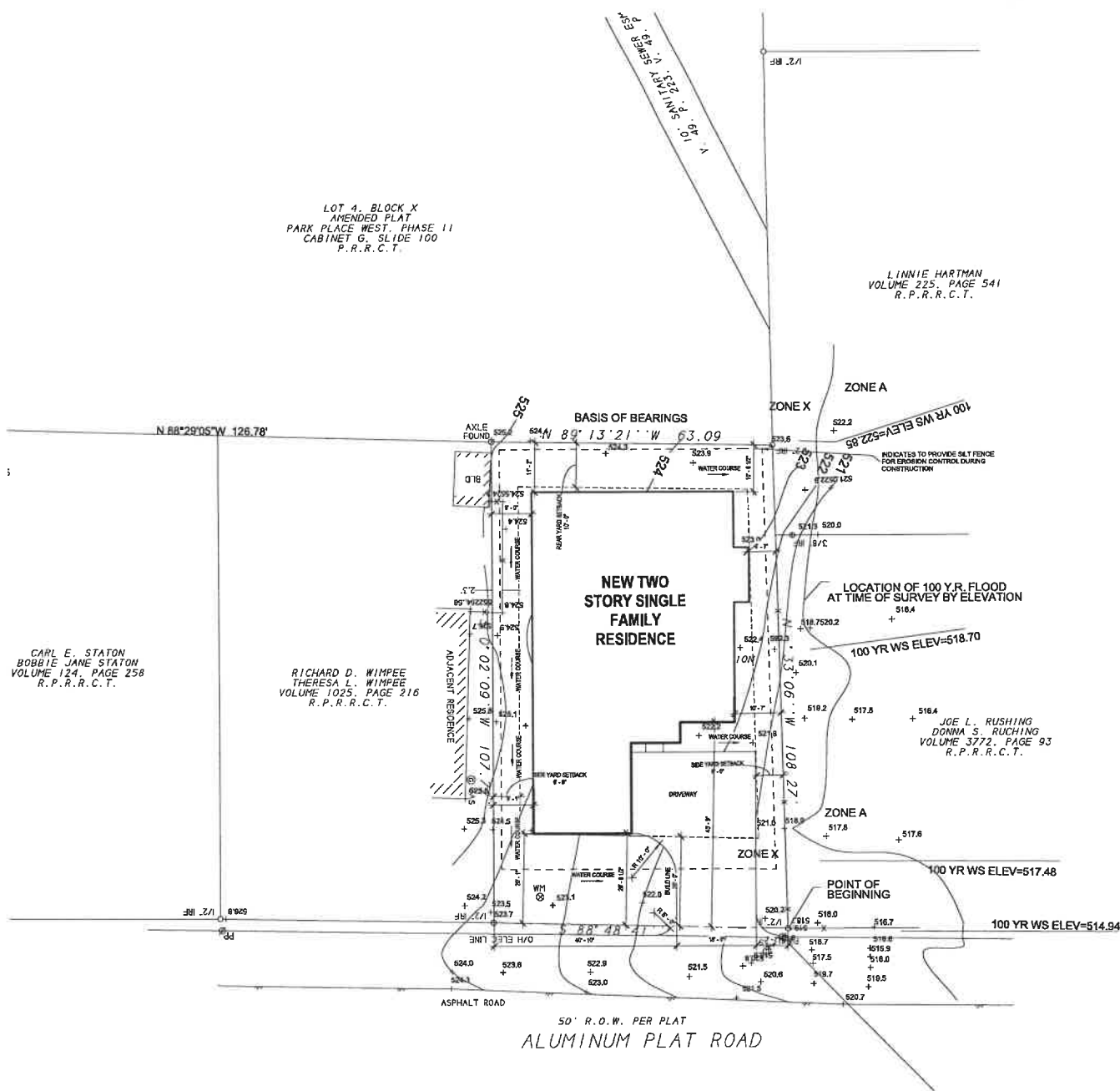


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SITE PLAN

A1.1

Project # 1111-01  
Scale As Indicated



LOT 4, BLOCK X  
AMENDED PLAT  
PARK PLACE WEST, PHASE 11  
CABINET G, SLIDE 100  
P.R.R.C.T.

LINNIE HARTMAN  
VOLUME 225, PAGE 541  
R.P.R.C.T.

CARL E. STATION  
BOBBIE JANE STATION  
VOLUME 124, PAGE 258  
R.P.R.C.T.

RICHARD D. WIMPEE  
THERESA L. WIMPEE  
VOLUME 1025, PAGE 216  
R.P.R.C.T.

JOE L. RUSHING  
DONNA S. RUSHING  
VOLUME 3772, PAGE 93  
R.P.R.C.T.

50' R.O.W. PER PLAT  
ALUMINUM PLANT ROAD





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

<u>ADJACENT HOUSING ATTRIBUTES</u>					
ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING SF	EXTERIOR MATERIALS
801 Aluminum Plant Road	Single-Family home	1965	1,572	120	Siding
803 Aluminum Plant Road	Single-Family home	1975	1,592	240; 100	Siding
805 Aluminum Plant Road	Single-Family home	1958	2,392	N/A	Siding
906 Aluminum Plant Road	Single-Family home	1975	1,998	140	Siding
904 Aluminum Plant Road	Single-Family home	1977	1,654	100	Brick [Painted]
203 Renfro Street	Single-Family home	1988	1,224	N/A	Siding
204 Renfro Street	Single-Family home	1975	936	24	Siding
206 Renfro Street	Single-Family home	1975	1,796	104	Siding
303 Renfro Street	Single-Family home	1975	3,400	N/A	Brick [Painted]
305 Renfro Street	Single-Family home	1965	1,614	N/A	Brick [Painted]
366 Renfro Street	Single-Family home	2002	1,817	N/A	Siding
374 Renfro Street	Single-Family home	2002	1,848	N/A	Siding
382 Renfro Street	Single-Family home	1998	1,888	N/A	Brick and Siding
400 Renfro Street	Single-Family home	1983	1,491	N/A	Brick [Painted]
401 Renfro Street	Single-Family home	1956	2,818	300; 1600	Siding
402 Renfro Street	Single-Family home	1983	1,457	N/A	Brick and Siding
404 Renfro Street	Single-Family home	1983	1,356	N/A	Brick
406 Renfro Street	Single-Family home	1983	1,356	N/A	Brick
408 Renfro Street	Single-Family home	1983	1,457	N/A	Brick and Siding
410 Renfro Street	Single-Family home	1983	1,466	N/A	Brick
AVERAGES:		1980	1,757		



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



801 Aluminum Plant Road



803 Aluminum Plant Road



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



805 Aluminum Plant road



906 Aluminum Plant Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



203 Renfro Street



204 Renfro Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



206 Renfro Street



303 Renfro Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



305 Renfro Street



366 Renfro Street



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



382 Renfro Street



400 Renfro Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



401 Renfro Street



402 Renfro Street





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



404 Renfro Street



406 Renfro Street



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-063

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



408 Renfro Street



410 Renfro Street

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* ON A 0.16-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 36 OF R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by T.J. Mutcherson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.16-acre parcel of land identified as Tract 36 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 902 Aluminum Plant Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>RD</sup> DAY OF NOVEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: October 20, 2025

2<sup>nd</sup> Reading: November 3, 2025

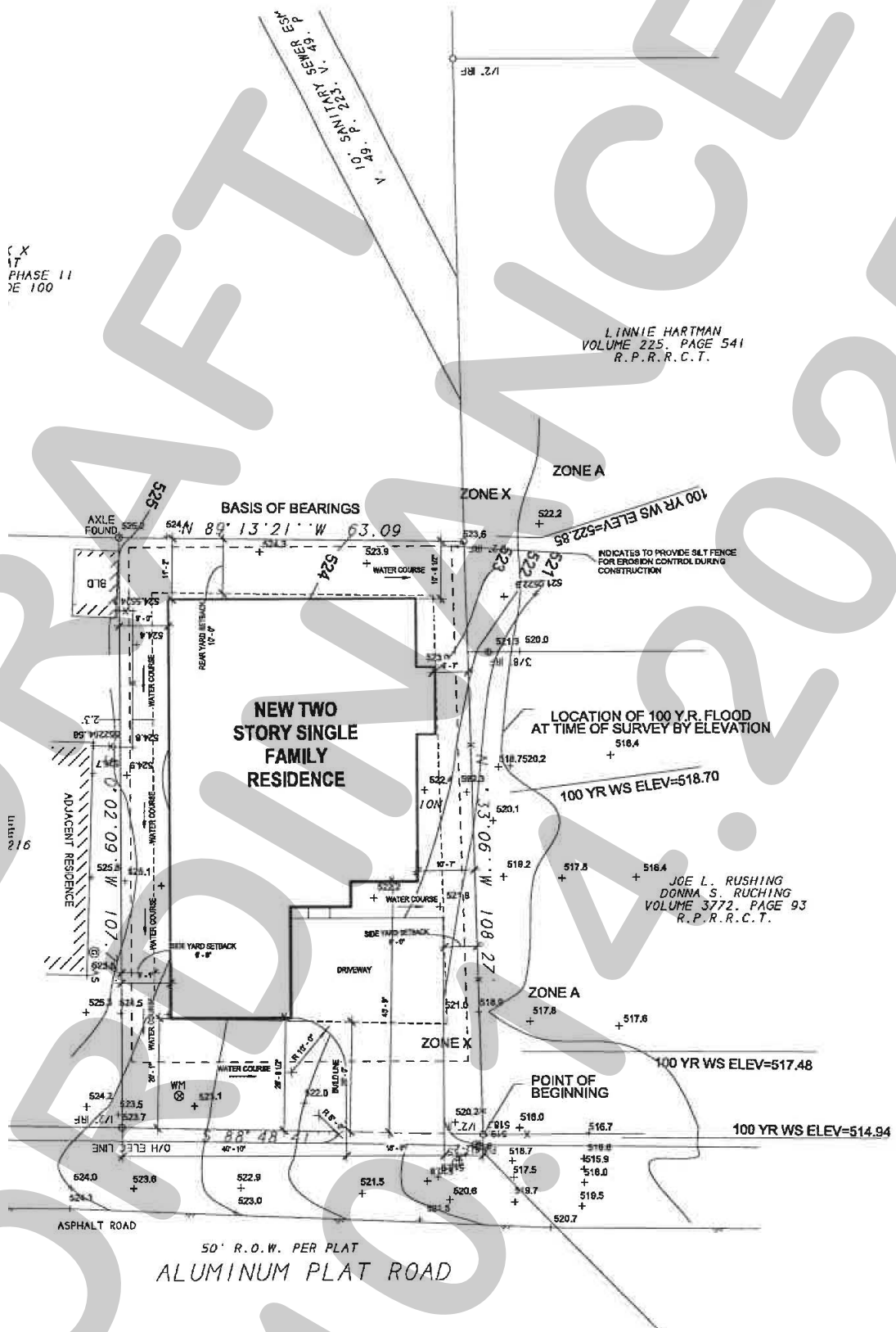
**Exhibit 'A':  
Location Map**

Address: 902 Aluminum Plant Road

Legal Description: Tract 36, of the R. Ballard Survey, Abstract No. 29



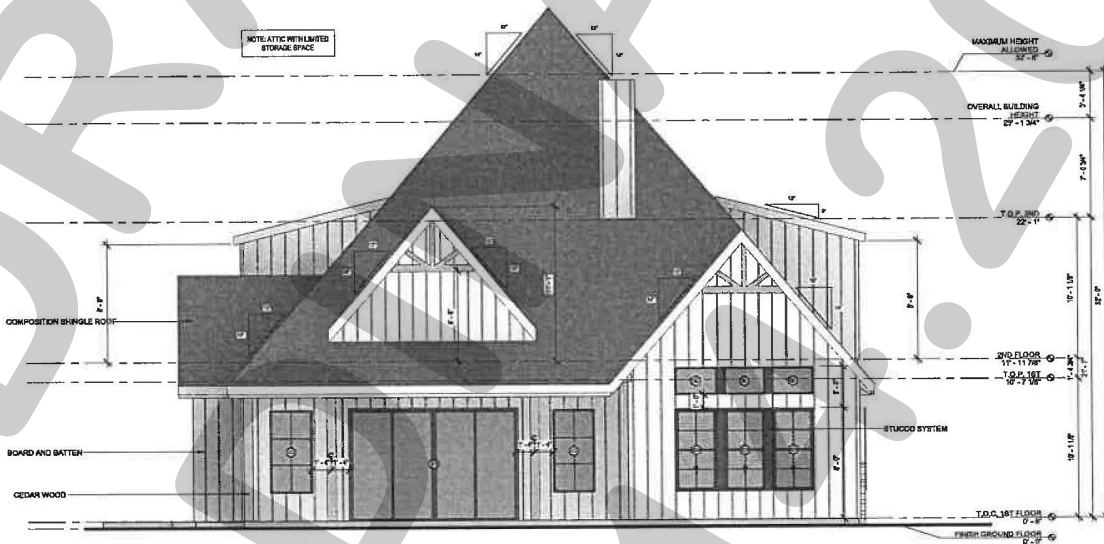
**Exhibit 'B':  
Residential Plot Plan**



**Exhibit 'C':  
Building Elevations**



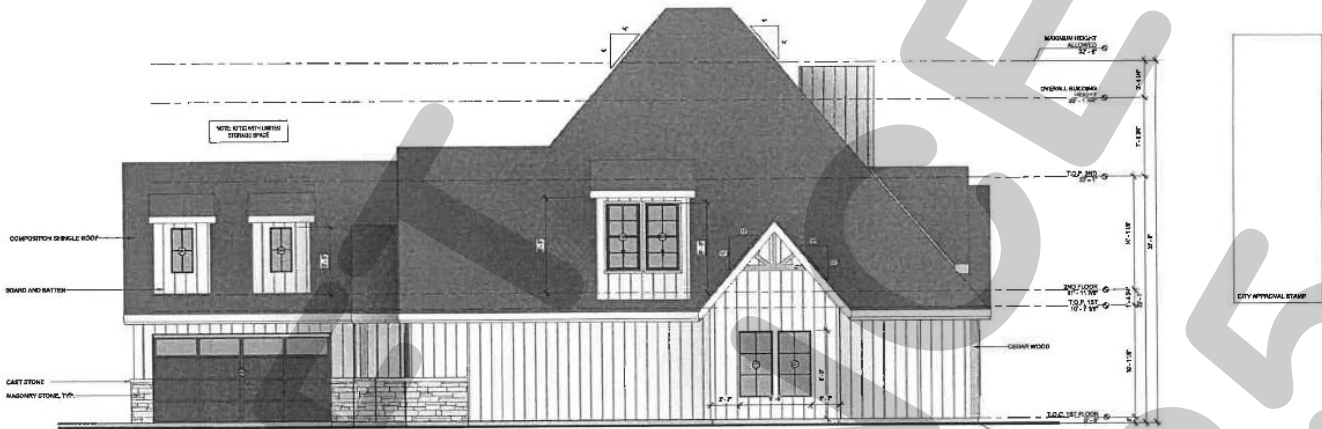
**02 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**01 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**Exhibit 'C':  
Building Elevations**



**02 RIGHT ELEVATION**  
SCALE: 3/8" = 1'-0"



**01 LEFT ELEVATION**  
SCALE: 3/8" = 1'-0"



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** Phillip Craddock; *Craddock Architecture, PLLC*  
**CASE NUMBER:** Z2025-064; *Specific Use Permit (SUP) for 1020 La Jolla Pointe Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Phillip Craddock of Craddock Architecture, PLLC on behalf of Clay Shipman of Shipman Fire Protection for the approval of a Specific Use Permit (SUP) to exceed the *Maximum Permissible Height in a Commercial (C) District* on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1020 La Jolla Pointe Drive.

### BACKGROUND

The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-04 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District. On July 17, 2018, the City Council approved a site plan [*i.e. Case No. SP2018-016*] for the subject property depicting the location of a three (3) story office building and one (1) story garage. On December 3, 2018, the City Council approved a replat [*Case No. P2018-039*] for the subject property creating Lot 3, Block A, La Jolla Pointe Addition, Phase 2. According to the Rockwall Central Appraisal District (RCAD), there is a three (3) story office building that was built in 2019 and a 1,116 SF parking garage situated on the subject property. Since 2019, the subject property has remained the same.

### PURPOSE

On September 12, 2025, the applicant -- *Phillip Craddock of Craddock Architecture, PLLC* -- submitted an application requesting a Specific Use Permit (SUP) for an *Office Building* that will exceed 60-feet in height on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1020 La Jolla Pointe Drive. The land uses adjacent to the subject property are as follows:

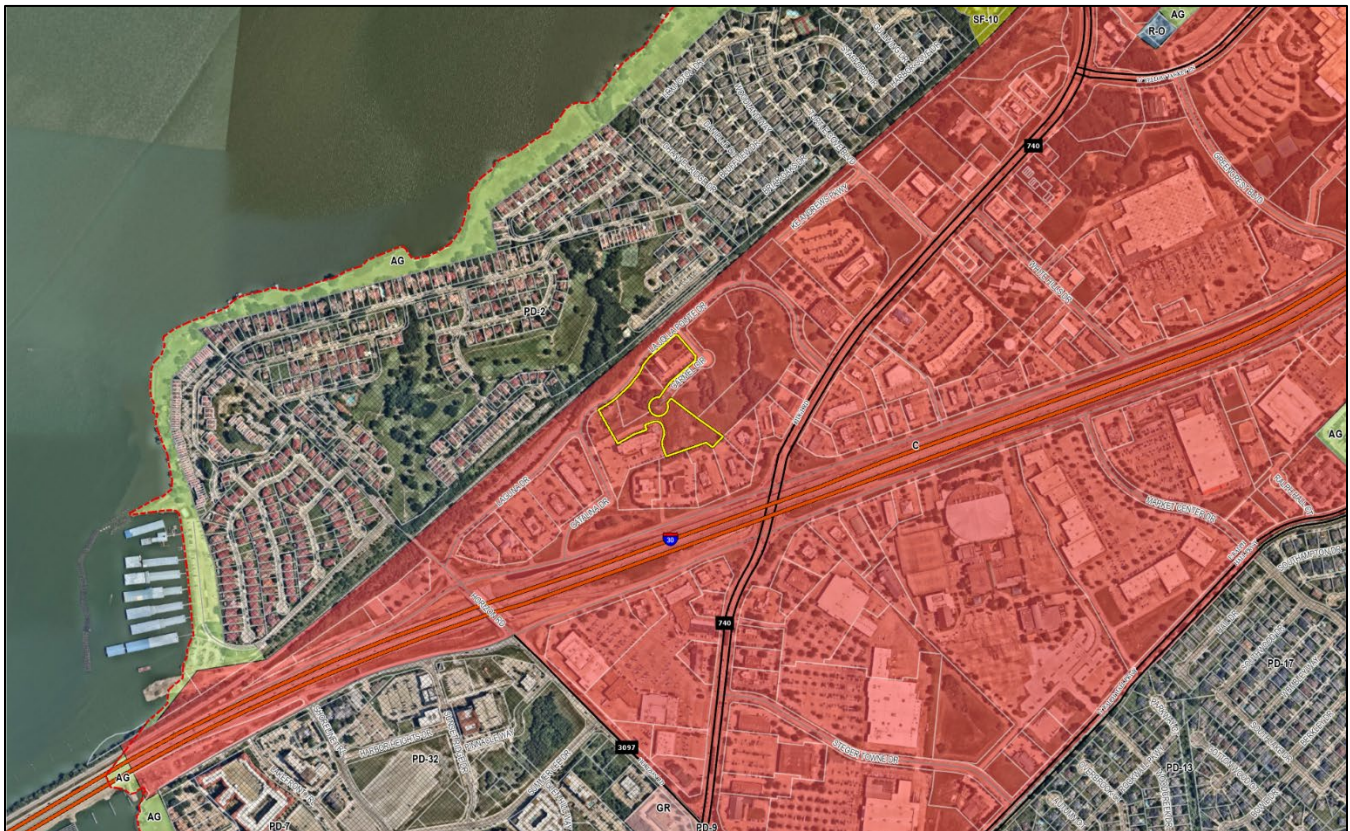
North: Directly north of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is Phase 3 of the Lakeside Village Subdivision, which consists of 118 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses.

South: Directly south of the subject property is a 4.584-acre parcel of land (*i.e. Lot 22, Block A, La Jolla Pointe Addition*), which is zoned Commercial (C) District and is currently vacant. Beyond this are several parcels of land developed with restaurants (*i.e. Steak N Shake, IHOP, Waffle House, Velvet Taco, and Snuffers*) that are zoned Commercial (C) District. Beyond that is the westbound frontage road of IH-30, followed by the main lanes of IH-30, and the eastbound frontage road for IH-30.

East: Directly east of the subject property is a 4.584-acre parcel of land (i.e. Lot 22, Block A, La Jolla Pointe Addition) which is zoned Commercial (C) District and is currently vacant. Beyond this are three (3) parcels of land developed with *Office Buildings* (i.e. *Ebby Halliday, Allstate, Epstein & Kolacz*) and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as a A4D (i.e. *major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are several parcels of land developed with commercial/retail land uses that are zoned Commercial (C) District.

West: Directly west of the subject property is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Following this is Phase 3 of the Lakeside Village Subdivision, which consists of 118 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond that is the take line for Lake Ray Hubbard which is zoned Agricultural (AG) District, followed by the corporate city limits for the City of Rockwall.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



## CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and conceptual building elevations indicating that the proposed development will consist of a multi-story *Office Building* and a *Restaurant*. Based on the conceptual plans, the intent of the requested Specific Use Permit (SUP) is to develop the subject property with one (1) *Office Building* that exceeds the height requirement of 60-feet stipulated by the Commercial (C) District. According to the submitted building elevations, the proposed structure consists of four (4) occupied levels with a partial basement, achieving a total building height of approximately 91-feet to the tower top and 81-feet to the tower eaves. As mentioned earlier, the Commercial (C) District establishes a maximum height of 60-feet; therefore, the applicant is requesting a Specific Use Permit (SUP) to exceed this limit by approximately 31-feet. Architecturally, the building incorporates a combination of brick masonry in red, gray, and black tones, white and gray three (3) part stucco finishes, cast stone accents, and a standing seam metal roof with black metal trim. The design features a tower element that provides vertical articulation and serves as a defining architectural feature rather than an occupied upper story. This is similar in style to the existing three (3) story office building that was built in 2019. The applicant has also indicated that an allowed by-right *restaurant* that meets the height requirement of the Commercial (C) District will be constructed on the subject property.

## **CONFORMANCE WITH THE CITY'S CODES**

According to Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as “(a) facility that provides executive, management, administrative, or professional services... not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the proposed concept plan indicates the development of an *Office Building* on the subject property, which is in conformance with this definition. In addition, according to Subsection 04.01, *General Commercial (C) District Standards*, Article 05, *District Development Standards*, of the Unified Development Code (UDC), any building over 60-feet in height requires a Specific Use Permit (SUP). This requirement prompted the applicant to submit for the proposed Specific Use Permit (SUP).

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District*. All of the property located within the *IH-30 Corridor District* is designated for the *Special Commercial (SC) Corridor* land use. The OURHometown Vision 2040 Comprehensive Plan describes the *Special Commercial (SC) Corridor* as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center*, *Mixed-Use Center*, *Town Center*, or *Regional Designation Center*, however, the *Primary Land Uses* identified for this land use designation include *Corporate Office*. Based on this, the applicant's request is in conformance with the *Future Land Use Plan*. Staff should also note that the *IH-30 Corridor District* is divided into three (3) *Corridor Zones* (*i.e.* the *Preservation*, *Opportunity*, and *Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as “(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.” The subject property is currently vacant and is surrounded by single-story, single-tenant *Office Buildings* and *Restaurants*. Based on this, the proposed future development would appear to better conform to the *IH-30 Corridor Plan* contained in Appendix ‘B’, *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan than the existing development in the area.

## **STAFF ANALYSIS**

In this case, the proposed concept plan and conceptual building elevations appear to conform with all of the density and dimensional requirements applicable to properties located within the Commercial (C) District, with the exception of the maximum height requirement. The applicant's proposal also appears to align with the intent of the OURHometown Vision 2040 Comprehensive Plan, which encourages high-quality, visually appealing development along major corridors and gateway entries into the City. Staff has included provisions in the Specific Use Permit (SUP) ordinance that will require general conformance with the concept plan and conceptual elevations at the time of site plan approval, and that the proposed buildings shall not exceed 91-feet in height, as depicted in the conceptual building height exhibit.

To provide context, there are two (2) recent approvals -- *directly adjacent to the subject property* -- for similar Specific Use Permits (SUPs) allowing building heights exceeding the 36-foot limit within the Scenic Overlay (SOV) District. On August 7, 2017, the City Council approved a Specific Use Permit (SUP) for a hotel located within the Scenic Overlay (SOV) District southwest of the subject property that exceeded the 36-foot height standard under similar circumstances. This Specific Use Permit (SUP) permitted the hotel -- *now known as the Hyatt Rockwall Hotel* -- to a total height of 60-feet. On January 2, 2024, the City Council approved a Specific Use Permit (SUP) for the Rockwall Economic Development Corporation (REDC) pertaining to a 9.94-acre site northeast of the subject property. This Specific Use Permit (SUP) permitted office buildings up to 120-feet in height, subject to conformance with the approved concept plan and conceptual building height exhibit, and incorporated an expiration clause requiring reauthorization after ten (10) years. These prior cases demonstrate that the City Council has historically utilized the Specific Use Permit (SUP) process within the Scenic Overlay (SOV) District to allow limited height increases where warranted by site context, architectural design quality, and consistency with adopted long-range planning documents. In this case, the Commercial (C) District, has a similar height restriction of 60-feet. With that being said, a request for a Specific Use Permit (SUP) remains a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On September 19, 2025 staff mailed 58 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Association (HOA), which are the only Homeowners' Associations (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any property owner notifications in regard to the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an *Office Building* that exceeds 60-feet in height on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of an *Office Building* on the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
  - (b) The construction of an *Office Building* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
  - (c) The proposed *Office Building* shall not exceed a maximum overall height of 91.00-feet as measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$2( ) ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1020 LA JOLLA POINTE DRIVE, ROCKWALL TEXAS, 75087				
SUBDIVISION	LA JOLLA POINTE ADDITION	LOT	24,10,19	BLOCK	A
GENERAL LOCATION	NORTH OF I-30 EAST OF HORIZON ROAD				

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	C - COMMERCIAL	CURRENT USE	OFFICE "B"		
PROPOSED ZONING	C - COMMERCIAL	PROPOSED USE	OFFICE BUILDING / COFFEE SHOP		
ACREAGE	5.104 TOTAL	LOTS [CURRENT]	3	LOTS [PROPOSED]	1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	SHIPMAN FIRE PROTECTION	<input checked="" type="checkbox"/> APPLICANT	CRADDOCK ARCHITECTURE, PLLC
CONTACT PERSON	CLAY SHIPMAN	CONTACT PERSON	PHILLIP CRADDOCK
ADDRESS	1020 LA JOLLA POINTE DRIVE	ADDRESS	551 EMBARGO DR
CITY, STATE & ZIP	ROCKWALL, TEXAS 75087	CITY, STATE & ZIP	FATE, TEXAS 75189
PHONE	682-223-1922	PHONE	214-952-0527
E-MAIL	CLAY@SHIPMAN-FIRE.COM	E-MAIL	PHILLIP@CRADDOCKARCHITECTURE.COM

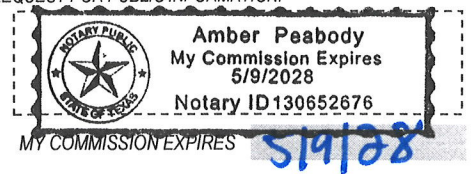
## NOTARY VERIFICATION [REQUIRED]

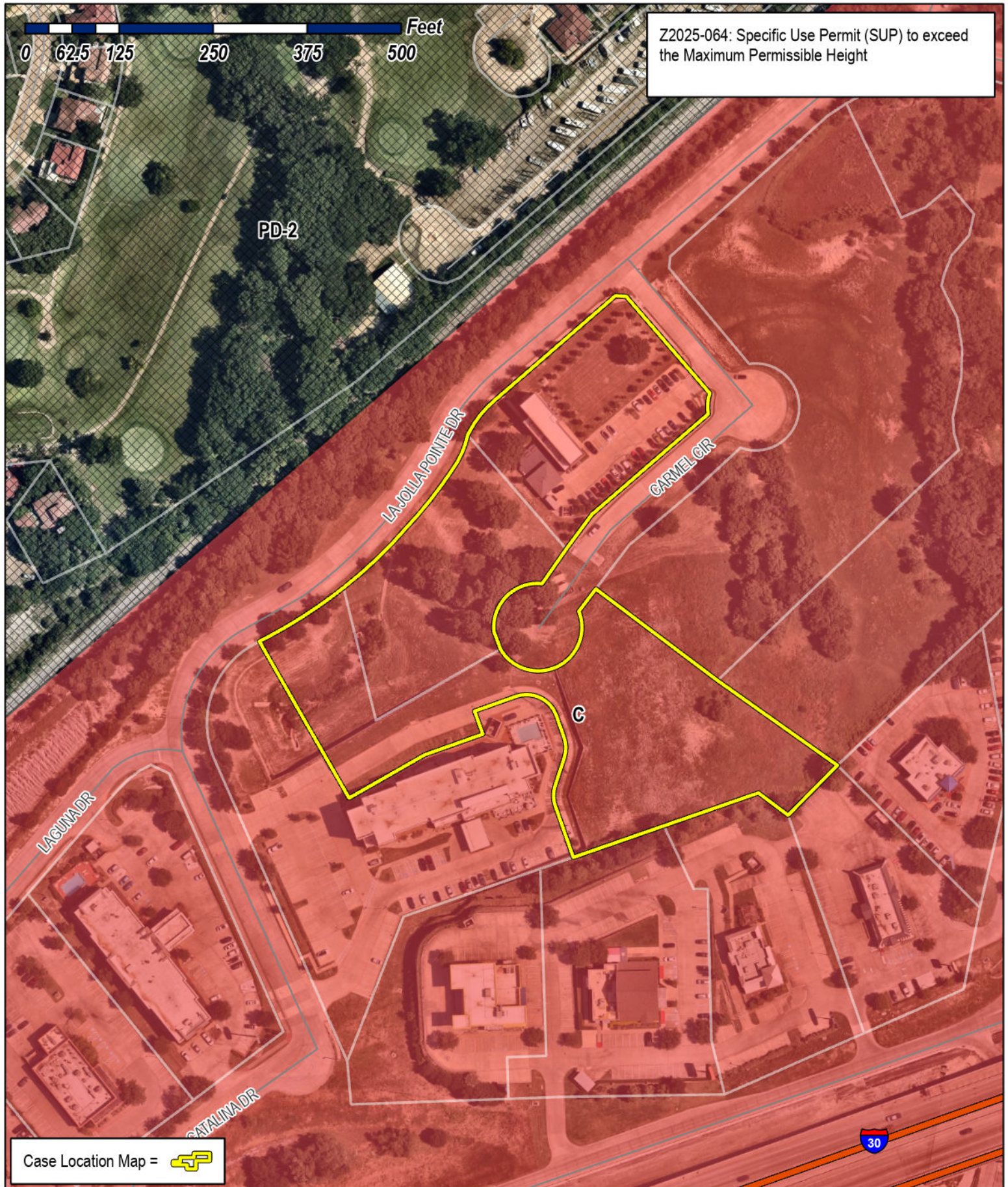
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CLAY SHIPMAN [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 276.56 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10TH DAY OF SEPT., 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10TH DAY OF SEPTEMBER, 2025  
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Amber Peabody





Z2025-064: Specific Use Permit (SUP) to exceed the Maximum Permissible Height

PD-2

LA-JOLLA-POINTE DR

CARMEL CIR

C

LACUNA DR

CATALINA DR

30

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

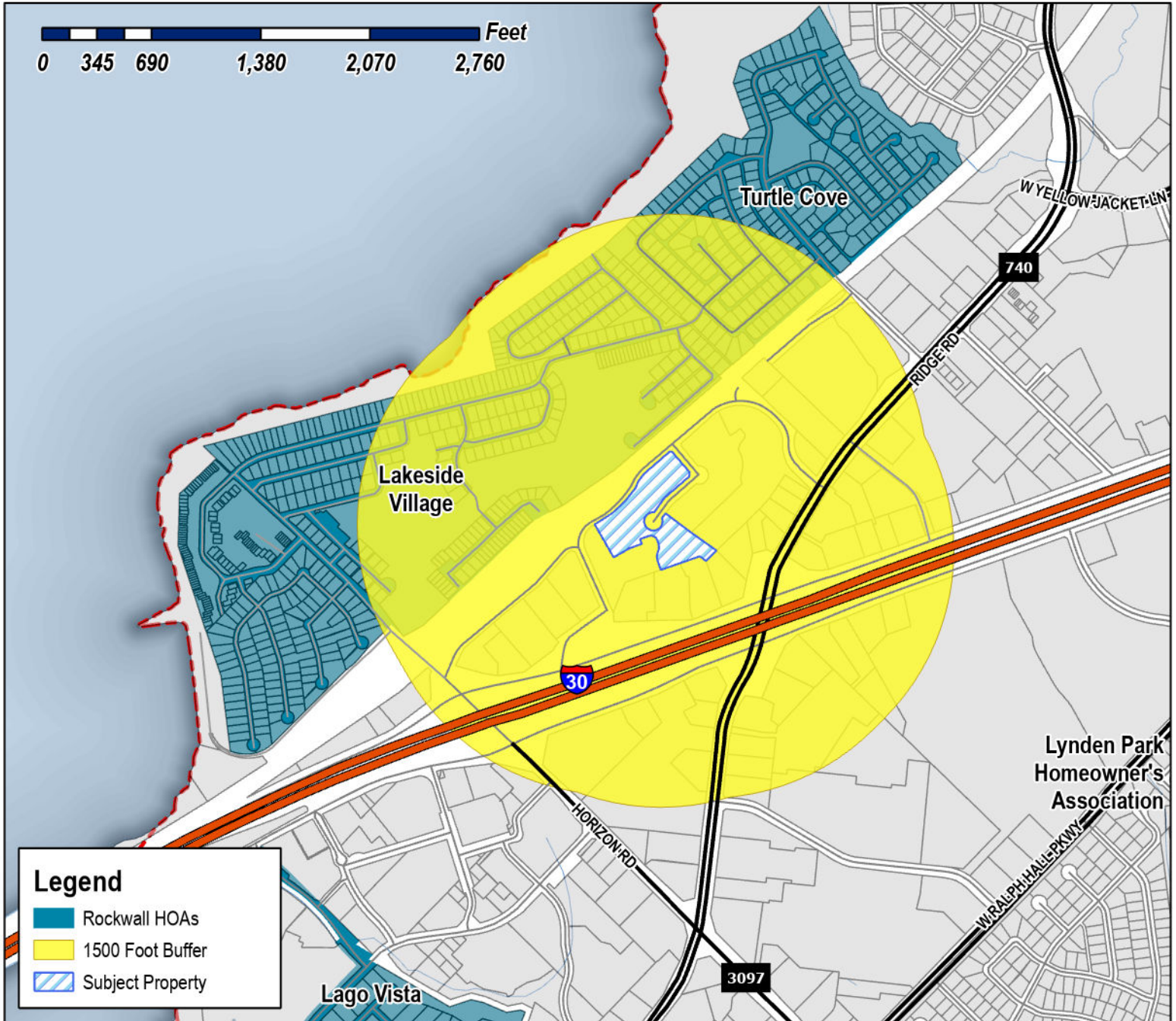




# City of Rockwall

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**Case Number:** Z2025-064  
**Case Name:** SUP to exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1020 La Jolla Drive

**Date Saved:** 9/12/2025  
 For Questions on this Case Call (972) 771-7745





**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2025-064]  
**Date:** Wednesday, September 17, 2025 11:05:33 AM  
**Attachments:** [Public Notice \(08.19.2025\).pdf](#)  
[HOA Map \(09.16.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 14, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 20, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-064: SUP to Exceed the Maximum Permissible Height in a Commercial (C) District  
Hold a public hearing to discuss and consider a request by Phillip Craddock of Craddock Architecture, PLLC on behalf of Clay Shipman of Shipman Fire Protection for the approval of a [Specific Use Permit \(SUP\)](#) to exceed the Maximum Permissible Height in a Commercial (C) District on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1020 La Jolla Pointe Drive.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-064  
**Case Name:** SUP to exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1020 La Jolla Drive

**Date Saved:** 9/12/2025

For Questions on this Case Call: (972) 771-7745



FIRE HOUSE RE LLC  
1020 LA JOLLA POINTE DR  
ROCKWALL, TX 75087

SHIPMAN FIRE GROUP INC  
1020 LA JOLLA POINTE DRIVE  
ROCKWALL, TX 75087

ROCKWALL RMKP LP  
1033 KINGSBRIDGE LN  
ROCKWALL, TX 75032

STEAK N SHAKE OPERATIONS, INC  
C/O THE STEAK N SHAKE COMPANY  
107 S Pennsylvania St Ste 400  
Indianapolis, IN 46204

RESIDENT  
1549 LAGUNA DR  
ROCKWALL, TX 75087

RESIDENT  
1599 LAGUNA DR  
ROCKWALL, TX 75087

RESIDENT  
1600 LA JOLLA POINTE DR  
ROCKWALL, TX 75087

SHIPMAN CLAY  
16001 LA JOLLA POINT DR  
ROCKWALL, TX 75087

DROBLYN JOHN  
16178 COUNTY ROAD 431  
LINDALE, TX 75771

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

BROOKS TIM  
2602 Ridge Rd Ste 1  
Rockwall, TX 75087

RESIDENT  
2604 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2608 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2610 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
2616 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
3002 PRESTON TR  
ROCKWALL, TX 75087

ROGERS GENTRY  
3003 PRESTON COURT  
ROCKWALL, TX 75087

RESIDENT  
3004 PRESTON TR  
ROCKWALL, TX 75087

MILLER KATHLEEN PALMER  
3004 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3005 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3006 PRESTON TR  
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A  
3006 PRESTON COURT  
ROCKWALL, TX 75087

BURK CATHERINE & HOWARD T  
3007 PRESTON CT  
ROCKWALL, TX 75087

RESIDENT  
3008 PRESTON TR  
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY  
3009 PRESTON CT  
ROCKWALL, TX 75087

GANCI GLENN  
305 DREW LN  
HEATH, TX 75032

LOTL HOLDINGS LLC  
320 PORTVIEW PLACE  
ROCKWALL, TX 75032

NERKOWSKI FRANK A & PAMELA JO  
3304 AUGUSTA BLVD  
ROCKWALL, TX 75087

DANIELS BENNIE & GLORIA  
3308 AUGUST BLVD  
ROCKWALL, TX 75087

CYNTHIA AND DOUGLAS BALZER LIVING TRUST  
DOUGLAS A BALZER AND CYNTHIA S BALZER -  
TRUSTEES  
3312 AUGUSTA BLVD  
ROCKWALL, TX 75087

REED FRANCES GEAN  
3316 AUGUSTA BLVD  
ROCKWALL, TX 75087

DAVIS LARRY DEAN & KAREN RENEE  
3317 Augusta Blvd  
Rockwall, TX 75087

2024 D E GYER REVOCABLE TRUST  
DAVID RAYE GYER & EVELYN CONSTANCE LILLY  
GYER - TRUSTEES  
3318 AUGUSTA BLVD  
ROCKWALL, TX 75087

SNYDER DONALD R AND LAURA J  
3319 AUGUSTA BLVD  
ROCKWALL, TX 75087

HOLLAND CHARLES A & BARBARA K  
3321 AUGUSTA BLVD  
ROCKWALL, TX 75087

RESIDENT  
3323 AUGUSTA BLVD  
ROCKWALL, TX 75087

PARK PLACE REALTY & PROPERTY  
MANAGEMENT LLC  
3325 AUGUSTA BLVD  
ROCKWALL, TX 75087

RESIDENT  
4100 VILLAGE DR  
ROCKWALL, TX 75087

BT CAYMAN LLC  
5430 Lyndon B Johnson Fwy Ste 1050  
Dallas, TX 75240

RESIDENT  
550 LA JOLLA DR  
ROCKWALL, TX 75087

RESIDENT  
550 E I30  
ROCKWALL, TX 75087

RESIDENT  
560 E I30  
ROCKWALL, TX 75087

RESIDENT  
568 E I30  
ROCKWALL, TX 75087

RESIDENT  
578 E I30  
ROCKWALL, TX 75087

SL ROCK RIDGE, LP  
5950 BERKSHIRE LN STE 700  
DALLAS, TX 75225

ROCKWALL CORNER CORPORATION  
600 E I-30  
ROCKWALL, TX 75087

ROCKWALL INNKEEPERS I LTD  
6176 FM 2011  
LONGVIEW, TX 75603

PJYK PROPERTIES LLC  
6708 EAGLE POINT COURT  
PLANO, TX 75024

ALLEN TEXAS WHITE TIGER CORPORATION  
853 BEAR CROSSING DRIVE  
ALLEN, TX 75013

ROCKWALL ECONOMIC DEVELOPMENT  
CORPORATION  
P O BOX 968  
ROCKWALL, TX 75087

LAKESIDE VILLAGE HOMEOWNERS  
P.O. BOX 650255  
DALLAS, TX 75265

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DALLAS, TX 75265

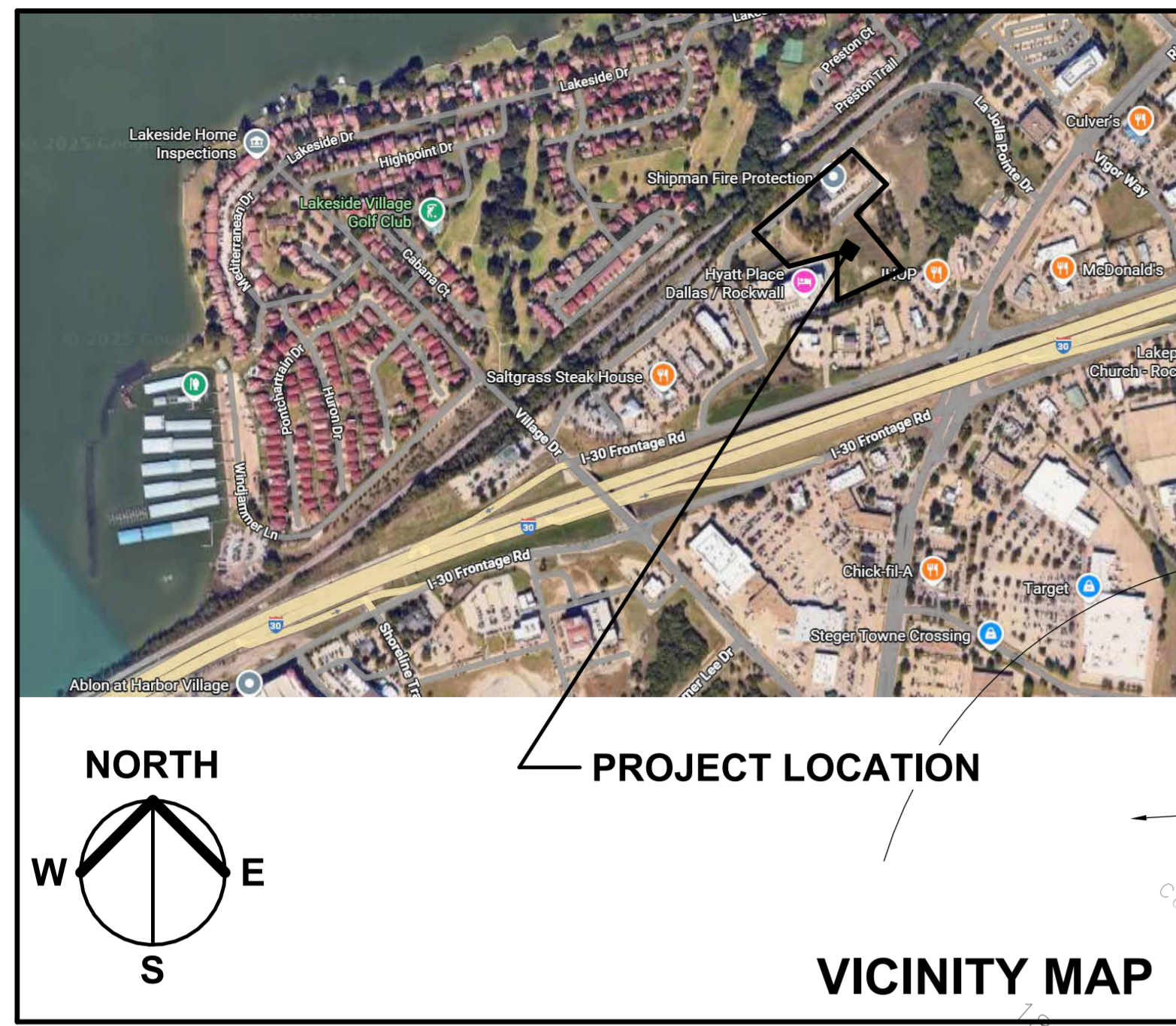
LAKESIDE VILLAGE H O ASSOC  
P.O. BOX 650255  
DALLAS, TX 75265

ROBERT H FAMILY TRUST AND BMK FIN CORP  
AND SHERRI LANE HEWETT AND SUSAN  
C/O IHOP ATTN HAKIM REMA  
PO Box 12168  
Dallas, TX 75225

B&M ALPHA INC  
PO Box 171754  
Arlington, TX 76003

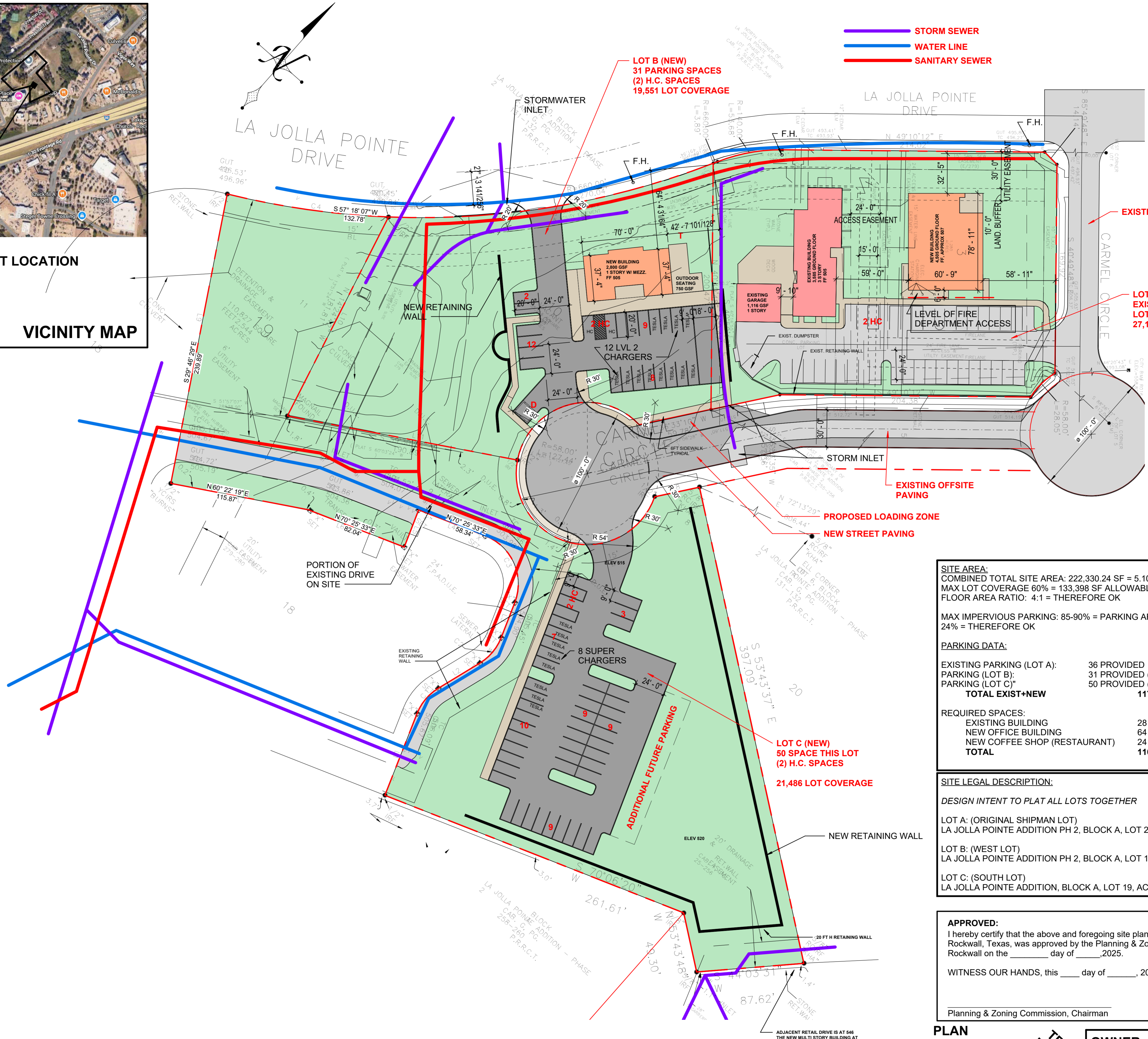
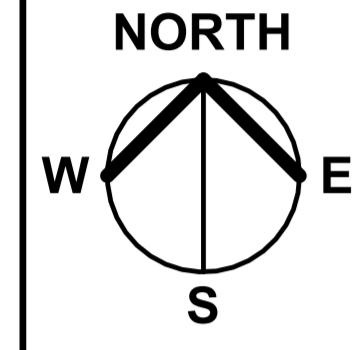
WAFFLE HOUSE INC  
ATTN: TAX DEPT  
PO BOX 6450  
NORCROSS, GA 30091

ROCKWALL ECONOMICS DEVELOPMENT  
CORPORATION  
PO BOX 968  
ROCKWALL, TX 75087



PROJECT LOCATION

VICINITY MAP



STORM SEWER  
 WATER LINE  
 SANITARY SEWER

LOT B (NEW)  
 31 PARKING SPACES  
 (2) H.C. SPACES  
 19,551 LOT COVERAGE

EXISTING STREET

LOT A  
 EXISTING PARKING  
 LOT (36) SPACES  
 27,102 LOT COVERAGE

PROPOSED LOADING ZONE  
 NEW STREET PAVING

LOT C (NEW)  
 50 SPACE THIS LOT  
 (2) H.C. SPACES  
 21,486 LOT COVERAGE

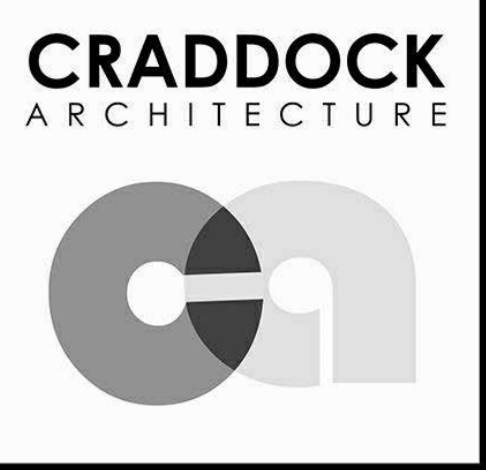
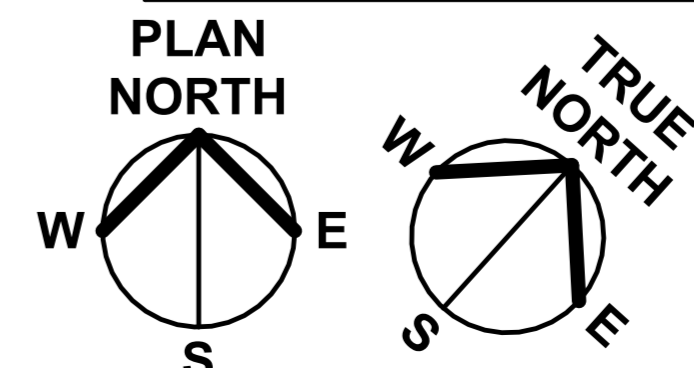
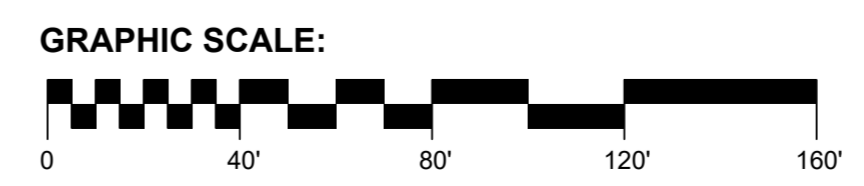
<b>SITE AREA:</b>	
COMBINED TOTAL SITE AREA: 222,330.24 SF = 5.104 ACRES	
MAX LOT COVERAGE 60% = 133,398 SF ALLOWABLE & 68,139 SF COVERED	
FLOOR AREA RATIO: 4:1 = THEREFORE OK	
MAX IMPERVIOUS PARKING: 85-90% = PARKING AREA PROVIDED = 47,243 OR 24% = THEREFORE OK	
<b>PARKING DATA:</b>	
EXISTING PARKING (LOT A):	36 PROVIDED (2 H.C. SPACES)
PARKING (LOT B):	31 PROVIDED (2 H.C. SPACES)
PARKING (LOT C):	50 PROVIDED (2 H.C. SPACES)
<b>TOTAL EXIST+NEW</b>	<b>117 PROVIDED</b>
<b>REQUIRED SPACES:</b>	
EXISTING BUILDING	28
NEW OFFICE BUILDING	64
NEW COFFEE SHOP (RESTAURANT)	24
<b>TOTAL</b>	<b>116 REQUIRED</b>

**SITE LEGAL DESCRIPTION:**  
 DESIGN INTENT TO PLAT ALL LOTS TOGETHER  
 LOT A: (ORIGINAL SHIPMAN LOT)  
 LA JOLLA POINTE ADDITION PH 2, BLOCK A, LOT 24, ACRES 1.280, (REPLAT 2020)  
 LOT B: (WEST LOT)  
 LA JOLLA POINTE ADDITION PH 2, BLOCK A, LOT 10, ACRES 1.280, (REPLAT 2008)  
 LOT C: (SOUTH LOT)  
 LA JOLLA POINTE ADDITION, BLOCK A, LOT 19, ACRES 2.544 C2

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**OWNER:**  
 SHIPMAN FIRE PROTECTION  
 1020 La Jolla Pointe Drive  
 Rockwall, TX 75087  
 Clay Shipman (682) 223-1922

**1 SITE PLAN**  
 1" = 40'-0"

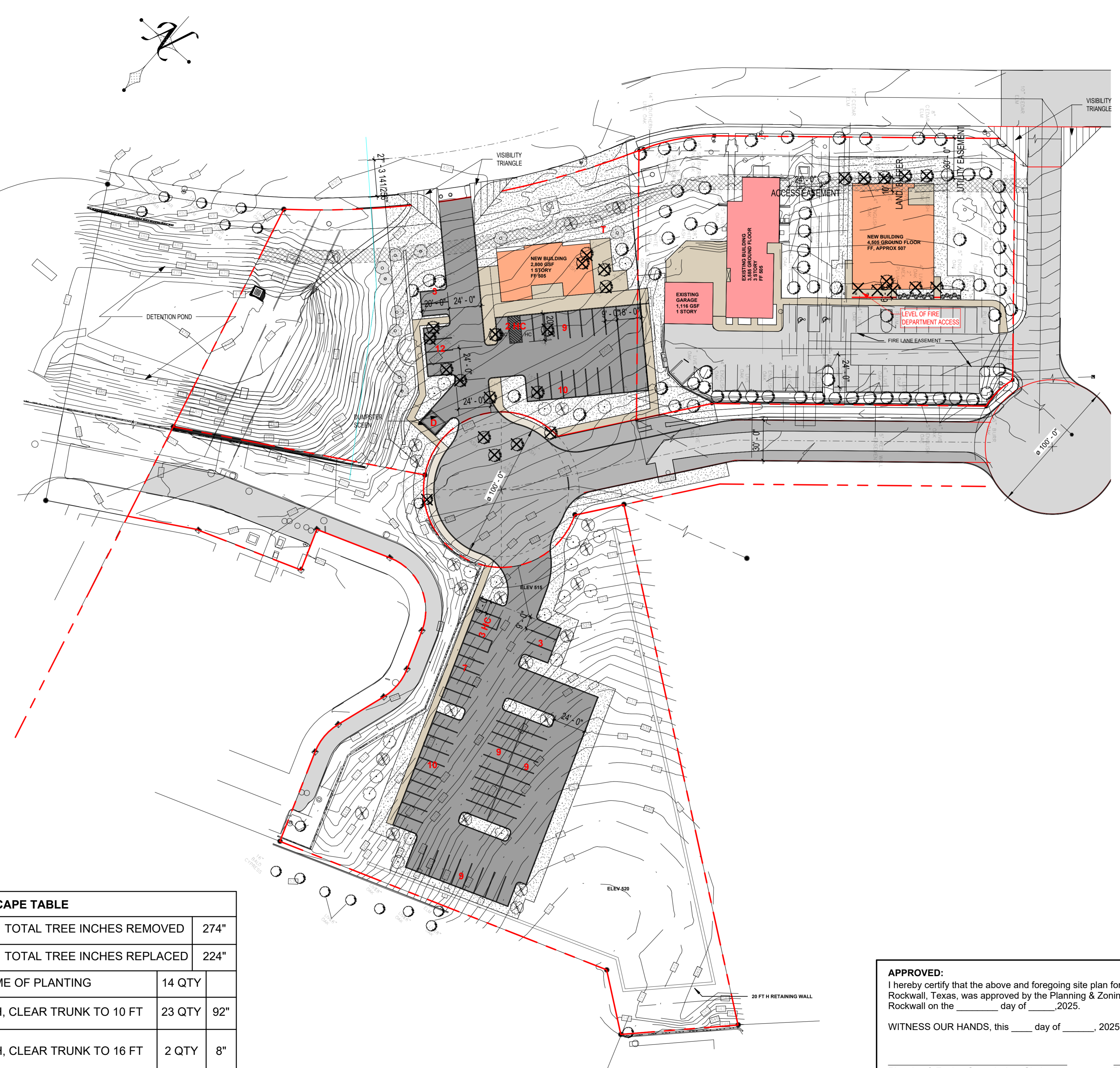


**CRADDOCK ARCHITECTURE**  
 551 EMBARGO DR., FATE TEXAS 75189 214-952-0527  
**SHIPMAN FIRE PROTECTION**

REVISION		
#	Revision Date	Revision Description

**NEW OFFICE / STORAGE**  
 1020 La Jolla Pointe Drive  
 Rockwall, TX 75087  
 Project number 2024-001 Date 8.14.2025  
**SITE PLAN**

**A100**



**SITE AREA:**  
COMBINED TOTAL SITE AREA: 222,330.24 SF = 5.104 ACRES  
MAX LOT COVERAGE 60% = 133,398 SF ALLOWABLE & 68,139 SF COVERED  
FLOOR AREA RATIO: 4:1 = THEREFORE OK

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**PARKING DATA:**

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LOT C: (SOUTH LOT)  
LA JOLLA POINTE ADDITION, BLOCK A, LOT 19, ACRES 2.544 C2

LANDSCAPE LEGEND		TREESCAPE TABLE			
G1	BERMUDA GRASS	EXISTING TREES TO REMAIN	TOTAL TREE INCHES REMOVED	274"	
G2	PEA GRAVEL	TREES TO BE REMOVED	TOTAL TREE INCHES REPLACED	224"	
S1	DWARF YAUPON	5 GAL, 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING	14 QTY		
T1	CADDO MAPLE	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 10 FT	23 QTY	92"	
T2	LIVE OAK	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 16 FT	2 QTY	8"	
T3	TEXAS ASH	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT	21 QTY	84"	
T4	BALD CYPRESS	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 10 FT	10 QTY	40"	

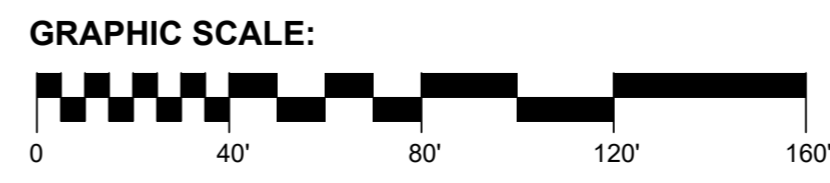
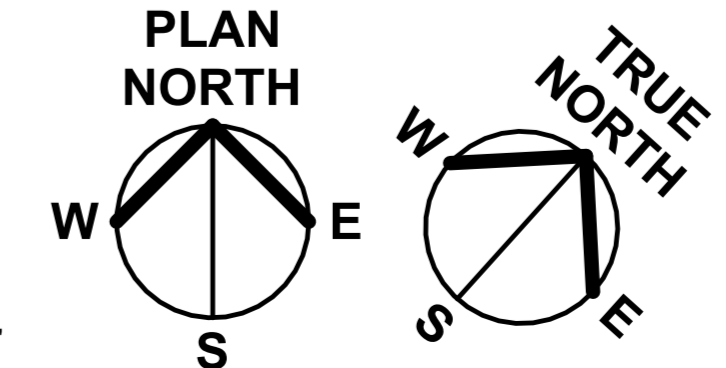
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WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922



**1 LANDSCAPE PLAN**  
1" = 40'-0"

REVISION		
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**NEW OFFICE / STORAGE**  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087

Project number 2024-001 Date 8.14.2025

**LANDSCAPE PLAN**

Scale: As indicated

REVISION		
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**NEW OFFICE / STORAGE**  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087

Project number 2024-001 Date 8.14.2025

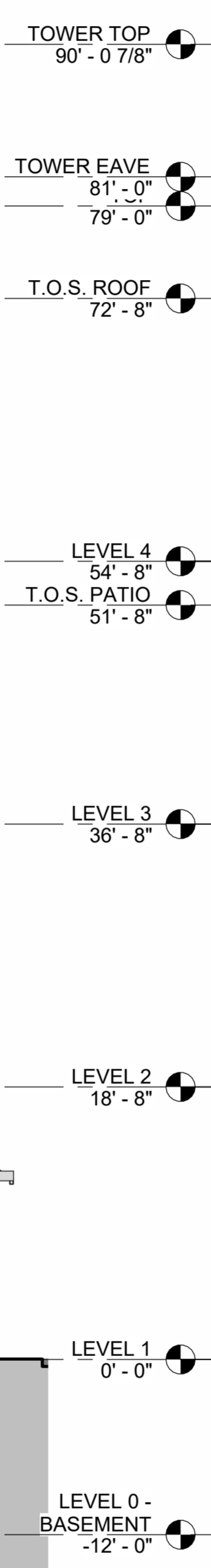
**EXTERIOR ELEVATIONS**

Scale: As indicated

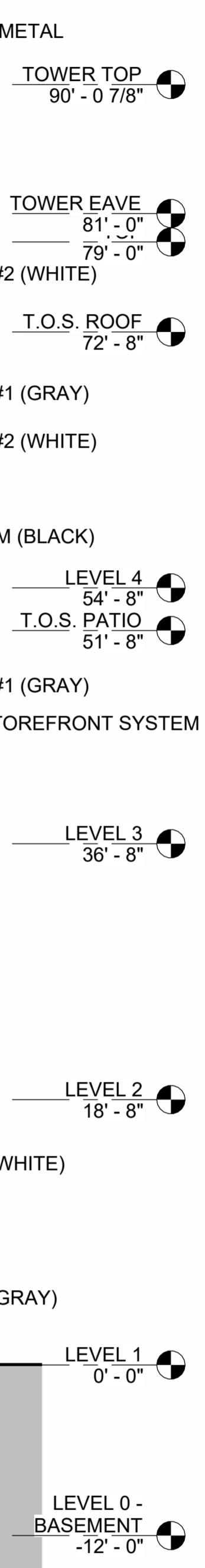
**A600**



**2 WEST SIDE ELEVATION**  
1/8" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



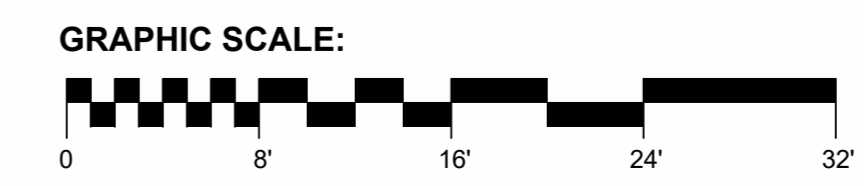
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

MATERIAL CALCULATIONS			MATERIAL CALCULATIONS		
	AREA	%		AREA	%
NORTH ELEVATION	5,531		SOUTH ELEVATION	4,701	
MASONRY	5,066	91.6%	MASONRY	4,432	94.3%
BRICK & CAST STONE	464	8.4%	BRICK & CAST STONE	269	5.7%
3 PART STUCCO	6,551		3 PART STUCCO	6,625	
EAST ELEVATION	6,188	94.5%	WEST ELEVATION	6,016	90.8%
MASONRY	363	5.5%	MASONRY	609	9.2%
BRICK & CAST STONE			BRICK & CAST STONE		
3 PART STUCCO			3 PART STUCCO		



**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922

REVISION		
#	Revision Date	Revision Description

NEW OFFICE / STORAGE  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Project number 2024-001 Date 8.14.2025  
**EXTERIOR ELEVATIONS**  
Scale: As indicated

**A601**

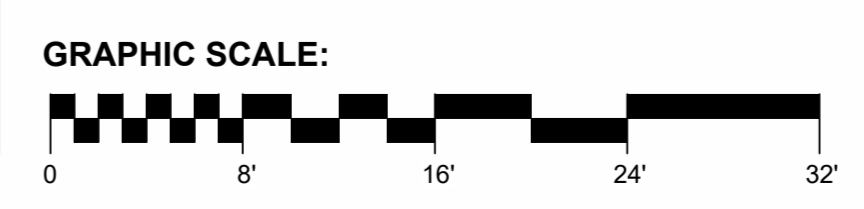


**2 EAST SIDE ELEVATION**  
1/8" = 1'-0"

**1 NORTH ELEVATION**  
1/8" = 1'-0"

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman      Director of Planning and Zoning

MATERIAL CALCULATIONS			MATERIAL CALCULATIONS		
NORTH ELEVATION	AREA	%	SOUTH ELEVATION	AREA	%
MASONRY	5,531		MASONRY	4,701	
BRICK & CAST STONE	5,066	91.6%	BRICK & CAST STONE	4,432	94.3%
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BRICK & CAST STONE	363	5.5%	BRICK & CAST STONE	609	9.2%
3 PART STUCCO			3 PART STUCCO		



**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922







**2 SOUTH ELEVATION**  
1/4" = 1'-0"



**1 WEST SIDE ELEVATION**  
1/4" = 1'-0"

MATERIAL CALCULATIONS			AREA	%
NORTH ELEVATION			2,192	
MASONRY	BRICK		1,678	76.6%
WOOD			514	23.4%
EAST ELEVATION			1,096	
MASONRY	BRICK		865	78.9%
WOOD			231	21.1%
SOUTH ELEVATION			2,196	
MASONRY	BRICK		1,470	66.9%
WOOD			726	33.1%
WEST ELEVATION			1,213	
MASONRY	BRICK		954	78.6%
WOOD			259	21.4%

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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922

REVISION		
#	Revision Date	Revision Description

SHIPMAN'S COFFEE  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087

Project number 2024.002 Date 9.5.25

Architectural Building Elevations

Scale: As Indicated



**2 NORTH ELEVATION**  
1/4" = 1'-0"



**1 EAST SIDE ELEVATION**  
1/4" = 1'-0"

MATERIAL CALCULATIONS		AREA	%
NORTH ELEVATION		2,192	
MASONRY	BRICK	1,678	76.6%
WOOD		514	23.4%
EAST ELEVATION		1,096	
MASONRY	BRICK	865	78.9%
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MASONRY	BRICK	1,470	66.9%
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\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

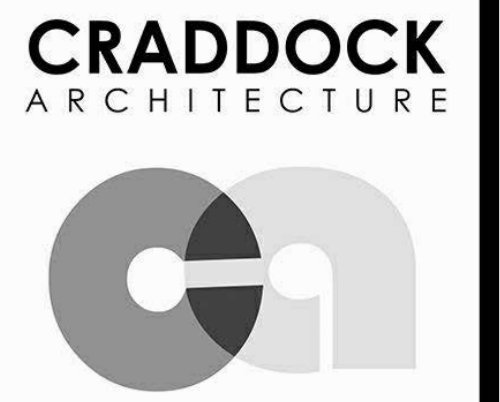
**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922

REVISION		
#	Revision Date	Revision Description

SHIPMAN'S COFFEE  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087

Project number 2024.002 Date 9.5.25  
Architectural Building Elevations

Scale: As Indicated



9.11.25  
 PHILLIP CRADDOCK, ARCHITECT  
 TEXAS 19207

**CRADDOCK ARCHITECTURE**  
 551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

**SHIPMAN'S COFFEE**

COPYRIGHT 2025 - CRADDOCK ARCHITECTURE PLLC. FOR USE ONLY ON A SPECIFIC SITE.

REVISION		
#	Revision Date	Revision Description

**SHIPMAN'S COFFEE**  
 1020 La Jolla Pointe Drive  
 Rockwall, TX 75087  
 Project number 2024.002 Date 9.5.25  
**PERSPECTIVES**  
 Scale: 1" = 1'-0"

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 Planning & Zoning Commission, Chairman                      Director of Planning and Zoning

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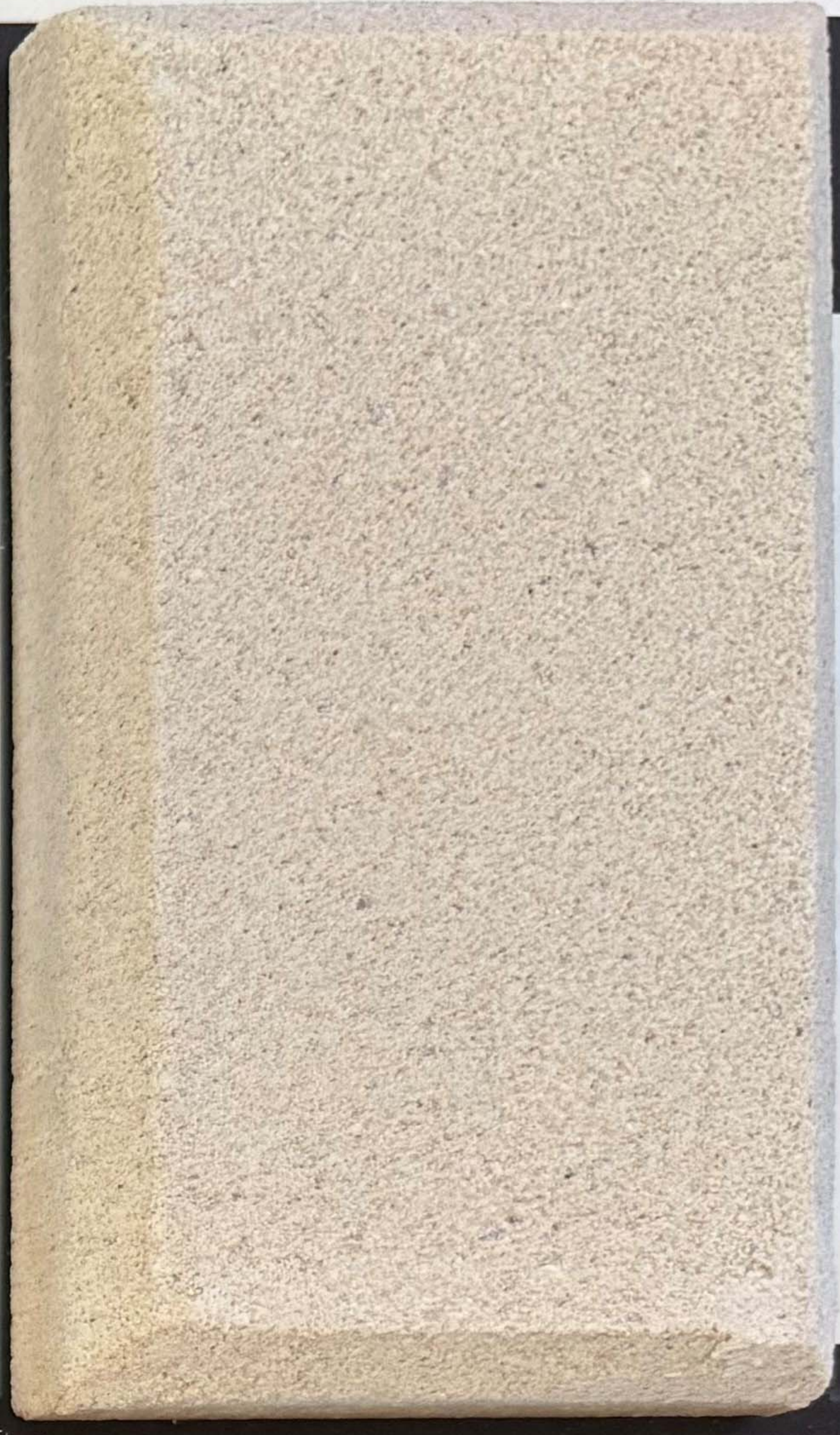
**A605**

3 PART STUCCO DOVE TAIL

3 PART STUCCO WHITE



BERRIDGE MATTE BLACK



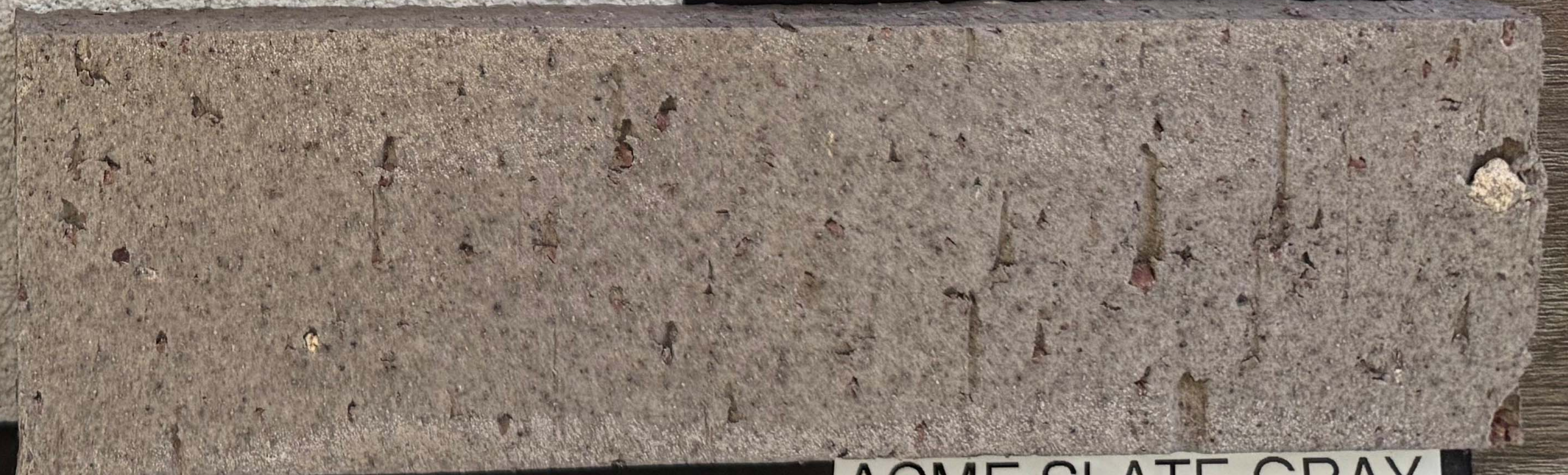
CAST STONE WHITE



ACME GARNET

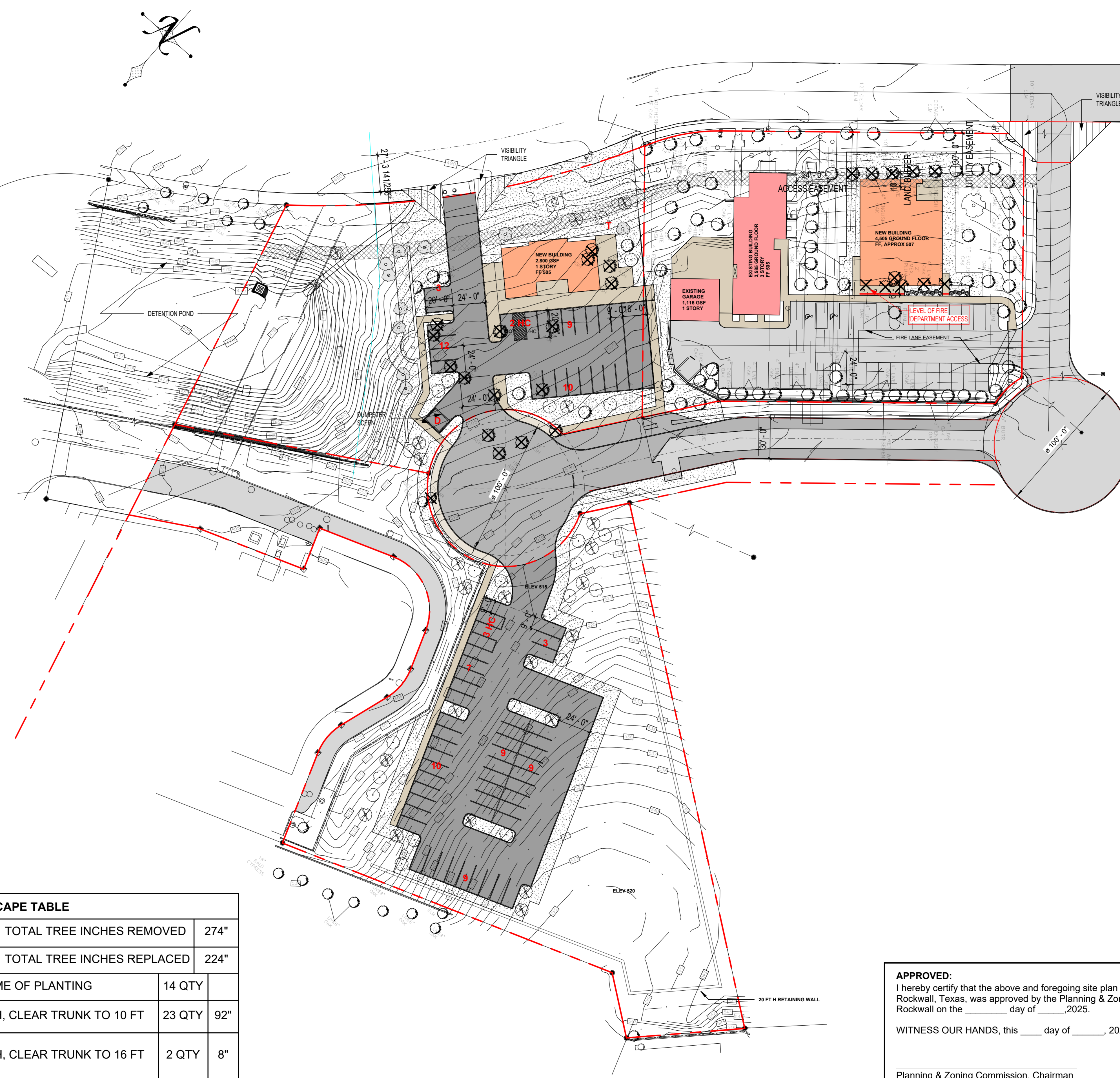


ACME ALLENTOWN



ACME SLATE GRAY

SHIPMAN FIRE PROTECTION



**SITE AREA:**  
COMBINED TOTAL SITE AREA: 222,330.24 SF = 5.104 ACRES  
MAX LOT COVERAGE 60% = 133,398 SF ALLOWABLE & 68,139 SF COVERED  
FLOOR AREA RATIO: 4:1 = THEREFORE OK

MAX IMPERVIOUS PARKING: 85-90% = PARKING AREA PROVIDED = 47,243 OR 24% = THEREFORE OK

**PARKING DATA:**

EXISTING PARKING (LOT A):	36 PROVIDED (2 H.C. SPACES)
PARKING (LOT B):	31 PROVIDED (2 H.C. SPACES)
PARKING (LOT C):	50 PROVIDED (2 H.C. SPACES)
<b>TOTAL EXIST+NEW</b>	<b>117 PROVIDED</b>

**REQUIRED SPACES:**

EXISTING BUILDING	28
NEW OFFICE BUILDING	64
NEW COFFEE SHOP (RESTAURANT)	24
<b>TOTAL</b>	<b>116 REQUIRED</b>

**SITE LEGAL DESCRIPTION:**

*DESIGN INTENT TO PLAT ALL LOTS TOGETHER*

LOT A: (ORIGINAL SHIPMAN LOT)  
LA JOLLA POINTE ADDITION PH 2, BLOCK A, LOT 24, ACRES 1.280, (REPLAT 2020)

LOT B: (WEST LOT)  
LA JOLLA POINTE ADDITION PH 2, BLOCK A, LOT 10, ACRES 1.280, (REPLAT 2008)

LOT C: (SOUTH LOT)  
LA JOLLA POINTE ADDITION, BLOCK A, LOT 19, ACRES 2.544 C2

LANDSCAPE LEGEND		TREESCAPE TABLE			
G1	BERMUDA GRASS	EXISTING TREES TO REMAIN	TOTAL TREE INCHES REMOVED	274"	
G2	PEA GRAVEL	TREES TO BE REMOVED	TOTAL TREE INCHES REPLACED	224"	
S1	DWARF YAUPON	5 GAL, 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING	14 QTY		
T1	CADDO MAPLE	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 10 FT	23 QTY	92"	
T2	LIVE OAK	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 16 FT	2 QTY	8"	
T3	TEXAS ASH	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT	21 QTY	84"	
T4	BALD CYPRESS	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 10 FT	10 QTY	40"	

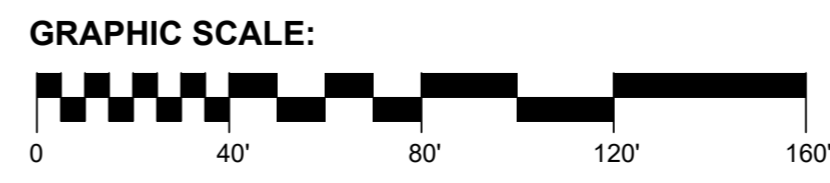
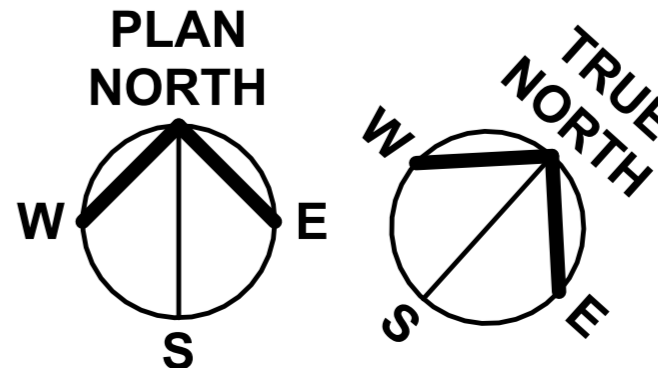
**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

WITNESS OUR HANDS, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**OWNER:**  
SHIPMAN FIRE PROTECTION  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087  
Clay Shipman (682) 223-1922



**1 LANDSCAPE PLAN**  
1" = 40'-0"

REVISION		
#	Revision Date	Revision Description

**NEW OFFICE / STORAGE**  
1020 La Jolla Pointe Drive  
Rockwall, TX 75087

Project number 2024-001 Date 8.14.2025

**LANDSCAPE PLAN**

Scale: As indicated

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO *EXCEED THE MAXIMUM PERMISSIBLE HEIGHT IN A COMMERCIAL (C) DISTRICT* ON A 5.104-ACRE TRACT OF LAND IDENTIFIED AS LOT 19, BLOCK A, LA JOLLA POINTE ADDITION AND LOTS 10 & 24, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Alan Wyatt for the approval of a Specific Use Permit (SUP) to *Exceed the Maximum Permissible Height in a Commercial (C) District* on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla pointe addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to *Exceed the Maximum Permissible Height in a Commercial (C) District* in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of an *Office Building* that *Exceeds the Maximum Permissible Height in a Commercial (C) District* and the continued operation of an *Office Building* on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of an *Office Building* on the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of an *Office Building* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed *Office Building* shall not exceed a maximum overall height of 91.00-feet as measured from the average elevation of the finished grade along the front of the building to the highest point of the roof or parapet of the building.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.



**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>RD</sup> DAY OF NOVEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

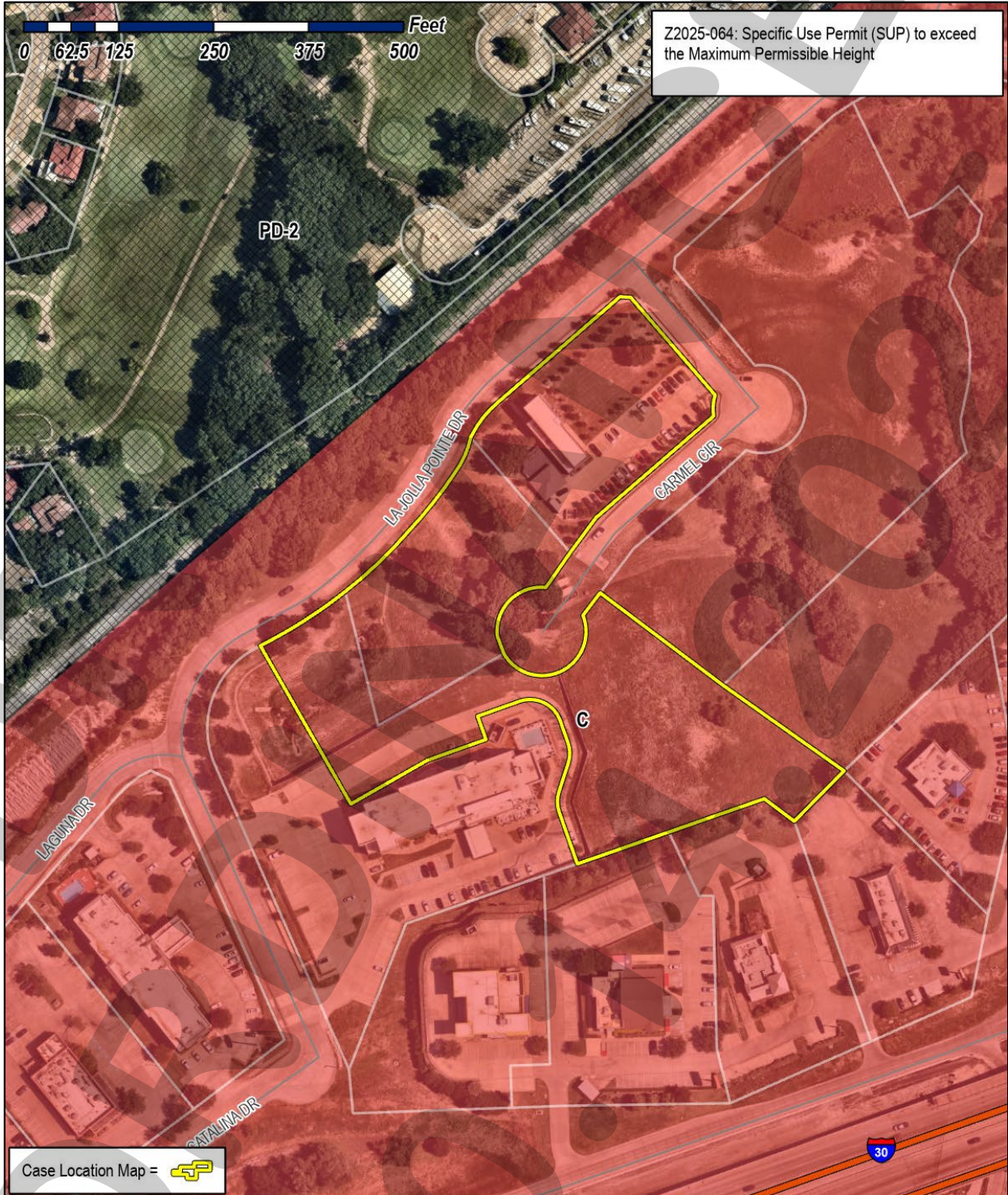
1<sup>st</sup> Reading: October 20, 2025

2<sup>nd</sup> Reading: November 3, 2025

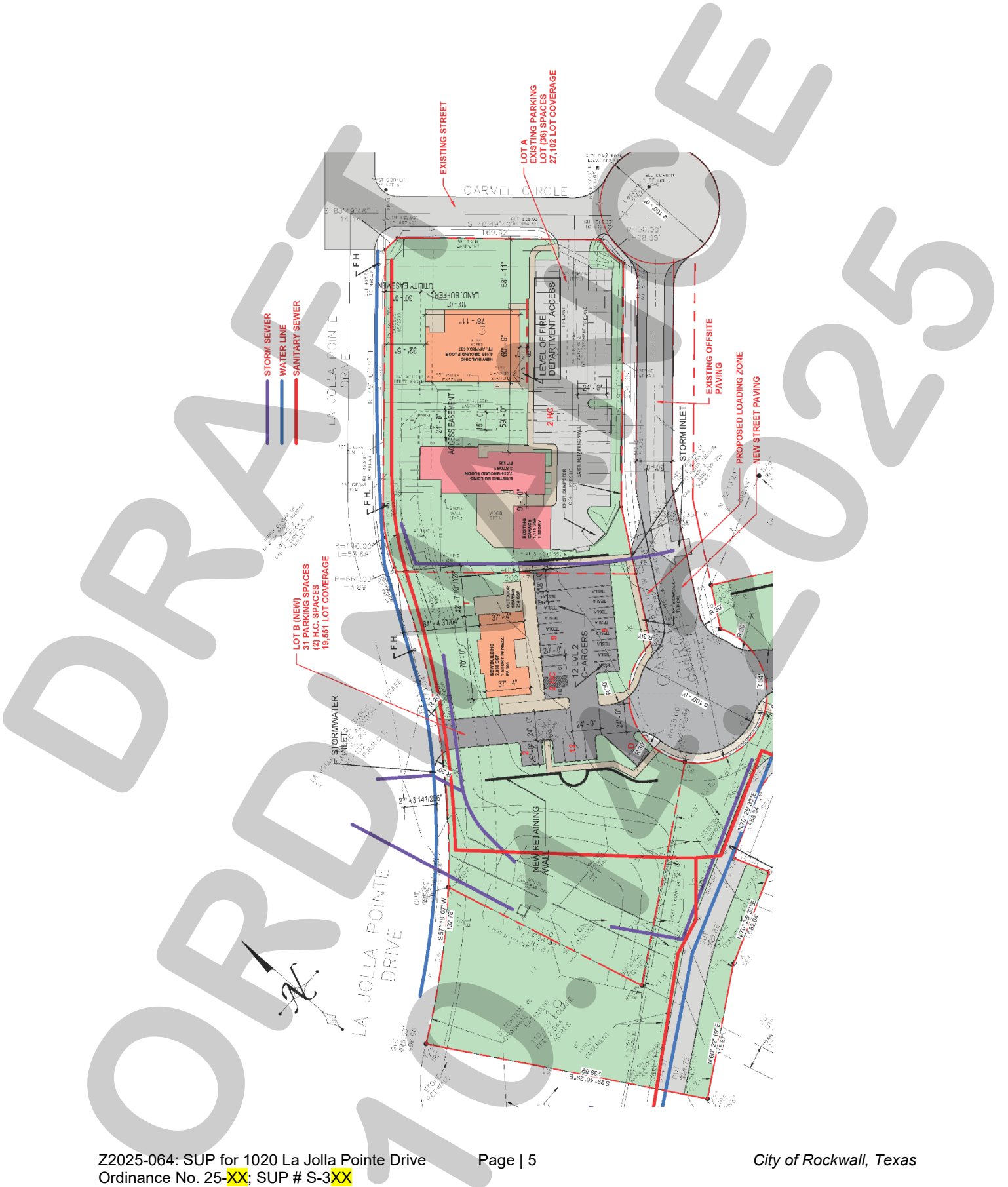
**Exhibit 'A'**  
*Location Map*

Address: 1020 La Jolla Pointe Drive

Legal Description: Lot 19, Block A, La Jolla Pointe Addition and Lots 10 & 24, Block A, La Jolla Pointe, Phase 2 Addition



**Exhibit 'B'**  
**Site Plan**



**Exhibit 'C':  
Building Elevations**



**Exhibit 'C':  
Building Elevations**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** Jimmy Strohmeyer; *Strohmeyer Architects*  
**CASE NUMBER:** Z2025-065; *Specific Use Permit (SUP) for a Retail Store with Gasoline Sales*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bost of JBR2, LLC for the approval of an Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales that has more than Two (2) Dispensers* on a 2.59-acre parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, generally located at the south corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

### **BACKGROUND**

On October 4, 2010, the City Council approved the annexation of the subject property by adopting *Ordinance No. 10-27 [Case No. A2010-001]*. On April 4, 2011, the City Council approved a zoning change [Case No. Z2010-021] from an Agricultural (AG) District to a General Retail (GR) District. On February 2, 2015, the City Council approved a final plat [Case No. P2015-001] that establish the subject property as Lot 3, Block A, Buffalo Crossing Addition. On February 1, 2016, the City Council approved a Specific Use Permit (SUP) [Case No. Z2015-028] to allow the construction of two (2) private baseball fields. On May 2, 2016, the City Council approved a final plat [Case No. P2015-015] that establish the subject property as Lot 2, Block A, JBR2 Addition. On October 3, 2016, the City Council approved a Specific Use Permit (SUP) [Case No. Z2016-029] to allow the construction of a *Retail Store with Gasoline Sales*. The approved *Retail Store with Gasoline Sales* was never constructed and subsequently the Specific Use Permit (SUP) expired. The subject property has remained vacant since the time of annexation.

### **PURPOSE**

The applicant -- *Jimmy Strohmeyer of Strohmeyer Architects* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Retail Store with Gasoline Sales* to be established on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is generally located at south corner of the intersection of S. Goliad Street [SH-205] and FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the intersection of S. Goliad Street [SH-205] and FM-549, which are identified as a P6D (*i.e. principle, six [6] lane, divided roadway*) and a A4D (*i.e. arterial, four [4] lane, divided roadway*) respectively, on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.503-acre parcel of land (*i.e. Lot 1, Block A, Creekside Commons Addition*) developed with a *Retail Store with Gasoline Sales (i.e. 7-11)*. Following this is a 11.874-acre vacant parcel of land (*i.e. Lot 18, Block A, Creekside Commons Addition*). Both properties are zoned Commercial (C) District.

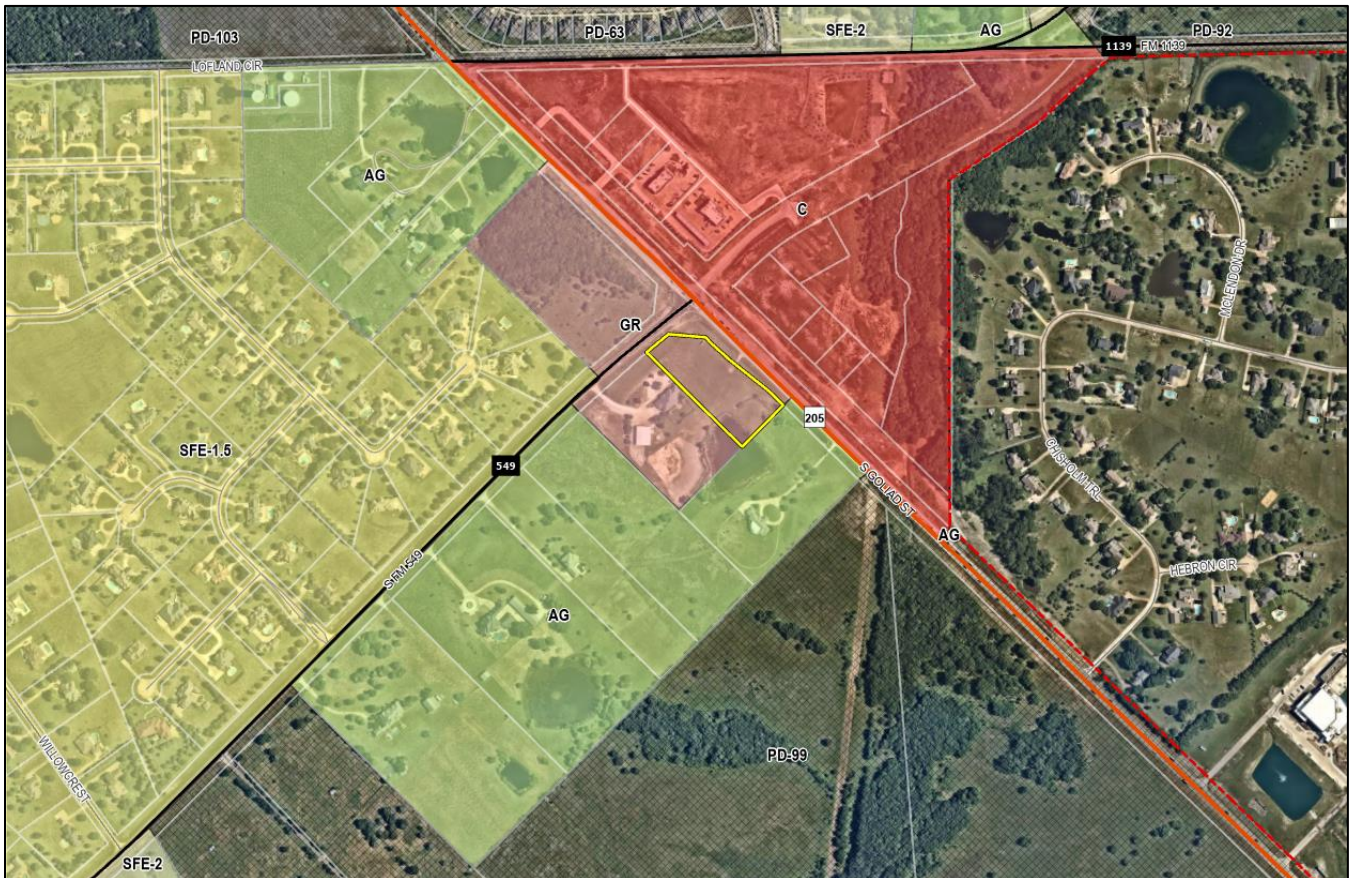
South: Directly south of the subject property is a 6.00-acre tract of land (*i.e. Tract 17-8 of the W. W. Ford Survey, Abstract No. 80*) developed with a single-family home. Beyond this is a 7.493-acre vacant tract of land (*i.e. Tract 17-14 of the W. W. Ford Survey, Abstract No. 80*). Both properties are zoned Agricultural (AG) District. Following

this is the future Southside Hill Subdivision, which is entitled for 384 single-family homes, zoned Planned Development District 99 (PD-99) for Single Family 10 (SF-10) District.

East: Directly east of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principle, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) vacant parcel of land (i.e. Lots 10-13, Block A, Creekside Commons Addition) zoned Commercial (C) District. Following this is the Corporate Limits for the City of Rockwall.

West: Directly west of the subject property is FM-549, which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 60 parcels of land zoned Single Family Estate 1.5 (SFE-1.5) District.

MAP 1: LOCATION MAP  
**YELLOW:** SUBJECT PROPERTY



### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application and concept plan depicting the layout of a *Retail Store with Gasoline Sales*. The proposed *Retail Store with Gasoline Sales* will be approximately 5,600 SF and have eight (8) fuel pumps. The primary building and the fuel canopy will face onto S. Goliad Street [SH-205] and run parallel to the roadway. The subject property will take entry off of S. Goliad Street [SH-205] and through an access easement from the adjacent property. In addition, 33 parking spaces are provided in between the primary building and the roadways.

### **CONFORMANCE WITH THE CITY'S CODES**

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Retail Store with Gasoline Sales* requires a Specific Use Permit (SUP) in General Retail (GR) District. In addition, Subsection 02.03(F)(13), *Conditional Land Use Standards*, of Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC)

states that “(a)ll fuel vents associated with the fuel storage tanks at any *Retail Store with Gasoline Sales* shall be located within the gas canopy, and shall be fully screened and not visible from adjacent properties and/or rights-of-way.” In this case, the *Conditional Land Use Standard* will be addressed at the time of site plan.

According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “parking should not be located between the front façade and the property line.” In this case, the proposed concept plan delineates all of the parking shall be located between the front façade and the front property line. Staff should note, that the subject property is a corner lot and therefore fronts onto two (2) roadways and has two (2) front property lines. The applicant has indicated that this will be requested as an *Exception* at the time of site plan; however -- *if approved* -- the Specific Use Permit (SUP) will generally tie down the site design and effectively grant the *Exception*. Given this, as part of this case the City Council -- *pending a recommendation from the Planning and Zoning Commission* --, must determine whether to approve this *Exception* with this Specific Use Permit (SUP) request.

## **STAFF ANALYSIS**

Properties zoned General Retail (GR) District are generally located near or directly adjacent to residentially zoned and used property. Given this, the permitted land uses within the General Retail (GR) District are restricted and less intense than a Commercial (C) District; however, a Specific Use Permit (SUP) is intended to acknowledge that not all land uses are appropriate in every General Retail (GR) District. In this case, the subject property is zoned General Retail (GR) District, which requires a Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales*. According to Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applicants and Review Procedures*, of the Unified Development Code (UDC), “(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions.” In addition, the purpose of specifically requiring a Specific Use Permit (SUP) for the *Retail Store with Gasoline Sales* land use in a General Retail (GR) District is intended to: [1] acknowledge that properties that are zoned General Retail (GR) District are typically closer to residentially zoned land and this type of land use -- *due to how it operates (e.g. traffic generation)* -- is not considered compatible with residential properties, and [2] to prevent the proliferation of this land use along major corridors within the City outside of the IH-30 corridor.

Based on this request, it shall be the discretion of the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- to determine if the subject property is a compatible site for a *Retail Store with Gasoline Sales*. Staff should note, that a notice in opposition was received from the adjacent residential property owner, who also submitted a notice of opposition with the original zoning change [Case No. Z2010-021] from Agricultural (AG) District to General Retail (GR) District, and for the previous Specific Use Permit (SUP) [Case No. Z2016-029]. In addition, the staff report for the original zoning case that changed the property from an Agricultural (AG) District to a General Retail (GR) District indicated that the General Retail (GR) District zoning designation was more appropriate due to the restricted land uses, and due to the oversight provided by the Specific Use Permit (SUP).

The applicant's request is identical to the Specific Use Permit (SUP) approved in 2016 -- *with the exception of an adjustment to the parking location* -- which subsequently expired due to inactivity. Since that time, the tract of land to the north has been rezoned to Commercial (C) District, where a *Retail Store with Gasoline Sales (i.e. 7-11)*, a *Restaurant with Drive Through* has been established (*i.e. McDonald's*), and a *Restaurant with Drive Through* has been entitled (*i.e. HTeaO*). The being said, the adjacent residentially used property has not had any change in condition. With all that being said, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval described below and outlined within the *Draft Ordinance* contained in your packet.

## **NOTIFICATIONS**

On September 19, 2025, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Oaks of Buffalo Way Homeowners Association (HOA), which is the only HOA's or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notice in opposition to the applicant's request.



## CONDITIONS OF APPROVAL

If the City Council chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Retail Store with Gasoline Sales* then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The *Subject Property* shall incorporate and maintain three (3) tiered screening and a berm along the southeast property line adjacent to Tract 17-8 of W. W. Ford Survey, Abstract No. 80.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

**PLATTING APPLICATION FEES:**

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

**SITE PLAN APPLICATION FEES:**

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

**ZONING APPLICATION FEES:**

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

**OTHER APPLICATION FEES:**

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

**NOTES:**

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

**PROPERTY INFORMATION** [PLEASE PRINT]

ADDRESS TRACK 17-12 OD THE W.W. FORD SURVEY, ABSTRACT NO. 80  
 SUBDIVISION W.W. FORD SURVEY LOT 2 BLOCK A  
 GENERAL LOCATION 549/205

**ZONING, SITE PLAN AND PLATTING INFORMATION** [PLEASE PRINT]

CURRENT ZONING GENERAL RETAIL CURRENT USE N/A  
 PROPOSED ZONING GENERAL RETAIL PROPOSED USE GR WITH MORE THAN 2 FUEL PUMPS  
 ACREAGE 2.59 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

**OWNER/APPLICANT/AGENT INFORMATION** [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

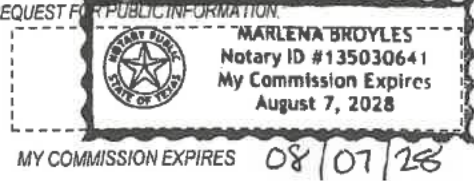
OWNER JBR2, LLC  APPLICANT STROHMEYER ARCHITECTS  
 CONTACT PERSON D.W. BOBST CONTACT PERSON JIMMY STROHMEYER  
 ADDRESS [REDACTED] ADDRESS [REDACTED]  
 CITY, STATE & ZIP [REDACTED] CITY, STATE & ZIP [REDACTED]  
 PHONE [REDACTED] PHONE [REDACTED]  
 E-MAIL [REDACTED] E-MAIL [REDACTED]

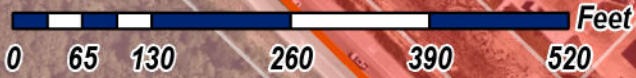
**NOTARY VERIFICATION** [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED D.W. Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

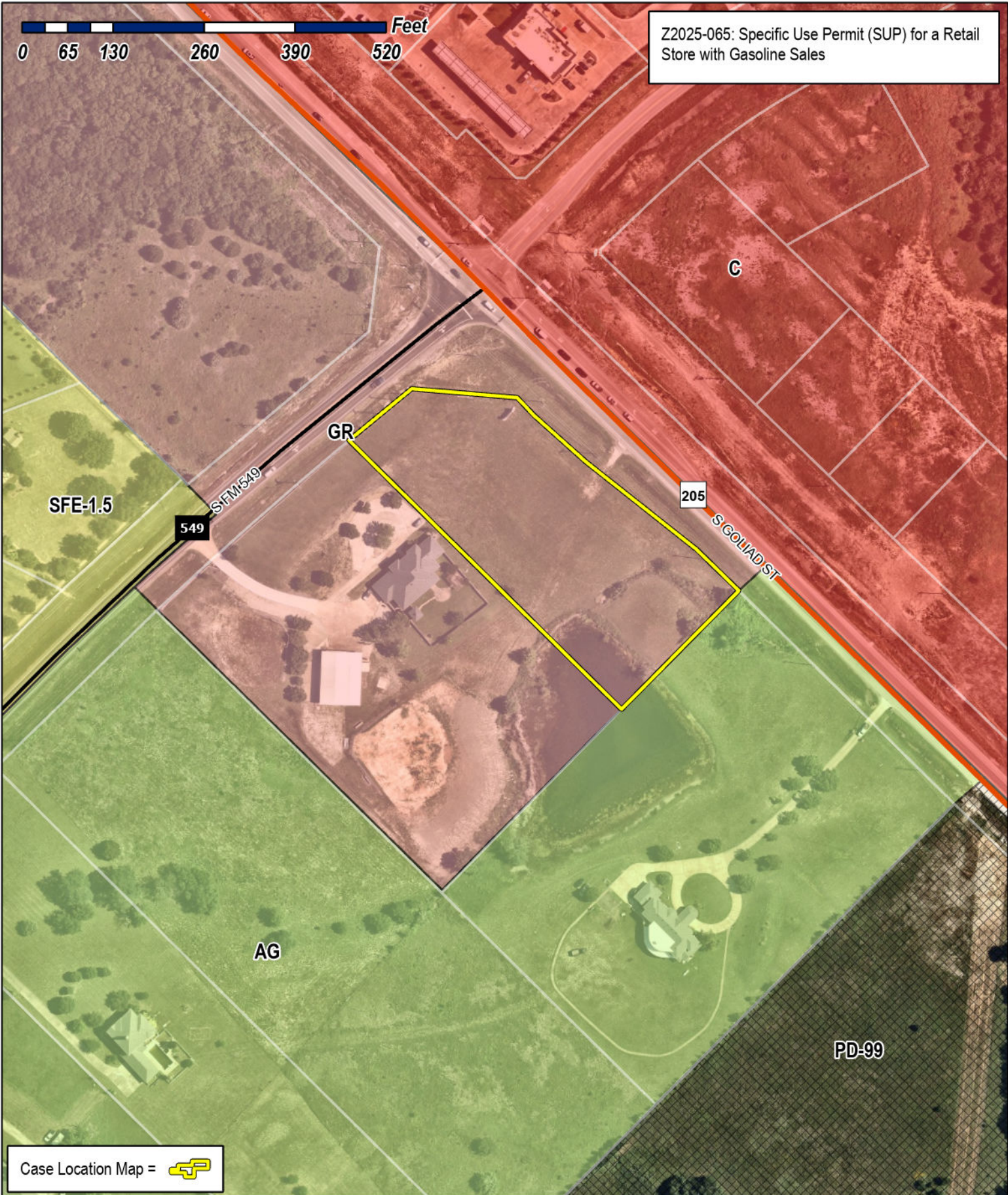
<sup>1</sup> I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 238.85 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12<sup>th</sup> DAY OF September, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12<sup>th</sup> DAY OF September, 2025.  
 OWNER'S SIGNATURE D.W. Bobst  
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS M. Broyles





Z2025-065: Specific Use Permit (SUP) for a Retail Store with Gasoline Sales



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

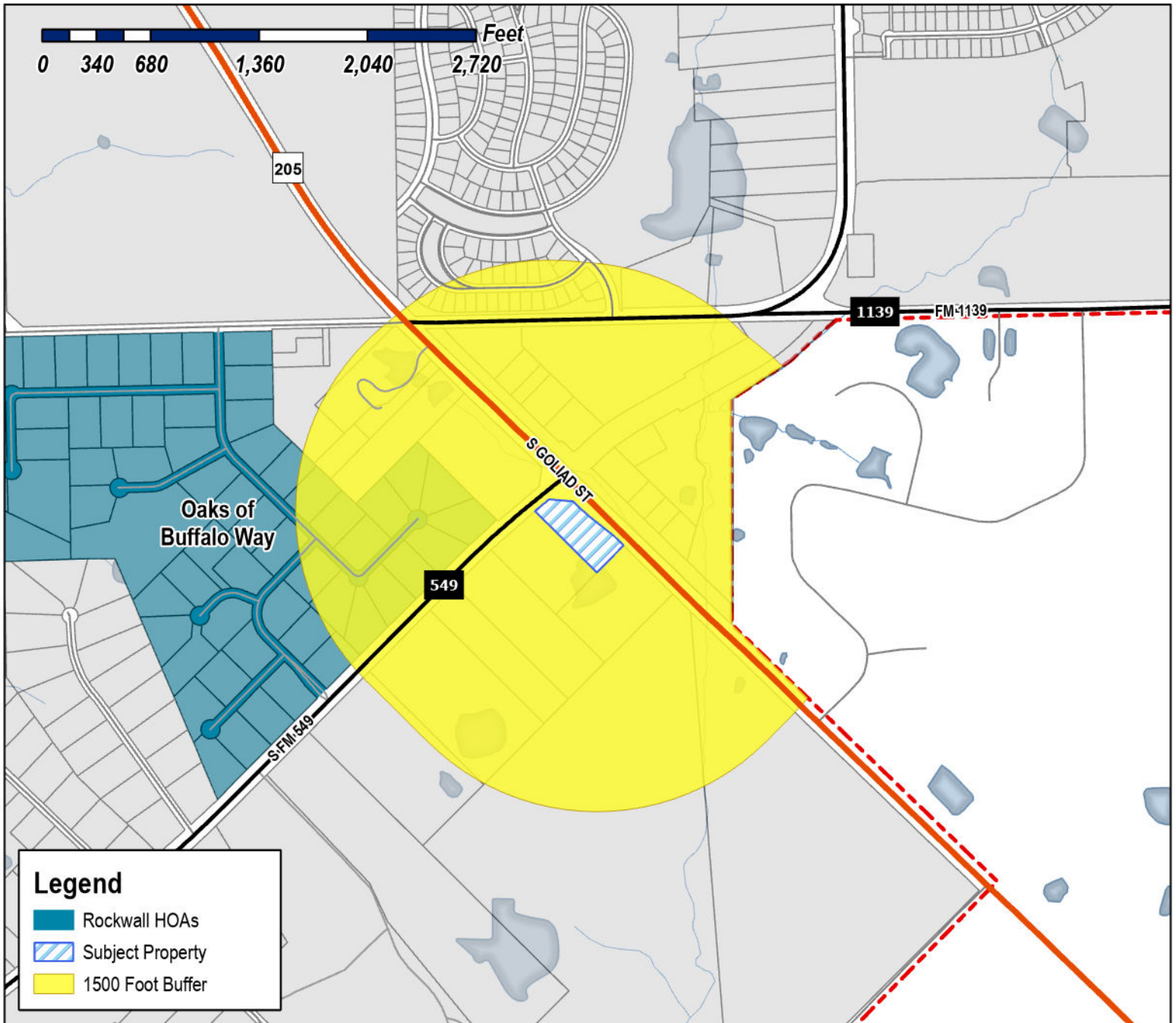




# City of Rockwall

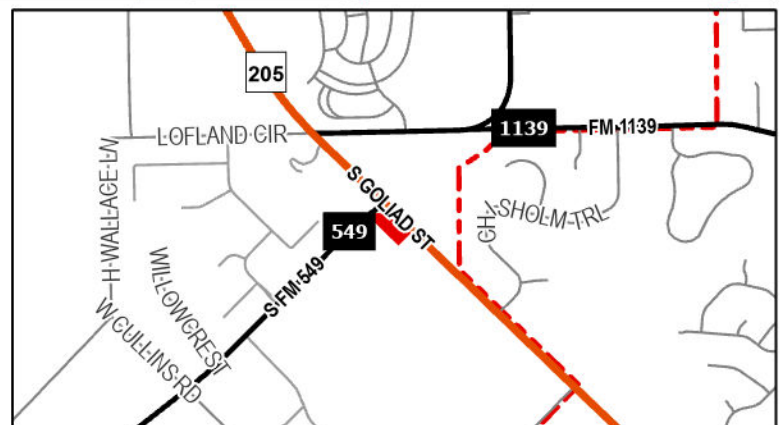
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-065  
**Case Name:** SUP for a Retail Store with Gasoline Sales  
**Case Type:** Zoning  
**Zoning:** General Retail (GR) District  
**Case Address:** SH 205 and FM 549

**Date Saved:** 9/22/2025  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)  
**Subject:** Neighborhood Notification Program [Z2025-065]  
**Date:** Wednesday, September 17, 2025 10:59:38 AM  
**Attachments:** [Public Notice \(09.16.2025\).pdf](#)  
[HOA Map \(09.12.2025\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 14, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 20, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-065: SUP for a Retail Store with Gasoline Sales

Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of D. W. Bost of JBR2, LLC for the approval of an [Specific Use Permit \(SUP\)](#) for a Retail Store with Gasoline Sales that has more than Two (2) Dispensers on a 2.59-acre parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, generally located at the south corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

Thank you,

*Melanie Zavala*

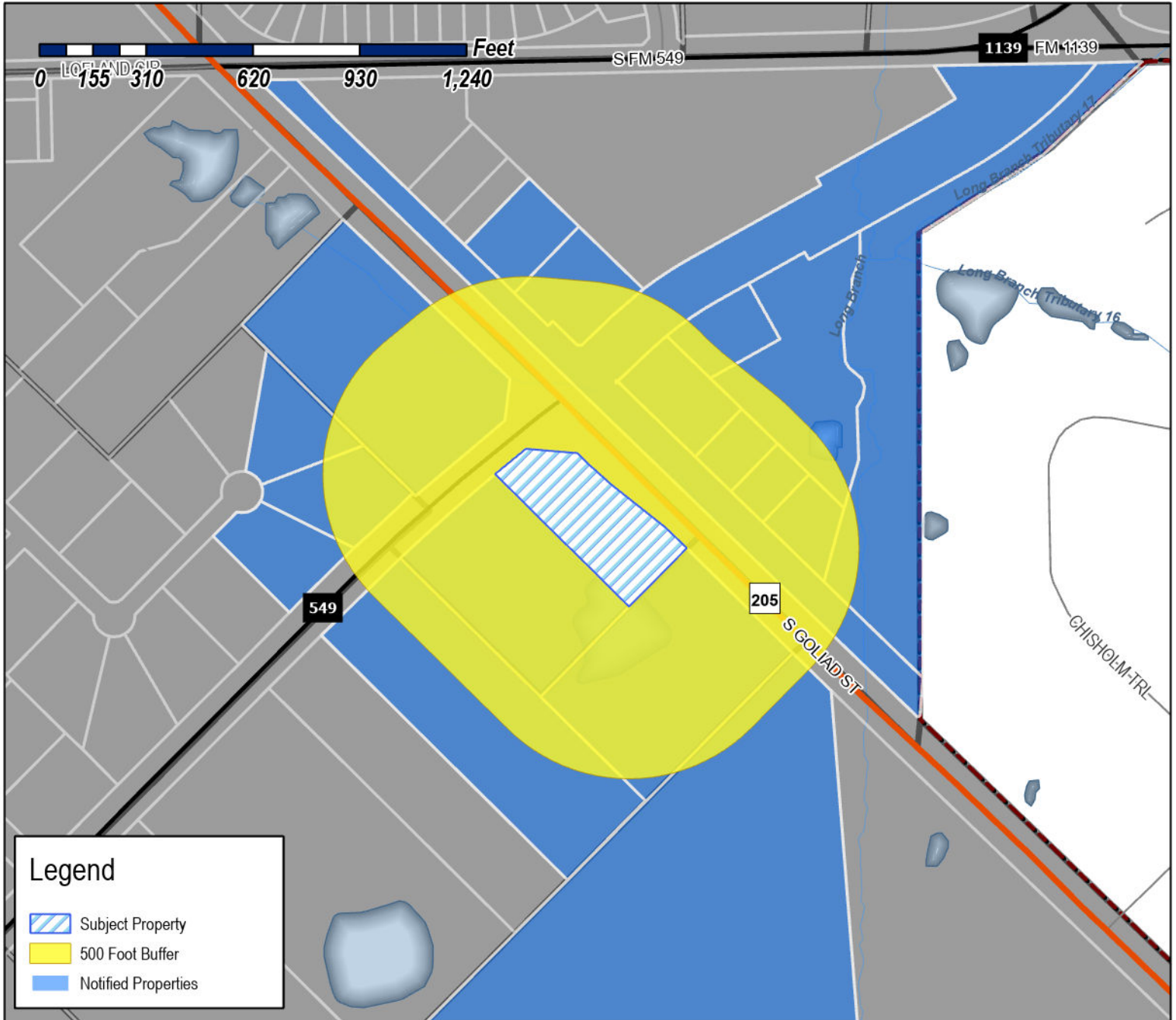
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-065  
**Case Name:** SUP for a Retail Store with Gasoline Sales  
**Case Type:** Zoning  
**Zoning:** General Retail (GR) District  
**Case Address:** SH 205 and FM 549

**Date Saved:** 9/22/2025

For Questions on this Case Call: (972) 771-7745



ROCKWALL 205 INVESTORS LLC  
1 CANDLELITE TRAIL  
HEATH, TX 75032

CREEKSIDE COMMONS CROSSING, LP  
10755 SANDHILL RD  
DALLAS, TX 75238

549 CROSSING LP  
10755 SANDHILL ROAD  
DALLAS, TX 75238

THE STATE OF TEXAS, BY AND THROUGH THE  
TEXAS TRANSPORTATION COMMISSION  
125 E 11TH STREET  
AUSTIN, TX 78701

ROCKWALL HIGHGATE LTD  
C/O SCOTT ASBURY  
13155 Noel Rd Ste 900  
Dallas, TX 75240

101 HUBBARD DR LLC  
2701 Sunset Ridge Dr Ste 610  
Rockwall, TX 75032

NWC 205/549 LTD  
C/O WEITZMAN  
3102 Maple Ave Ste 350  
Dallas, TX 75201

BLACKWOOD SCOTT W & GLENITA G  
3514 LAKESIDE DR  
ROCKWALL, TX 75087

RESIDENT  
4901 S GOLIAD ST  
ROCKWALL, TX 75032

RESIDENT  
4949 S GOLIAD ST  
ROCKWALL, TX 75032

ZEB MOHIUDIN DR &  
NASREEN ZEB  
5128 S STATE HIGHWAY 205  
ROCKWALL, TX 75032

RESIDENT  
5133 S FM549  
ROCKWALL, TX 75032

PHILIP LIVING TRUST  
5160 BEAR CLAW LN  
ROCKWALL, TX 75032

RAPIER MICHAEL L AND NAKIA  
5165 BEAR CLAW LANE  
ROCKWALL, TX 75032

ARNOLD ELISSA THURMOND  
5170 BEAR CLAW LN  
ROCKWALL, TX 75032

RESIDENT  
5205 S FM549  
ROCKWALL, TX 75032

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-065: SUP for a Retail Store w/ Gasoline Sales**

*Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of D. W. Bost of JBR2, LLC for the approval of an Specific Use Permit (SUP) for a Retail Store with Gasoline Sales that has more than Two (2) Dispensers on a 2.59-acre parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, generally located at the south corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 14, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 20, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 20, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2025-065: SUP for a Retail Store w/ Gasoline Sales**

**Please place a check mark on the appropriate line below:**

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Case No. Z2025-065: SUP for a Retail Store w/ Gasoline Sales

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Don't want this next to our house  
cause of privacy + disturbance.

Name:

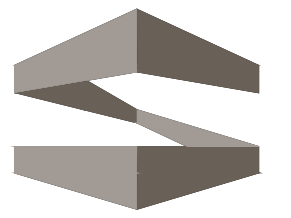
Dr Mohiudin Zeb + Nasreen Zeb

Address:

5128 - S. Hwy 205 Rockwall 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

CONCEPT DESIGN



*James Strohmeyer, Jr.*  
10-7-25

JBR-2

**CONVENIENCE STORE  
DRY CLEANERS  
HWY 549 / HWY 205  
ROCKWALL, TX**

Project Number:  
Drawing Date: 10/07/2025  
Drawn:  
Checked:  
Scale:  
ACAD File:  
© 2025 Strohmeier Architects, Inc.

Revisions:


Sheet Title:

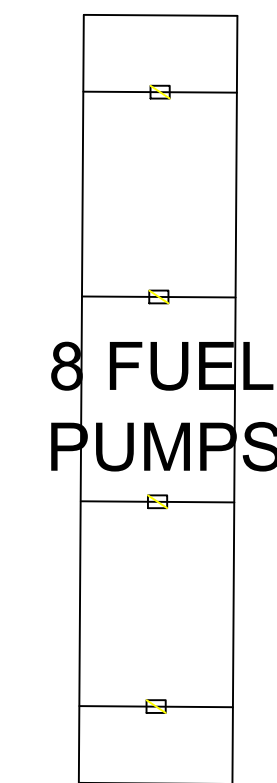
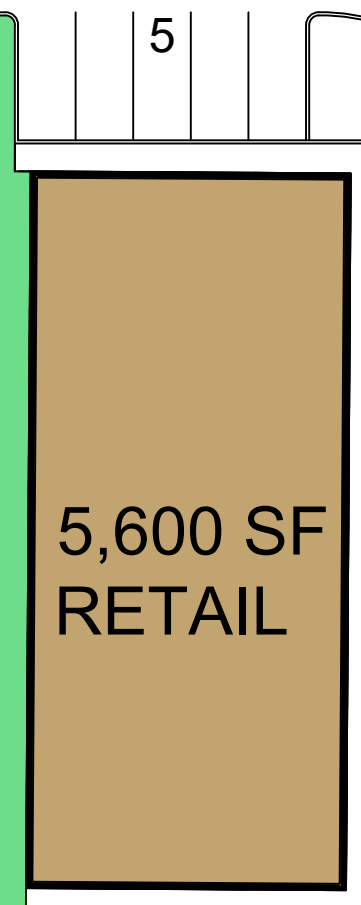
**CASE NUMBER  
Z2025-035**

**F.M. ROAD NO. 549**  
(VARIABLE WIDTH R.O.W.)

EXISTING DRIVE  
CURB CUT OFF FM 549

EXISTING DRIVE

ACCESS EASEMENT



PARKING

REQUIRED - 1 PER 250 SF RETAIL  
5,600 / 250 = 23 SPACES

PROVIDED - 23 SPACES

EXISTING DRIVE  
CURB CUT OFF HWY 205

**STATE HIGHWAY 205**  
(VARIABLE WIDTH R.O.W.)

LOT 1  
BLOCK A  
4.739 AC  
206,424 SF

LOT 2  
BLOCK A  
2.590 AC  
112,811 SF

**1 - CONCEPT PLAN**  
SCALE: 1"= 30'

1 2 3 4 5

D

C

B

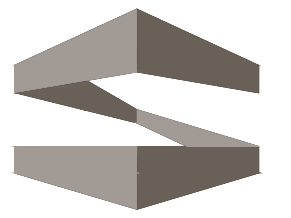
A

D

C

B

A



**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

CONCEPT DESIGN



*James Strohmeyer, Jr.*  
10-7-25

JBR-2

**CONVENIENCE STORE  
DRY CLEANERS  
HWY 549 / HWY 205  
ROCKWALL, TX**

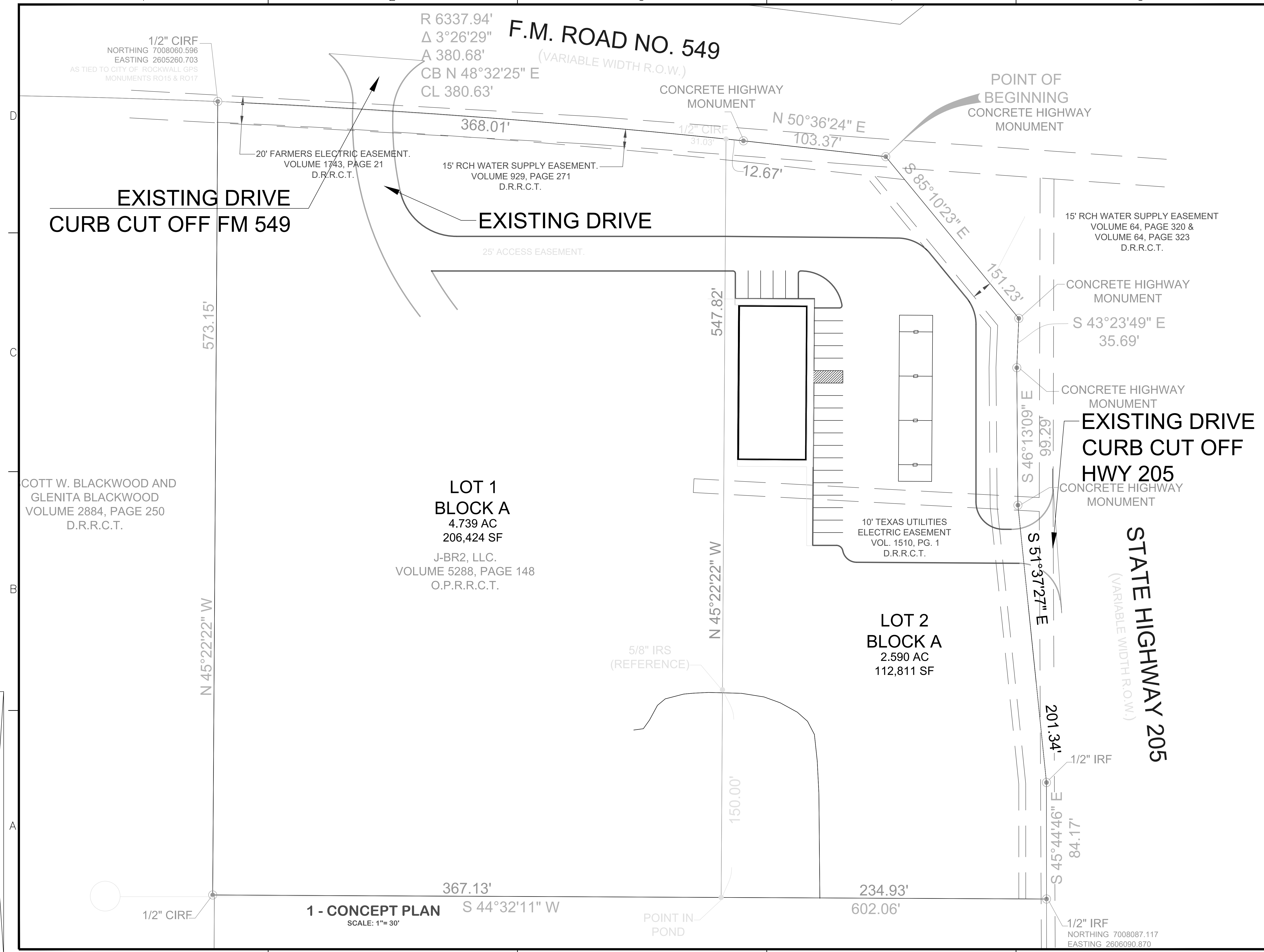
Project Number:  
Drawing Date: 10/07/2025  
Drawn:  
Checked:  
Scale:  
ACAD File:  
© 2025 Strohmeyer Architects, Inc.

Revisions:

NO.	DATE	DESCRIPTION

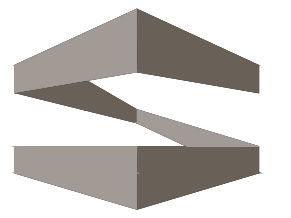
Sheet Title:

**CASE NUMBER  
Z2025-035**



**1 - CONCEPT PLAN**  
SCALE: 1" = 30'

1 2 3 4 5



**STROHMEYER**  
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

CONCEPT DESIGN



*James Strohmeyer, Jr.*  
10-7-25

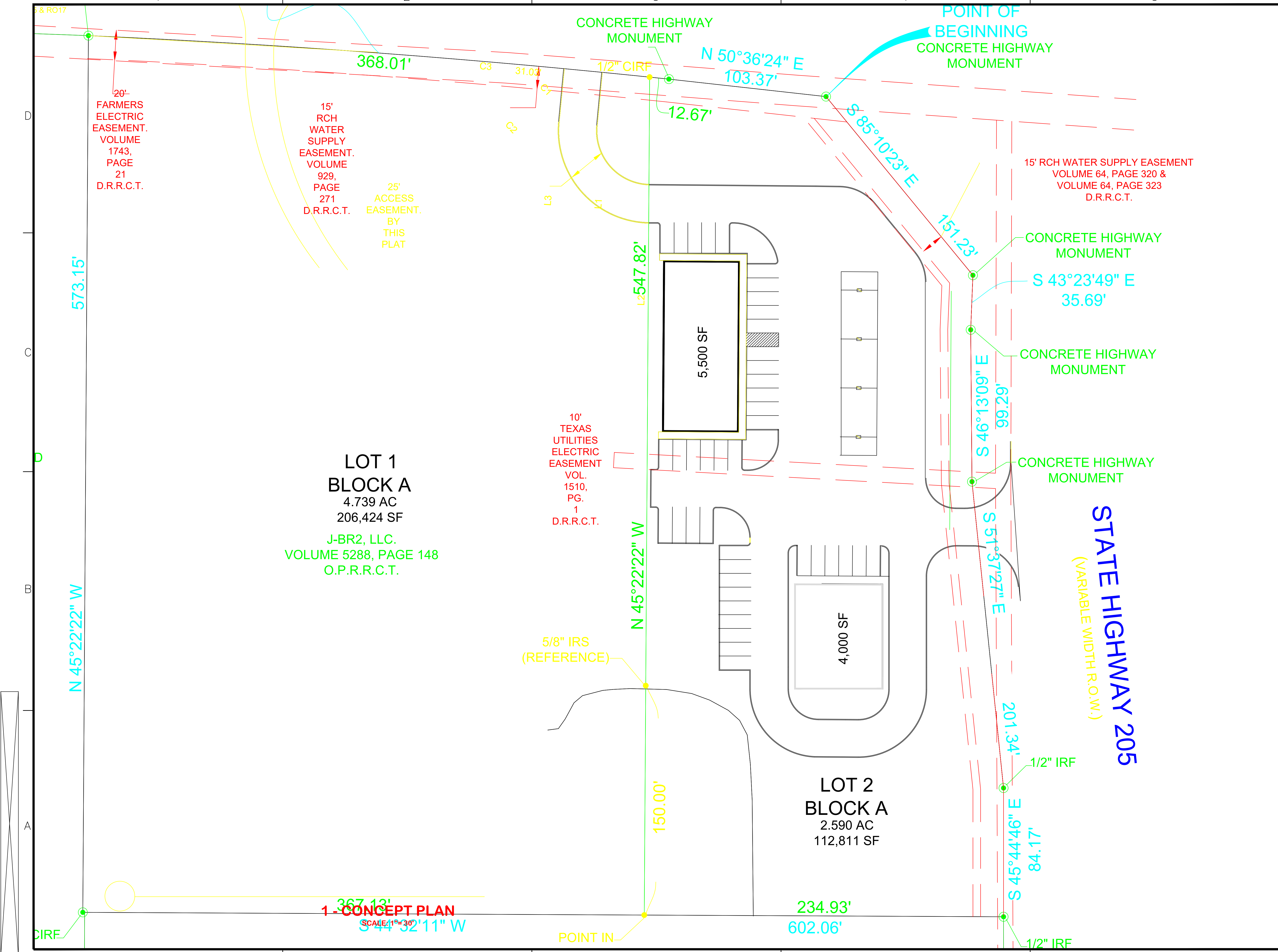
JBR-2

**CONVENIENCE STORE  
DRY CLEANERS  
HWY 549 / HWY 205  
ROCKWALL, TX**

Project Number:  
Drawing Date: 10/07/2025  
Drawn:  
Checked:  
Scale:  
ACAD File:  
© 2025 Strohmeyer Architects, Inc.

Revisions:

Sheet Title:



**1 - CONCEPT PLAN**  
SCALE: 1" = 30'

POINT IN

**STATE HIGHWAY 205**  
(VARIABLE WIDTH R.O.W.)

**LOT 1  
BLOCK A**  
4.739 AC  
206,424 SF  
J-BR2, LLC.  
VOLUME 5288, PAGE 148  
O.P.R.R.C.T.

**LOT 2  
BLOCK A**  
2.590 AC  
112,811 SF

5,500 SF

4,000 SF

20'-  
FARMERS  
ELECTRIC  
EASEMENT.  
VOLUME  
1743,  
PAGE  
21  
D.R.R.C.T.

15'  
RCH  
WATER  
SUPPLY  
EASEMENT.  
VOLUME  
929,  
PAGE  
271  
D.R.R.C.T.

25'  
ACCESS  
EASEMENT.  
BY  
THIS  
PLAT

10'  
TEXAS  
UTILITIES  
ELECTRIC  
EASEMENT  
VOL.  
1510,  
PG.  
1  
D.R.R.C.T.

15' RCH WATER SUPPLY EASEMENT  
VOLUME 64, PAGE 320 &  
VOLUME 64, PAGE 323  
D.R.R.C.T.

573.15'

N 45°22'22" W

368.01'

N 50°36'24" E  
103.37'

L2 547.82'

N 45°22'22" W

150.00'

367.13'  
S 44°32'11" W

POINT IN

234.93'  
602.06'

POINT OF  
BEGINNING  
CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

CONCRETE HIGHWAY  
MONUMENT

S 85°10'23" E

S 43°23'49" E  
35.69'

S 46°13'09" E  
99.29'

S 51°37'27" E

201.34'

S 45°44'46" E  
84.17'

151.23'

1/2" CIRF

1/2" IRF

1/2" IRF

5/8" IRS  
(REFERENCE)

C3

C2

L3

L1

CIRF

1

2

3

4

5

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *RETAIL STORE WITH GASOLINE SALES* ON A 2.59-ACRE PARCEL OF LAND IDENTIFIED LOT 2, BLOCK A, JBR2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Jimmy Strohmeyer of Strohmeyer Architects on behalf of D. W. Bost of JBR2, LLC for the approval of a *Specific Use Permit (SUP)* for a *Retail Store with Gasoline Sales* on a 2.59-acre parcel of land identified as Lot 2, Block A, JBR2 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, generally located at the southwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 16-56, S-157*; and,

**SECTION 2.** That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the construction of a *Retail Store with Gasoline Sales* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*, and

**SECTION 3.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.04, *General Retail (GR) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and

with the following conditions:

#### 4.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Retail Store with Gasoline Sales* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Retail Store with Gasoline Sales* shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* of this ordinance.
- 2) All fuel vents associated with the fuel storage tanks at any *Retail Store with Gasoline Sales* shall be located within the gas canopy, and shall be fully screened and not visible from adjacent properties and/or rights-of-way.
- 3) A wrought iron fence with a berm and three (3) tiered landscaping shall be provided along the southern property line.
- 4) The subject property shall be subject to the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and conformance to these requirements shall be verified at the time of *Site Plan* by the Architectural Review Board (ARB) and Planning and Zoning Commission.

#### 4.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 5.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 7.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 8.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this

ordinance shall remain in full force and effect.

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>rd</sup> DAY OF NOVEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: October 20, 2025

2<sup>nd</sup> Reading: November 3, 2025

# Exhibit 'A': Location Map

Legal Description: Lot 2, Block A, JBR2 Addition

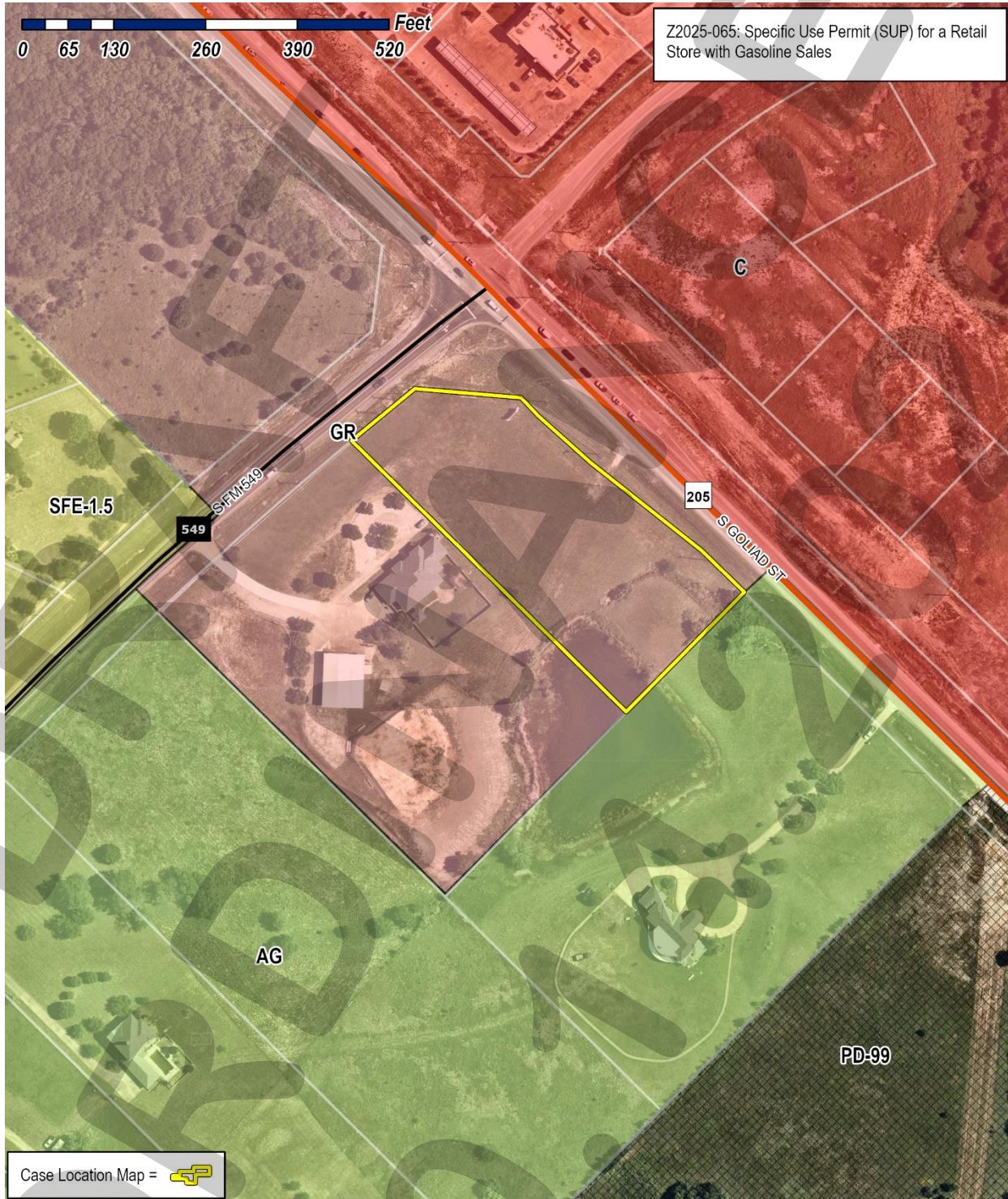




Exhibit 'B':  
Survey

549

CRETE HIGHWAY  
MONUMENT

1/2" CIRF  
31.03'

N 50°36'24" E  
103.37'

12.67'

POINT OF  
BEGINNING  
CONCRETE HIGHWAY  
MONUMENT

15' RCH WATER SUPPLY EASEMENT  
VOLUME 64, PAGE 320 &  
VOLUME 64, PAGE 323  
D.R.R.C.T.

S 85°10'23" E  
151.23'

CONCRETE HIGHWAY  
MONUMENT

S 43°23'49" E  
35.69'

CONCRETE HIGHWAY  
MONUMENT

EXISTING DRIVE  
CURB CUT OFF

HWY 205

CONCRETE HIGHWAY  
MONUMENT

STATE HIGHWAY 205  
(VARIABLE WIDTH R.O.W.)

10' TEXAS UTILITIES  
ELECTRIC EASEMENT  
VOL. 1510, PG. 1  
D.R.R.C.T.

LOT 2  
BLOCK A  
2.590 AC  
112,811 SF

N 45°22'22" W

547.82'

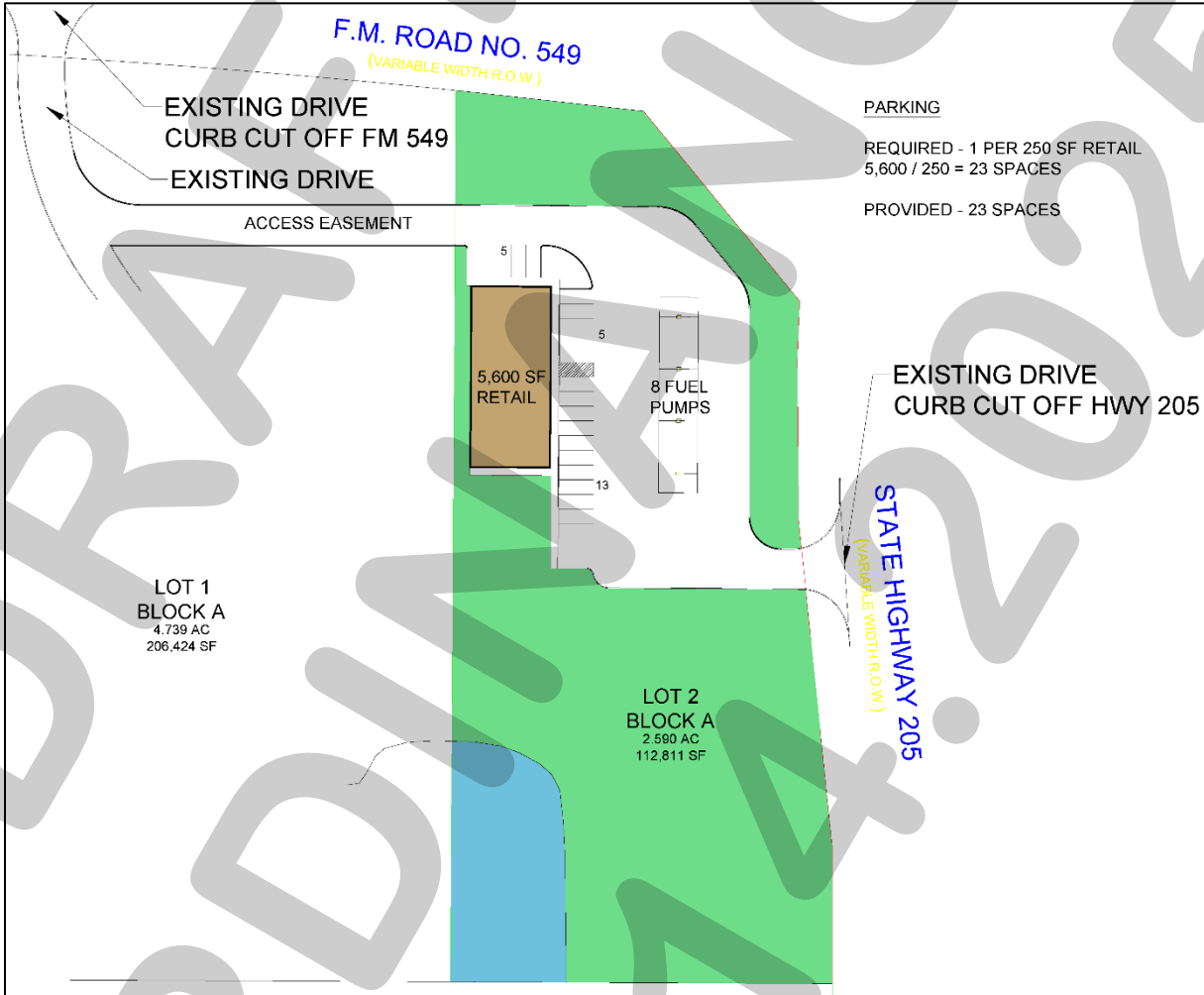
S 46°13'09" E  
62.66'

S 51°37'27" E

201.34'

1/2" IRF

**Exhibit 'C':  
Concept Plan**





**TO:** Planning and Zoning Commission  
**FROM:** Henry Lee, *Senior Planner*  
**DATE:** October 14, 2025  
**SUBJECT:** MIS2025-016; *Exception to the Fence Requirements 403 E. Kaufman Street*

The applicant, Carol Byrd, is requesting the approval of an an *Exception* to the *Fence Standards* and an *Exception* for a *Front Yard Fence*. The subject property is located on a 0.285-acre parcel of land (*i.e.* Lot 5B, Block 5, Griffith Addition) and is addressed as 403 E. Kaufman Street. In this case, the applicant is requesting to construct a wood picket fence in the front yard and an eight (8) foot wood fence along the rear property line. The subject property is located within the Old Town Rockwall (OTR) Historic District and the proposed request was required to go before the Historic Preservations Advisory Board (HPAB) prior to requesting exceptions from the Planning and Zoning Commission. On September 18, 2025, the HPAB reviewed the proposed fences [Case No. H2025-015] and approved a motion to approve a Certificate of Appropriateness (COA) by a vote of 4-1, with Board Member Miller dissenting and Board Members McNeely and Webb absent. This action represents a recommendation for approval to the Planning and Zoning Commission.

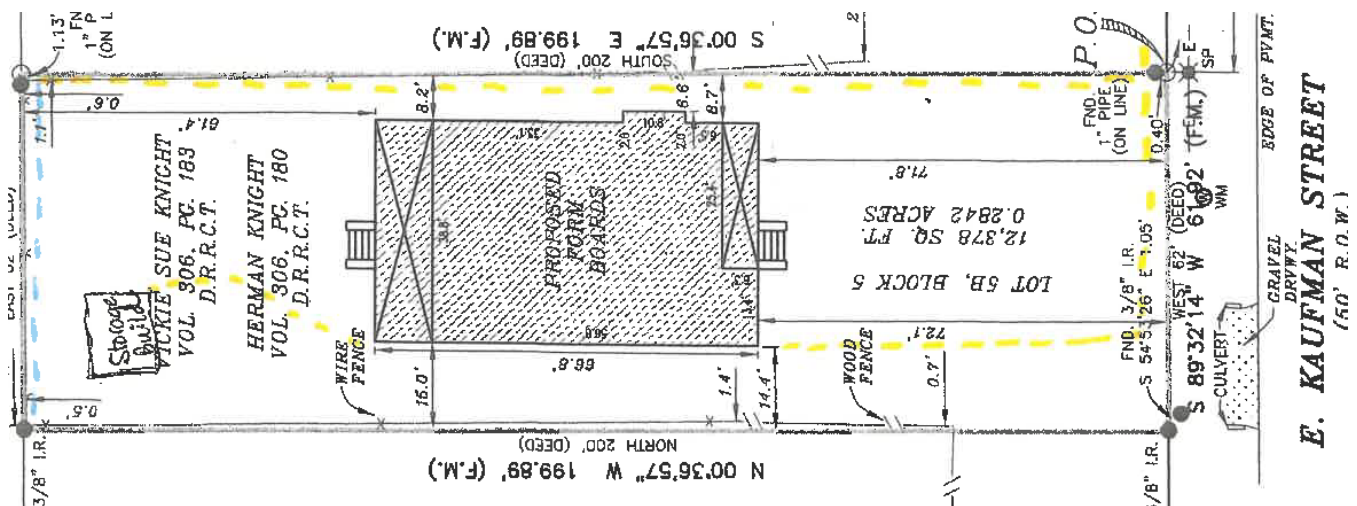


FIGURE 1: BLUE: EIGHT (8) FOOT WOOD FENCE. YELLOW: 42-INCH WOOD PICKET FENCE.

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.” In addition, Subsection 08.02, *General Fence Standards*, Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, “(u)nless otherwise provided for in this section [*i.e.* Section 08, *Fence Standards*], the following material requirements shall apply to all residential and non-residential fences: ... (1) Permitted fencing materials are limited to wood pickets, vinyl coated chain link, wrought iron, decorative metal (*i.e.* with the appearance of wrought iron but is made of powder-coated steel, aluminum or covered with a corrosion protection finish), brick, stone, split face CMU or burnished block, vinyl, fiberglass composite, and concrete with stone face/form liner ...” With regard to the *Front Yard Fence*, Subsection 08.03, *Residential Fences*, Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), states that “(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission...” This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for wood picket front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence does not exceed 42-inches in height, and (c) opaque fences should be prohibited. In this case, the front yard fence is within the height and material requirements, and will be more than 50.00% transparent. Based on this, this portion of the applicant’s request appears to meet all the applicable criteria

With regard to the rear yard fence, Subsection 08.03 (B) *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), states that, “all fences being proposed in established residential areas...shall be architecturally compatible with the design, materials, and colors of the existing fences in the area.” In review of the homes facing E. Kaufman Street and backing to Lofland Park, there are no other opaque wood fences adjacent to Lofland Park. Given this -- *if approved* -- the proposed eight (8) foot wood fence would be the only opaque wood fence adjacent to the south property line of Lofland Park.

All this being said, the proposed front yard fence does not appear to have a negative impact on the adjacent properties; however, the eight (8) foot wood fence would be inconsistent with the properties adjacent to Lofland Park along E. Kaufman Street. With this being said, any requests requiring an exception the *Fence Standards* is discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff will be available at the meeting on October 14, 2025.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 403 E. Kautman Rockwall, Tx 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

*p+2 for fencing - see attached*

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Gary/Carol Byrd  APPLICANT same

CONTACT PERSON Gary/Carol Byrd CONTACT PERSON \_\_\_\_\_

ADDRESS \_\_\_\_\_ ADDRESS \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_ CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_ PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_ E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Gary Byrd [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29 DAY OF September 2025

OWNER'S SIGNATURE \_\_\_\_\_

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_





MIS2025-016: Exception for a Front Yard fence at 403 E. Kaufman Street



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From:

Carol Byrd

Property at 403 E Kaufman

Rockwall

75087

To:

City of Rockwall

Historic Board

Planning and zoning

8-13-25

Fencing proposal

All fencing posts to be concreted in ground

Pictures attached

1. Approximately 62 feet of 8 ft tall cedar planks to run along back north side of house. Steel framed gate with cedar. See blue dotted line on survey.
2. Approximately 360 feet of 42 inch tall non privacy \*vinyl white picket fencing to run on front south yard and west side inside driveway and east side yard. See yellow dotted line on survey. *(wood fencing)*

~~\* we would like to use the vinyl made made fencing as it is resistant to deterioration and comes with a warranty. It's is more expensive than cedar fencing and would not need to be painted frequently.~~

Thank you,

Carol Byrd

214-912-7973



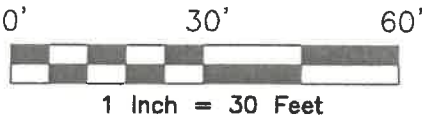
# LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD ELECTRIC
- CALCULATED POINT
- FOUND IRON ROD
- WATER METER
- SERVICE POLE
- (PLAT) RECORDED ON PLAT
- (F.M.) FIELD MEASURED
- P.O.B. POINT OF BEGINNING

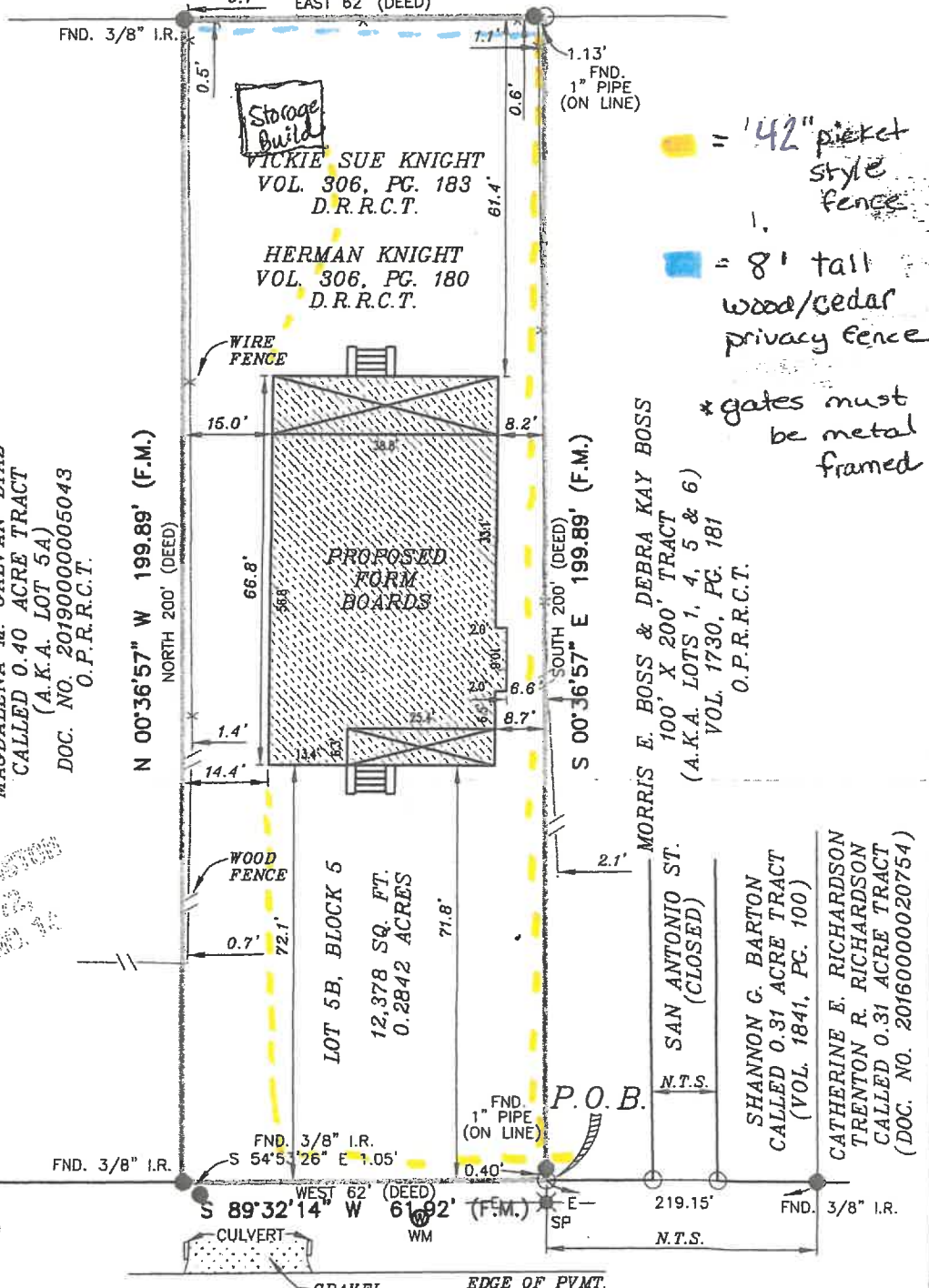


## GRAPHIC SCALE



# INTERURBAN STREET

(UNKNOWN R.O.W.)  
 N 89°32'14" E 61.92' (F.M.)  
 0.7' EAST 62' (DEED)



= '42" picket style fence

= 8' tall wood/cedar privacy fence

\* gates must be metal framed

CHRISTIAN MICHAEL KRONTZ & JILLIAN A. RIGHT CALLED 0.3571 ACRE TRACT (A.K.A. LOT C) (DOC. NO. 20160000009238)

JAMES L. WILLESS CALLED 0.344 ACRE TRACT (A.K.A. LOT 3) (DOC. NO. 20160000022377)

WILLIAM F. BOYDSON SURVEY NO. 22 WEST 1ST NO. 12

RAUL K. GODINEZ & MAGDALENA M. GALVAN-DIAZ CALLED 0.40 ACRE TRACT (A.K.A. LOT 5A) (DOC. NO. 20190000005043 O.P.R.R.C.T.)

MORRIS E. BOSS & DEBRA KAY BOSS 100' X 200' TRACT (A.K.A. LOTS 1, 4, 5 & 6) VOL. 1730, PG. 181 O.P.R.R.C.T.

SHANNON G. BARTON CALLED 0.31 ACRE TRACT (VOL. 1841, PG. 100)

CATHERINE E. RICHARDSON TRENTON R. RICHARDSON CALLED 0.31 ACRE TRACT (DOC. NO. 20160000020754)

# E. KAUFMAN STREET

(50' R.O.W.)  
 (DOC. NO. 20160000020754)  
 (A.K.A. E. KAUFMAN/KAUFMAN STREET)

BASIS OF BEARING:  
 TEXAS COORDINATE SYSTEM, NORTH CENTRAL ZONE, NAD83

**SURVEYOR'S NOTE:**  
 THIS SURVEY IS PRODUCED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE ABSTRACT COMPANY. THEREFORE, ADDITIONAL DEED OR REAL PROPERTY RESTRICTIONS, SUCH AS EASEMENTS OR SETBACKS, MAY APPLY THAT ARE NOT GRAPHICALLY OR OTHERWISE SHOWN AND/OR LISTED ON THIS SURVEY. THE RESTRICTIONS AND ANY EASEMENTS ADDRESSED HEREON ARE AS ALREADY KNOWN TO THE UNDERSIGNED TO AFFECT THIS SUBDIVISION OR LOT. THEIR DEPICTIONS ARE NOT MEANT TO REPRESENT ALL POSSIBLE EASEMENTS AND SETBACKS THAT MAY APPLY TO THIS LOT.

**FLOOD ZONE NOTE:**  
 As of the date of this survey and by graphical plotting, the subject property appears to be located in FEMA designated ZONE X, as shown on Map Panel Number 48397C0040L, dated SEPTEMBER 26, 2008. Exact designations can only be determined by an Elevation Certificate. This information is subject to change as a result of map revisions and/or amendments by FEMA.

The survey is hereby accepted with the discrepancies, conflicts, or shortages in area or boundary lines, encroachments, protrusions, or overlapping of improvements shown.

I, STEVEN G. YOUNG, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to VAHID SADR and that the above map is true and correct according to an actual field survey, made by me on the ground or

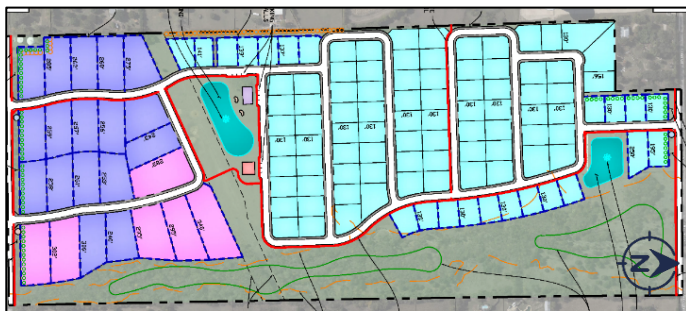
"BOUNDARY" SURVEY			
JOB NO.:	NO.	REVISION	DATE
2409101795			
DATE:	09/17/24	1	APPROVED FOR STAMP: 10/04/24





**TO:** Planning and Zoning Commission  
**FROM:** Bethany Ross, *Senior Planner*  
**DATE:** October 14, 2025  
**SUBJECT:** MIS2025-017; *Alternative Tree Mitigation Settlement Agreement for the Erwin Farms Subdivision*

On September 12, 2025, the applicant -- *John Arnold of Skorburg Company* -- submitted a development application requesting an *Alternative Tree Mitigation Settlement Agreement* for the Erwin Farms Subdivision. The Erwin Farms Subdivision was established by the City Council on April 7, 2025 through the adoption of *Ordinance No. 25-15 [Planned Development District 104 (PD-104); Case No. Z2025-005]*. According to this Planned Development (PD) District ordinance, the Erwin Farms Subdivision is a 98.316-acre residential subdivision that will consist of 123 residential lots with a gross density of 1.25 dwelling units per acre (see *Figure 1*). These lots will consist of three (3) lot types: [1] 100, *Type 'A'* lots that will be a minimum of 100' x 120' (or 12,000 SF), [2] 17, *Type 'B'* lots that will be a minimum of 120' x 230' (or 32,760 SF), and [3] 6, *Type 'C'* lots that will be a minimum of 120' x 275' (or 43,560 SF). In addition, the development will consist of a minimum of 33.19-acres of open space that includes a 30.578-acre amenity site. Currently, the subject property remains undeveloped.



**FIGURE 1:** CONCEPT PLAN



**FIGURE 2:** AERIAL IMAGE OF THE SUBJECT PROPERTY

According to Section 05, *Tree Mitigation Requirements*, or Article 09, *Tree Preservation*, of the Unified Development Code (UDC), for every protected canopy tree over four (4) caliper inches removed, *inch-for-inch* replacement shall be required, and any Eastern Red Cedar over eight (8) feet in height must be replaced with a four (4) inch caliper canopy tree. That being said, the UDC grants *Tree Preservation Credits* "(f)or each saved oak, pecan or elm tree(s) 25-inches DBH or greater the mitigation balance can be reduced on an inch-for-inch basis for up to 20.00% of the total mitigation balance..." In this case, the applicant has completed a preliminary tree survey that estimated 4,188 caliper inches would be removed with the development of the subject property. Included with the applicant's submittal is a landscape plan that delineates all of the proposed canopy tree plantings within the subdivision. This includes all of the landscape buffers, open space lots, the public park, and the lot trees (*i.e. two (2) trees per lot; three (3) trees per corner lot*). Based on the provided landscape plan, 269 canopy trees will be planted by the developer, and 278 canopy trees will be planted on the residential lots. This equates to a total of 547 canopy trees or 2,188 caliper inches. This brings the total mitigation balance of 4,188 caliper inches to 2,000 caliper inches (*i.e. 4,188 - 2,188 = 2000*). In accordance with *Tree Mitigation Requirements*, the applicant would be permitted to purchase "...up to 20.00% of the total replacement inches," at \$100.00 per inch, and the remaining 80% must be planted on-site. In this case, the applicant would be required to plant 3,350.4 caliper inches or 838 trees and pay a fee of \$83,760 (*i.e. [4188 caliper inches \* 20%] \* \$100.00 = \$83,760*). At an all cash consideration, the applicant's remaining mitigation balance is 2,000 caliper inches or \$200,000.00. This exceeds the 20.00% purchase limit described above. Given this, the applicant is requesting an *Alternative Tree Mitigation Settlement Agreement* in accordance with Section 05(G), *Tree Mitigation Requirements*, or Article 09, *Tree Preservation*, of the Unified Development Code (UDC). In lieu of paying the remaining balance, the applicant is requesting to provide the full amount of \$200,000.00 to fund amenities and park improvements for the adjacent Alma Williams Park. Staff should note that the applicant is making this request in addition to the park fees required by the Municipal Code of Ordinances and the improvements

they are already required to be provided per the Planned Development District. According to the Planned Development District 104 (PD-104) Ordinance [*Ordinance No. 25-15*] the applicant is required to amenitize the subdivision with [1] an eight (8) foot concrete hike & bike trail, [2] a pavilion, [3] two (2) multi-use courts, [4] two (2) retention ponds each with a fountain, [5] and two benches, and [7] landscape features (e.g. trees and other vegetation).

According to Subsection (G), *Alternative Tree Mitigation Settlement Agreement*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), “(i)n certain cases, the City Council -- upon recommendation from the Planning and Zoning Commission -- may consider an *Alternative Tree Mitigation Settlement Agreement* where, due to hardship, the applicant is unable to meet the requirements of this Article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant. These funds will be used for planting trees in the City’s parks, medians, streets rights-of-way, or other similar areas as determined by the Parks and Recreation Department.” In this case, the applicant is proposing to use the tree mitigation balance of \$200,000.00 to fund park improvements at the adjacent Alma Williams Park. In reviewing the applicant’s request, it does appear that it may warrant consideration and may provide benefit to both the City and the applicant; however, all requests for an *Alternative Tree Mitigation Settlement Agreement* are discretionary decisions for the Planning and Zoning Commission and City Council. Should the Planning and Zoning Commission have any questions concerning the applicant’s request, staff and the applicant will be available during the October 14, 2025 Planning and Zoning Commission work session meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p><b>PLATTING APPLICATION FEES:</b></p> <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>	<p><b>ZONING APPLICATION FEES:</b></p> <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
<input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>	<input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&amp;2</sup>
<input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>	<input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
<input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>	<p><b>OTHER APPLICATION FEES:</b></p> <input checked="" type="checkbox"/> TREE REMOVAL (\$75.00)
<input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)	<input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>
<input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)	<p><b>NOTES:</b></p> <p><sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p><sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
<p><b>SITE PLAN APPLICATION FEES:</b></p> <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>	
<input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 379 N COUNTRY LN, ROCKWALL, TX 75087

SUBDIVISION J.A. RAMSEY, ABSTRACT NO. 186, TRACT 6 LOT - BLOCK -

GENERAL LOCATION EAST OF FM 1141 BETWEEN N COUNTRY LN AND CUSHY RD

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	<u>PD</u>	CURRENT USE	<u>UNDEVELOPED</u>
PROPOSED ZONING	<u>PD</u>	PROPOSED USE	<u>SINGLE FAMILY RESIDENTIAL</u>
ACREAGE	<u>101.43</u>	LOTS [CURRENT]	<u>123</u>
		LOTS [PROPOSED]	<u>123</u>

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

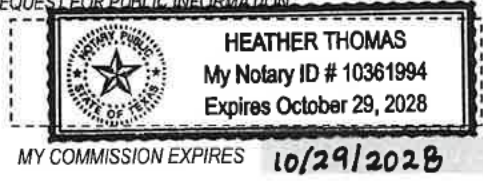
<input checked="" type="checkbox"/> OWNER	<u>SEER ERWEN FARMS SF, LTD</u>	<input type="checkbox"/> APPLICANT	<u>SKORSHUB COMPANY</u>
CONTACT PERSON	<u>JOHN ARNOLD</u>	CONTACT PERSON	<u>JOHN ARNOLD</u>
ADDRESS	[REDACTED]	ADDRESS	[REDACTED]
CITY, STATE & ZIP	[REDACTED]	CITY, STATE & ZIP	[REDACTED]
PHONE	[REDACTED]	PHONE	[REDACTED]
E-MAIL	[REDACTED]	E-MAIL	[REDACTED]

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN ARNOLD [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 75.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30<sup>th</sup> DAY OF SEPTEMBER, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30<sup>th</sup> DAY OF SEPTEMBER, 2025.  
OWNER'S SIGNATURE [Signature]  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





October 8, 2025

**City of Rockwall**  
Attn: Bethany Ross  
385 S. Goliad St.  
Rockwall, TX 75087

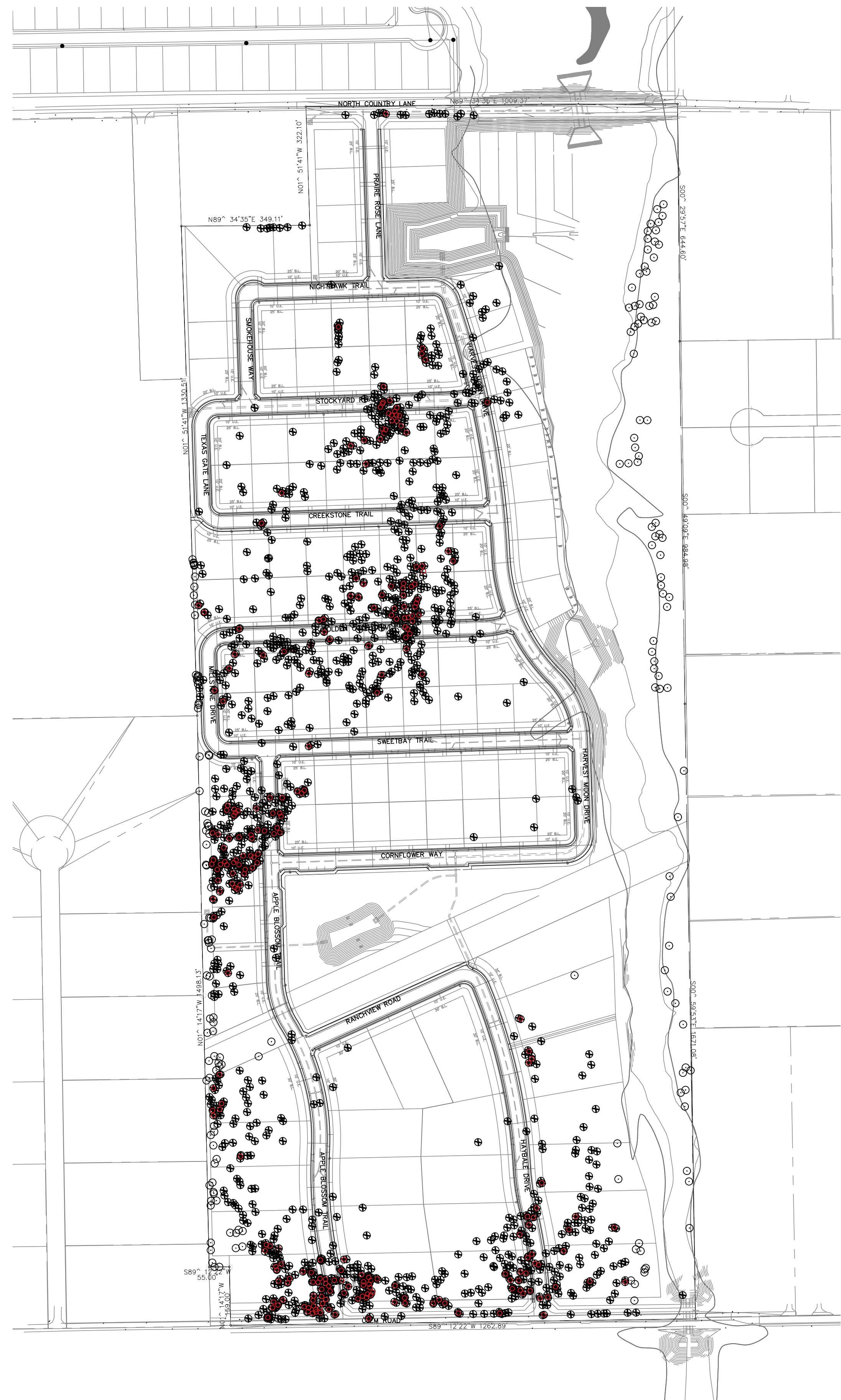
**Re: Erwin Farms – Tree Mitigation**

Bethany,

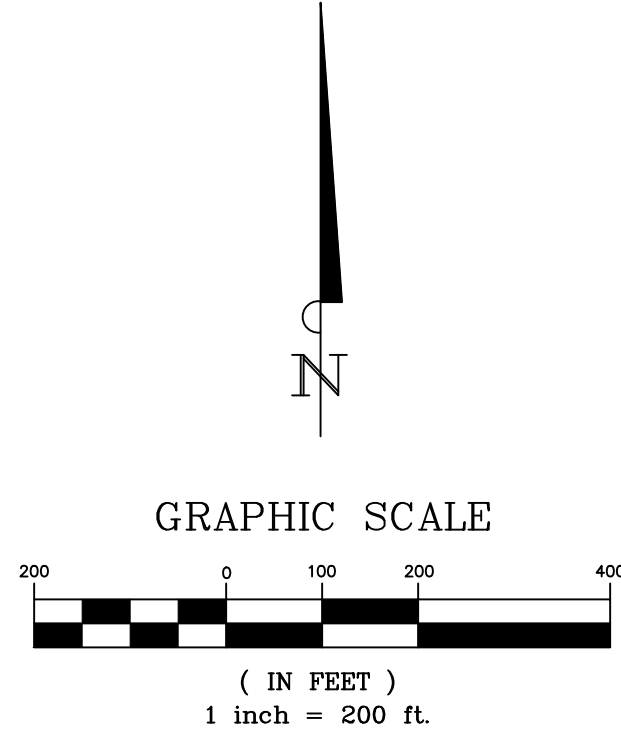
We are requesting an Alternative Tree Mitigation Settlement Agreement whereby the developer contributes the balance of the required tree mitigation for the Erwin Farms development to the City of Rockwall. The funds shall be used for the contemplated improvements to Alma Williams Park. The developer contribution shall satisfy the Tree Mitigation Requirements outlined in Article 09 of the City of Rockwall Unified Development Code in full.

Cordially,

John Arnold  
Development Partner



PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>TREES</b>	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	6' CEDAR RULE AREA



**811**  
 Know what's below.  
 Call before you dig.  
 (@ least 48 hours prior to digging)

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

**BANNISTER**  
 ENGINEERING  
 240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
 REGISTRATION # F-10599 (TEXAS)

**ERWIN FARMS**  
 ROCKWALL, TEXAS

**OVERALL TREE PRESERVATION PLAN**

No.	Date	Revision Description

PROJECT NO.: 080-25-003

PRELIMINARY FOR REVIEW ONLY  
 These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:  
 Drew J. Dubocq  
 L.A.#3141  
 09/30/2025

SHEET NO.  
**L-1.0**



**JOHN M. GASS SURVEY  
ABSTRACT NUMBER 88**

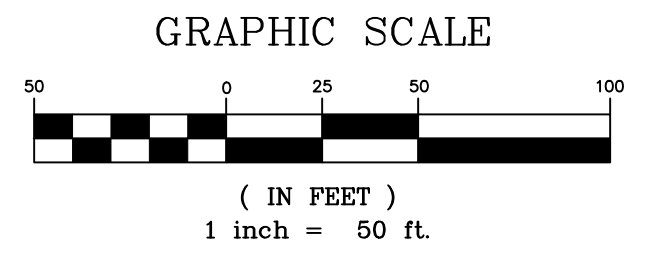
PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>TREES</b>	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	6' CEDAR RULE AREA

S00° 29'57"E 644.60'

MATCH LINE 'A' - SHEET L-1.2



**Know what's below.  
Call before you dig.**  
(@ least 48 hours prior to digging)



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

**BANNISTER**  
ENGINEERING  
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

**ERWIN FARMS**  
ROCKWALL, TEXAS

**TREE PRESERVATION PLAN**

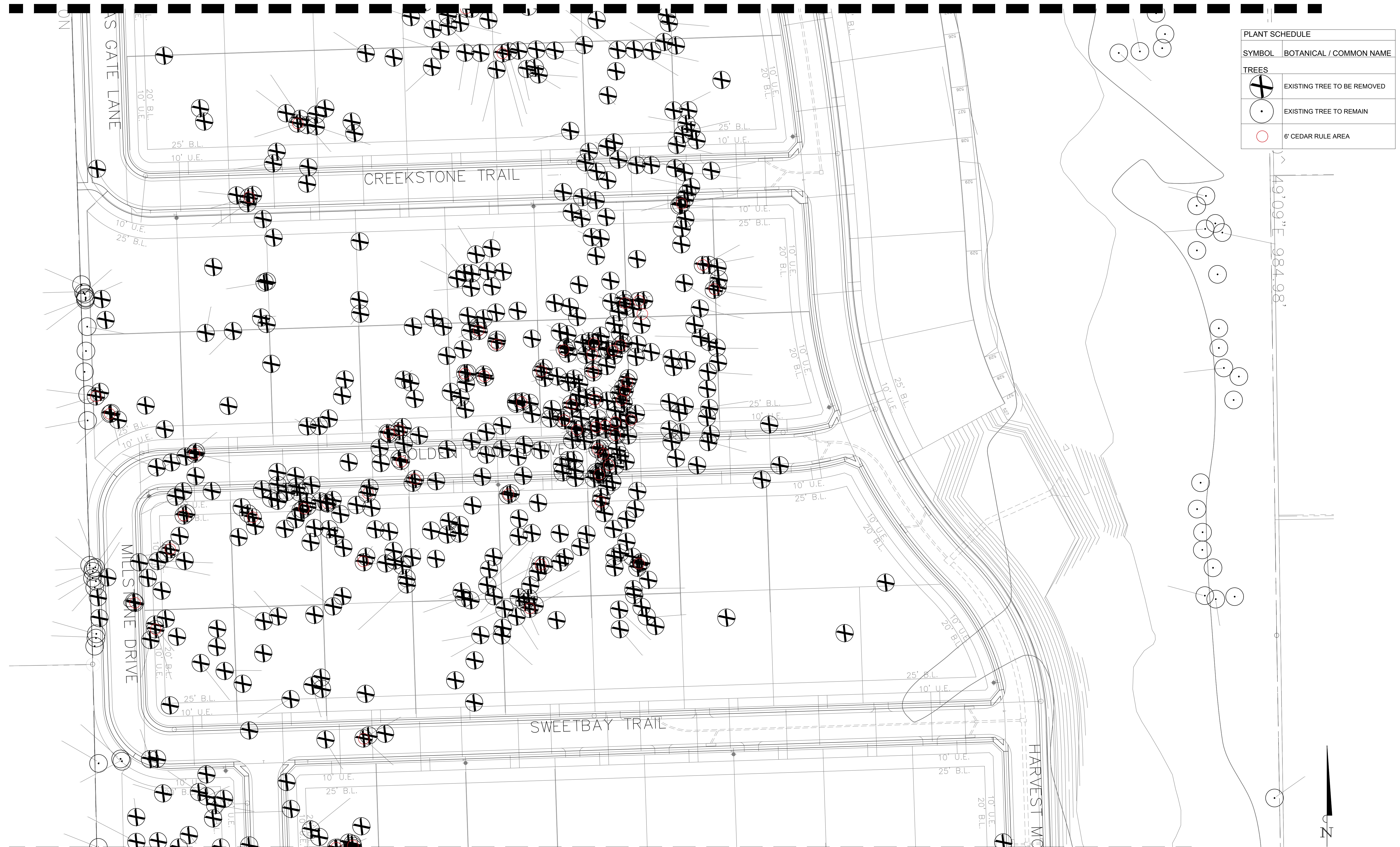
No.	Date	Revision Description

PROJECT NO.: 090-25-003

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Drew J. Dubocq  
L.A.#3141  
09/30/2025

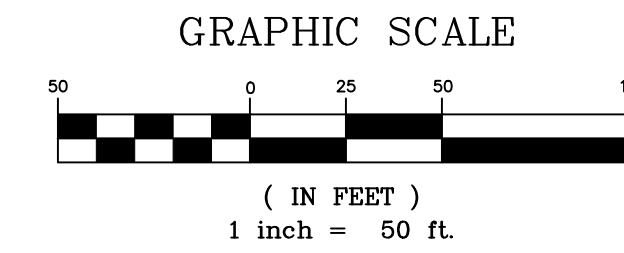
SHEET NO.  
**L-1.1**

MATCH LINE 'A' - SHEET L-1.1



PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>TREES</b>	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	6' CEDAR RULE AREA

MATCH LINE 'B' - SHEET L-1.3



**Know what's below.  
Call before you dig.**  
(@ least 48 hours prior to digging)

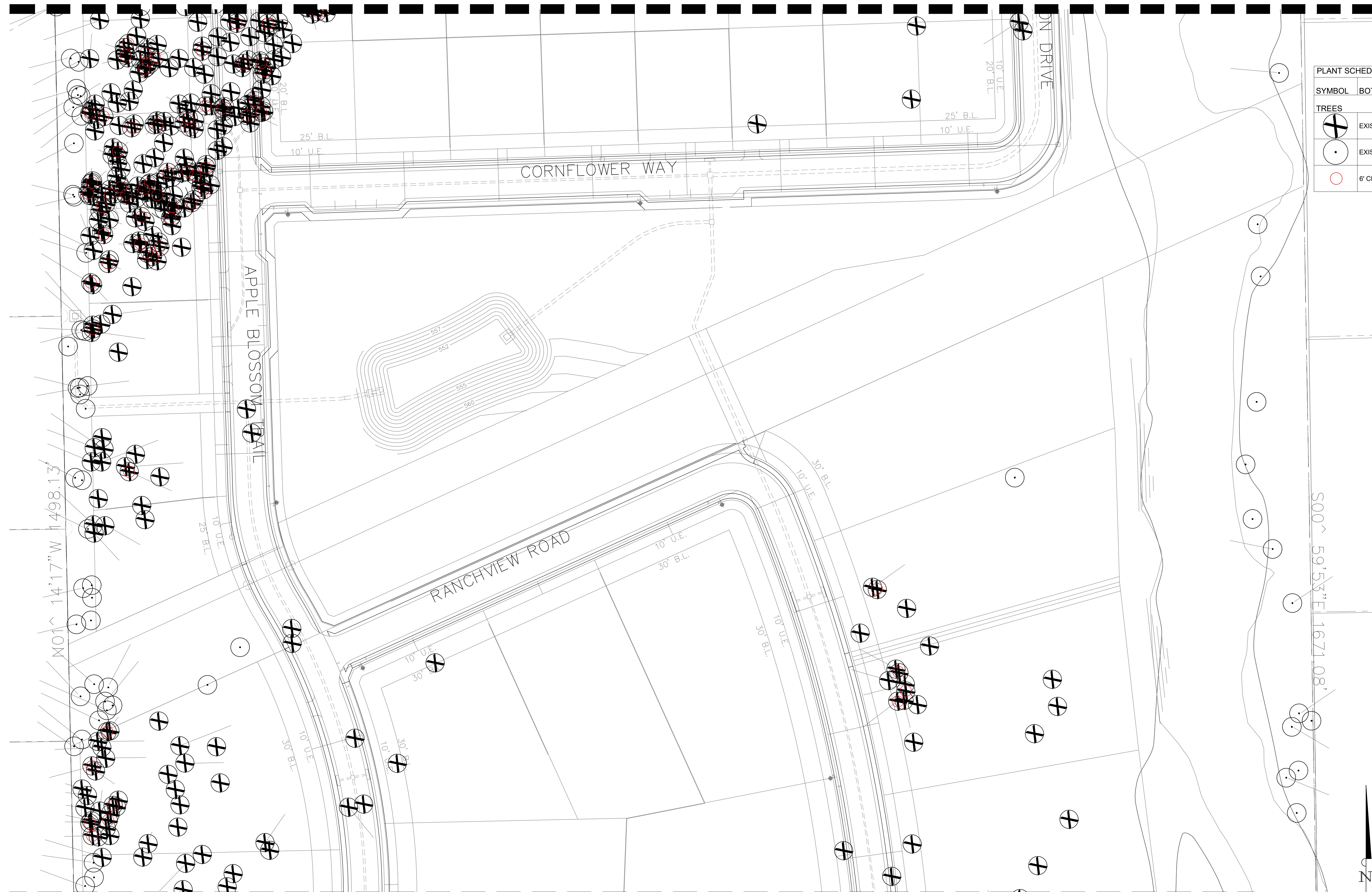
INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

No.	Date	Revision Description

PROJECT NO.: 080-25-003

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Drew J. Dubocq  
L.A.#3141  
09/30/2025

MATCH LINE 'B' - SHEET L-1.3

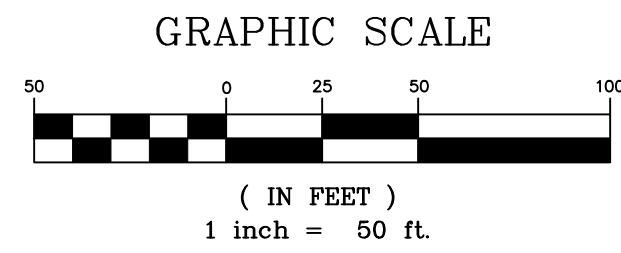


PLANT SCHEDULE	
SYMBOL	BOTANICAL / COMMON NAME
<b>TREES</b>	
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	6' CEDAR RULE AREA

MATCH LINE 'C' - SHEET L-1.4



**Know what's below.  
Call before you dig.**  
(@ least 48 hours prior to digging)



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

**BANNISTER**  
ENGINEERING  
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

**ERWIN FARMS**  
ROCKWALL, TEXAS

**TREE PRESERVATION PLAN**

No.	Date	Revision Description

PROJECT NO.: 090-25-003

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Drew J. Dubocq  
L.A.#3141  
09/30/2025

SHEET NO.  
**L-1.3**



NO.	CULPER	SPECIES	REMAIN	REMOVE	REMARKS
5001	12	CEDAR	X		SECONDARY
5002	12	CEDAR	X		SECONDARY
5003	10	CEDAR	X		SECONDARY
5004	10	CEDAR	X		SECONDARY
5005	10	CEDAR	X		SECONDARY
5006	12	CEDAR	X		SECONDARY
5007	12	CEDAR	X		SECONDARY
5008	6	CEDAR	X		SECONDARY
5009	8	CEDAR	X		SECONDARY
5010	8	CEDAR	X		SECONDARY
5011	12	CEDAR	X		SECONDARY
5012	6	CEDAR	X		SECONDARY
5013	6	CEDAR	X		SECONDARY
5014	8	CEDAR	X		SECONDARY
5015	12	CEDAR	X		SECONDARY
5016	6	CEDAR	X		SECONDARY
5017	6	CEDAR	X		SECONDARY
5018	6	CEDAR	X		SECONDARY
5019	8	CEDAR	X		SECONDARY
5020	8	CEDAR	X		SECONDARY
5021	8	CEDAR	X		SECONDARY
5022	10	CEDAR	X		SECONDARY
5023	10	CEDAR	X		SECONDARY
5024	10	CEDAR	X		SECONDARY
5025	8	CEDAR	X		SECONDARY
5026	8	CEDAR	X		SECONDARY
5027	6	CEDAR	X		SECONDARY
5028	8	CEDAR	X		SECONDARY
5029	12	CEDAR	X		SECONDARY
5030	8	CEDAR	X		SECONDARY
5031	8	CEDAR	X		SECONDARY
5032	8	CEDAR	X		SECONDARY
5033	8	CEDAR	X		SECONDARY
5034	8	CEDAR	X		SECONDARY
5035	8	CEDAR	X		SECONDARY
5036	8	CEDAR	X		SECONDARY
5037	6	CEDAR	X		SECONDARY
5038	6	CEDAR	X		SECONDARY
5039	8	CEDAR	X		SECONDARY
5040	11	CEDAR	X		SECONDARY
5041	10	CEDAR	X		SECONDARY
5042	8	CEDAR	X		SECONDARY
5043	8	CEDAR	X		SECONDARY
5044	6	CEDAR	X		SECONDARY
5045	11	CEDAR	X		SECONDARY
5046	5	CEDAR	X		SECONDARY
5047	6	CEDAR	X		SECONDARY
5048	9	CEDAR	X		SECONDARY
5049	9	CEDAR	X		SECONDARY
5050	9	CEDAR	X		SECONDARY
5051	10	CEDAR	X		SECONDARY
5052	5	CEDAR	X		SECONDARY
5053	12	CEDAR	X		SECONDARY
5054	8	CEDAR	X		SECONDARY
5055	10	CEDAR	X		SECONDARY
5056	8	CEDAR	X		SECONDARY
5057	6	CEDAR	X		SECONDARY
5058	6	CEDAR	X		SECONDARY
5059	7	CEDAR	X		SECONDARY
5060	7	CEDAR	X		SECONDARY
5061	7	CEDAR	X		SECONDARY
5062	7	CEDAR	X		SECONDARY
5063	12	CEDAR	X		SECONDARY
5064	12	CEDAR	X		SECONDARY
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5100	4	CEDAR	X		SECONDARY
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5109	6	CEDAR	X		SECONDARY
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5111	9	CEDAR	X		SECONDARY
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5114	10	CEDAR	X		SECONDARY
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5122	6	CEDAR	X		SECONDARY
5123	11	CEDAR	X		SECONDARY
5124	11	CEDAR	X		SECONDARY
5125	8	CEDAR	X		SECONDARY
5126	7	CEDAR	X		SECONDARY
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5181	2	CEDAR	X		NON-PROTECTED
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5183	7	CEDAR	X		SECONDARY
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5185	2	CEDAR	X		NON-PROTECTED
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5199	7	CEDAR	X		SECONDARY

5200	6	CEDAR	X		SECONDARY
5201	2	CEDAR	X		NON-PROTECTED
5202	6	CEDAR	X		SECONDARY
5203	6	CEDAR	X		SECONDARY
5204	7	CEDAR	X		SECONDARY
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5210	8	CEDAR	X		SECONDARY
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5226	11	CEDAR	X		SECONDARY
5227	6	CEDAR	X		NON-PROTECTED
5228	7	CEDAR	X		SECONDARY
5229	6	CEDAR	X		SECONDARY
5230	6	CEDAR	X		SECONDARY
5231	5	CEDAR	X		SECONDARY
5232	5	CEDAR	X		SECONDARY
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5251	2	CEDAR	X		NON-PROTECTED
5252	6	CEDAR	X		SECONDARY
5253	7	CEDAR	X		SECONDARY
5254	7	CEDAR	X		SECONDARY
5255	8	CEDAR	X		SECONDARY
5256	12	CEDAR	X		SECONDARY
5257	7	CEDAR	X		SECONDARY
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5275	4	ELM	X		PRIMARY
5276	5	CEDAR	X		SECONDARY
5277	6	CEDAR	X		SECONDARY
5278	11	CEDAR	X		SECONDARY
5279	8	CEDAR	X		SECONDARY
5280	6	ELM	X		PRIMARY
5281	9				

5709	6	CEDAR	X	SECONDARY
5710	6	CEDAR	X	SECONDARY
5711	6	CEDAR	X	SECONDARY
5712	6	CEDAR	X	SECONDARY
5713	7	CEDAR	X	SECONDARY
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5720	3	CEDAR	X	NON-PROTECTED
5721	8	CEDAR	X	SECONDARY
5722	2	CEDAR	X	NON-PROTECTED
5723	3	CEDAR	X	SECONDARY
5724	4	CEDAR	X	SECONDARY
5725	6	CEDAR	X	SECONDARY
5726	2	CEDAR	X	NON-PROTECTED
5727	4	CEDAR	X	SECONDARY
5728	6	CEDAR	X	SECONDARY
5729	1	CEDAR	X	NON-PROTECTED
5730	8	CEDAR	X	SECONDARY
5731	4	CEDAR	X	SECONDARY
5732	8	CEDAR	X	SECONDARY
5733	6	CEDAR	X	SECONDARY
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5741	6	CEDAR	X	SECONDARY
5742	3	CEDAR	X	NON-PROTECTED
5743	6	CEDAR	X	SECONDARY
5744	3	CEDAR	X	NON-PROTECTED
5745	5	CEDAR	X	SECONDARY
5746	4	CEDAR	X	SECONDARY
5747	5	CEDAR	X	SECONDARY
5748	5	CEDAR	X	SECONDARY
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5757	6	CEDAR	X	SECONDARY
5758	3	CEDAR	X	NON-PROTECTED
5759	2	CEDAR	X	NON-PROTECTED
5760	6	CEDAR	X	SECONDARY
5761	7	CEDAR	X	SECONDARY
5762	9	CEDAR	X	SECONDARY
5763	8	CEDAR	X	SECONDARY
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5766	6	CEDAR	X	SECONDARY
5767	5	CEDAR	X	SECONDARY
5768	5	CEDAR	X	SECONDARY
5769	5	CEDAR	X	SECONDARY
5770	6	CEDAR	X	SECONDARY
5771	6	CEDAR	X	NON-PROTECTED
5772	5	CEDAR	X	SECONDARY
5773	6	CEDAR	X	SECONDARY
5774	5	CEDAR	X	SECONDARY
5775	5	CEDAR	X	SECONDARY
5776	6	CEDAR	X	SECONDARY
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5780	6	CEDAR	X	SECONDARY
5781	2	CEDAR	X	NON-PROTECTED
5782	5	CEDAR	X	SECONDARY
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5786	7	CEDAR	X	SECONDARY
5787	6	CEDAR	X	SECONDARY
5788	7	CEDAR	X	SECONDARY
5789	5	CEDAR	X	NON-PROTECTED
5790	4	CEDAR	X	SECONDARY
5791	5	CEDAR	X	SECONDARY
5792	5	CEDAR	X	NON-PROTECTED
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5794	6	CEDAR	X	SECONDARY
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5797	7	CEDAR	X	SECONDARY
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5801	7	CEDAR	X	SECONDARY
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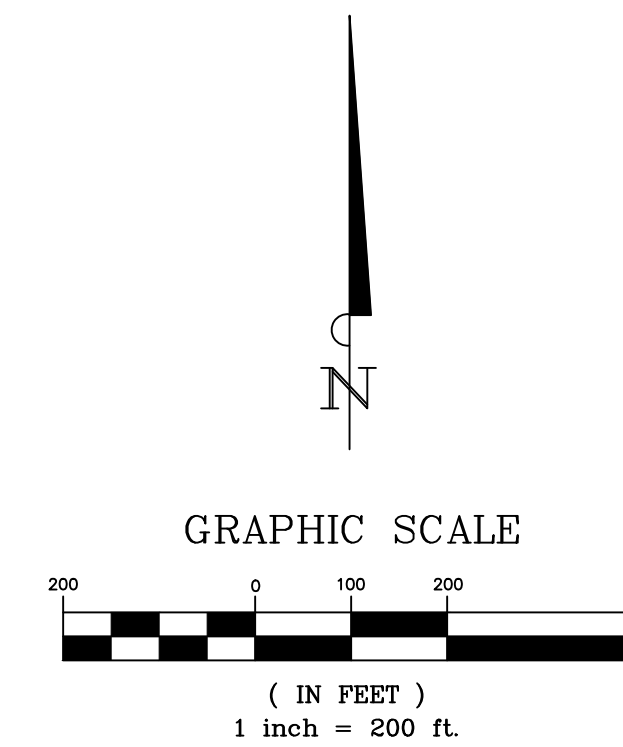
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6712	8	CEDAR		X	SECONDARY
6713	8	CEDAR		X	SECONDARY
6714	12	ELM		X	PRIMARY
6715	6	ELM		X	PRIMARY
6716	12	ELM		X	PRIMARY
6717	8	ELM		X	PRIMARY
6718	6	ELM		X	PRIMARY
6719	8	CEDAR		X	SECONDARY
6720	6	ELM		X	PRIMARY
6721	10	CEDAR		X	SECONDARY
6722	8	CEDAR		X	SECONDARY
6723	8	CEDAR		X	SECONDARY
6724	8	CEDAR		X	SECONDARY
6725	8	CEDAR		X	SECONDARY
6726	8	CEDAR		X	SECONDARY
6727	8	CEDAR		X	SECONDARY
6728	8	CEDAR		X	SECONDARY
6729	8	CEDAR		X	SECONDARY
6730	8	CEDAR		X	SECONDARY
6731	8	CEDAR		X	SECONDARY
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6735	8	CEDAR		X	SECONDARY
6736	8	CEDAR		X	SECONDARY
6737	8	CEDAR		X	SECONDARY
6738	8	CEDAR		X	SECONDARY
6739	8	CEDAR		X	SECONDARY
6740	4	CEDAR		X	SECONDARY
6741	6	ELM		X	PRIMARY
6742	4	ELM		X	PRIMARY
6743	4	CEDAR		X	SECONDARY
6744	8	CEDAR		X	SECONDARY
6745	8	CEDAR		X	SECONDARY
6746	8	CEDAR		X	SECONDARY
6747	4	CEDAR		X	SECONDARY
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6750	8	CEDAR		X	SECONDARY
6751	8	CEDAR		X	SECONDARY
6752	6	CEDAR		X	SECONDARY
6753	6	CEDAR		X	SECONDARY
6754	6	CEDAR		X	SECONDARY
6755	8				



PLANT SCHEDULE						
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
<b>TREES</b>						
	50	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	45 GAL.	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	40	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	30 GAL.	3"	6'-8'	FULL, MATCHING, SYMMETRICAL
	13	PISTACIA CHINENSIS / CHINESE PISTACHE	45 GAL.	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	43	QUERCUS SHUMARDII / SHUMARD RED OAK	45 GAL.	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	35	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL.	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	12	ULMUS CRASSIFOLIA / CEDAR ELM	45 GAL.	3"	10'-12'	FULL, MATCHING, SYMMETRICAL
	46	VITEX AGNUS-CASTUS / CHASTE TREE	30 GAL.	3"	6'-8'	FULL, MATCHING, SYMMETRICAL
	40	X CHITALPA TASHKENTENSIS 'PINK DAWN' / PINK DAWN CHITALPA	30 GAL.	3"	6'-8'	FULL, MATCHING, SYMMETRICAL
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
<b>SHRUBS</b>						
	602	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	15 GAL.	48" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
SYMBOL	QTY	BOTANICAL / COMMON NAME	NOTES			
<b>GROUND COVERS</b>						
	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD			
	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	HYDROMULCH			



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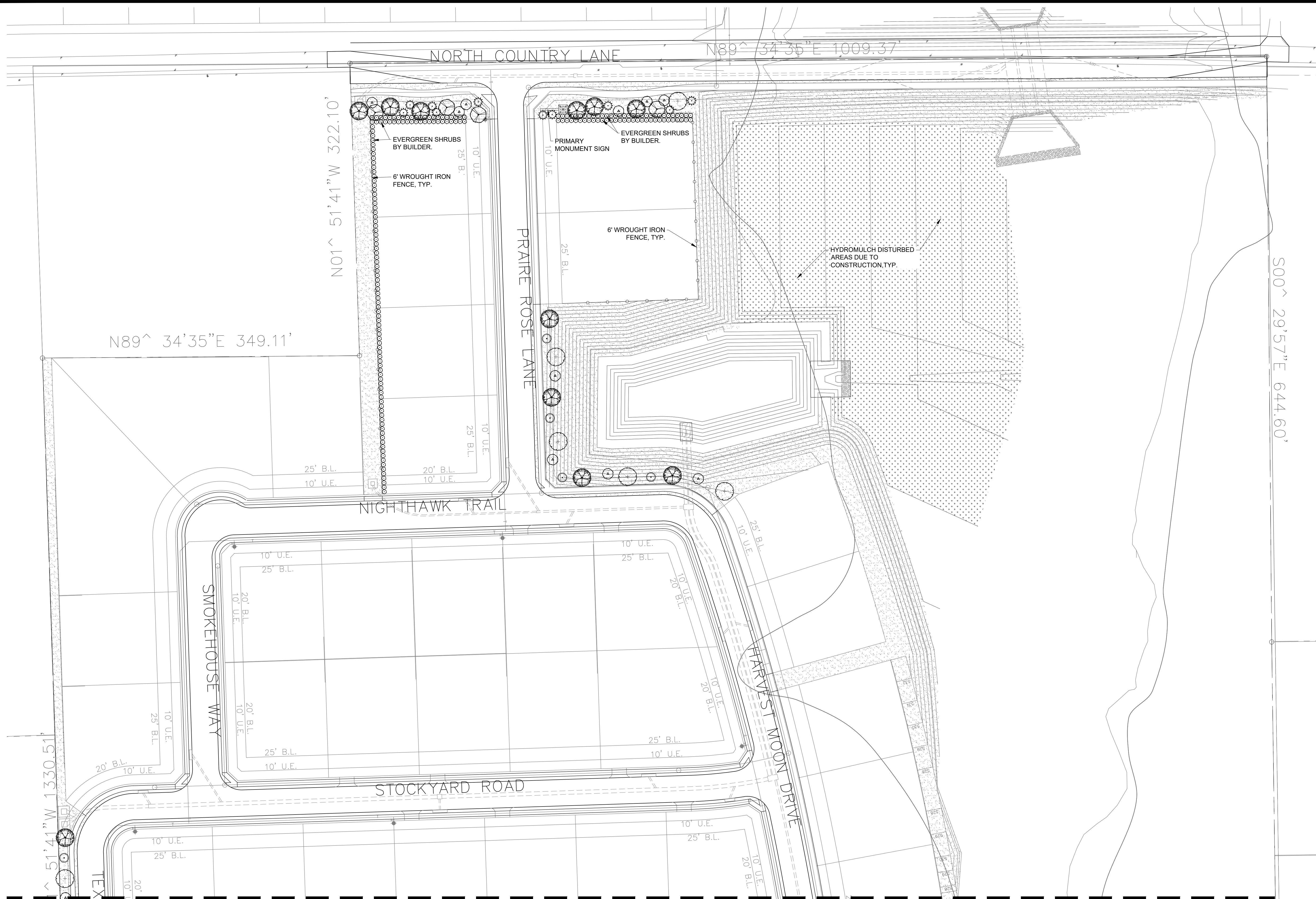
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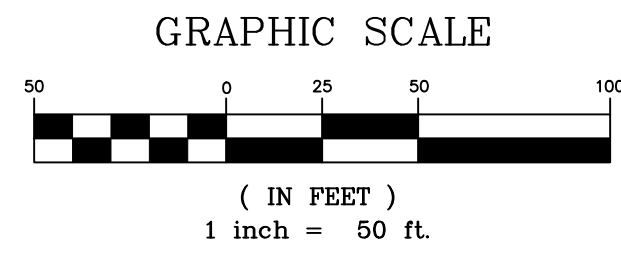
L-2.0



MATCH LINE 'A' - SHEET L-2.2



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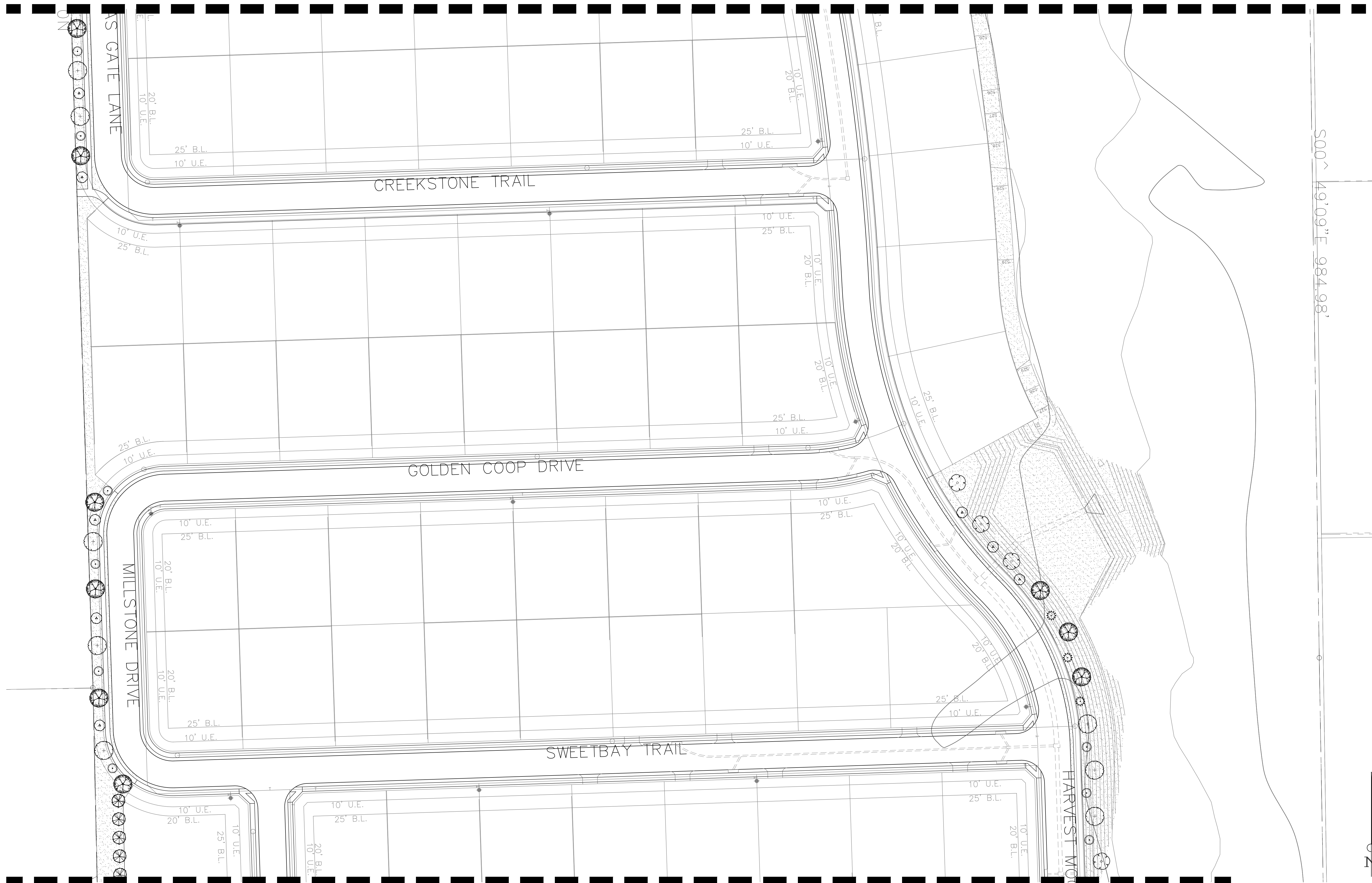
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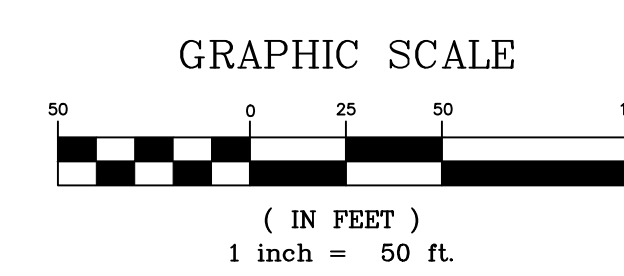
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MATCH LINE 'B' - SHEET L-2.3



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**BANNISTER**  
ENGINEERING  
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

**ERWIN FARMS**  
ROCKWALL, TEXAS

**LANDSCAPE PLAN**

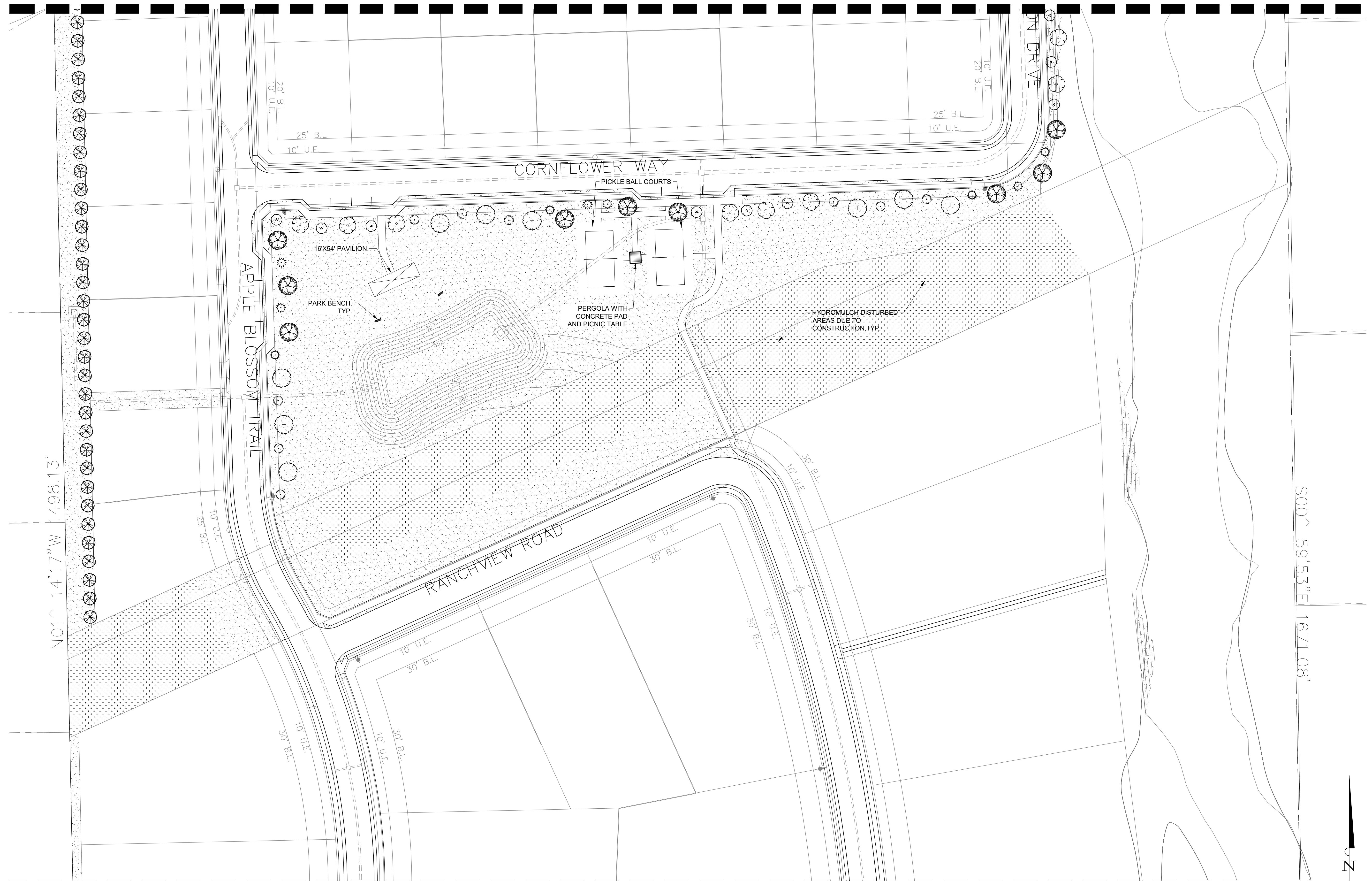
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SHEET NO.  
**L-2.2**

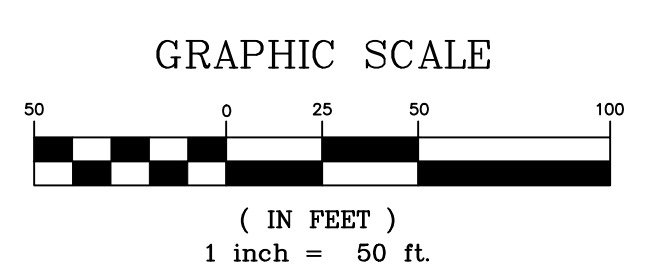
MATCH LINE 'B' - SHEET L-2.3



MATCH LINE 'C' - SHEET L-2.4



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ROCKWALL, TEXAS

**LANDSCAPE PLAN**

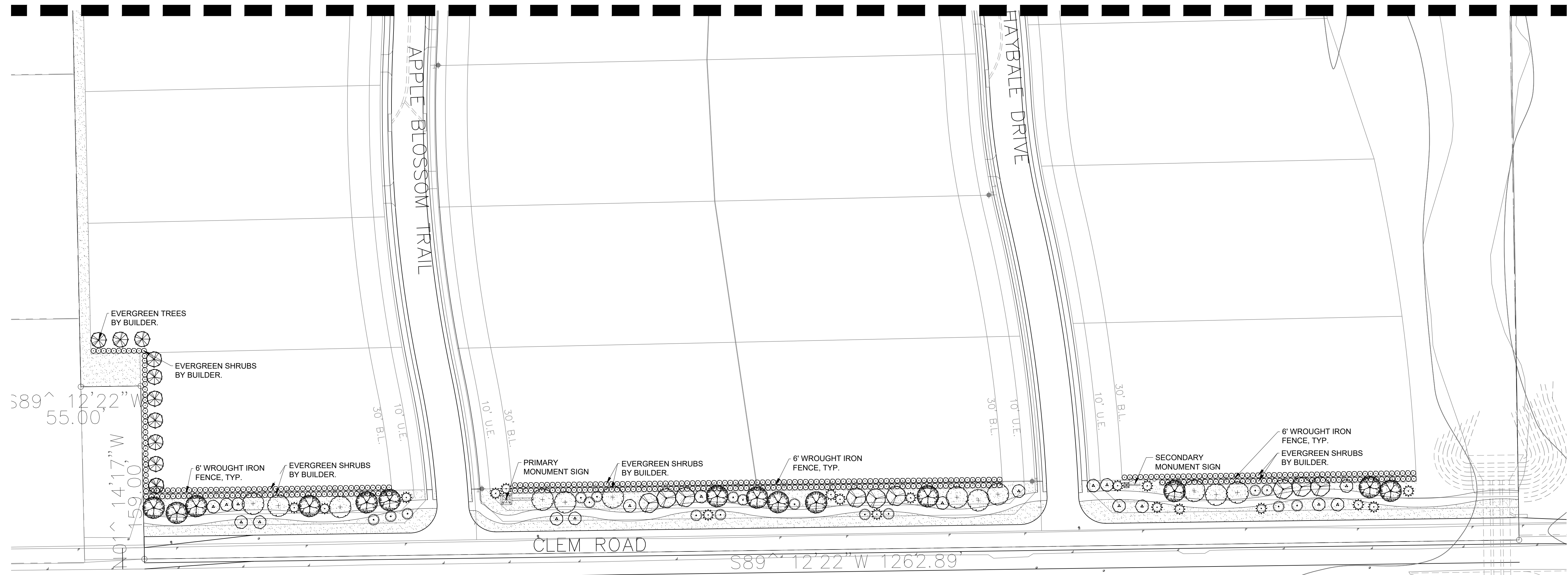
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SHEET NO.  
**L-2.3**

MATCH LINE 'C' - SHEET L-2.3



ERWIN FARMS  
ROCKWALL, TEXAS

LANDSCAPE PLAN

No.	Date	Revision Description

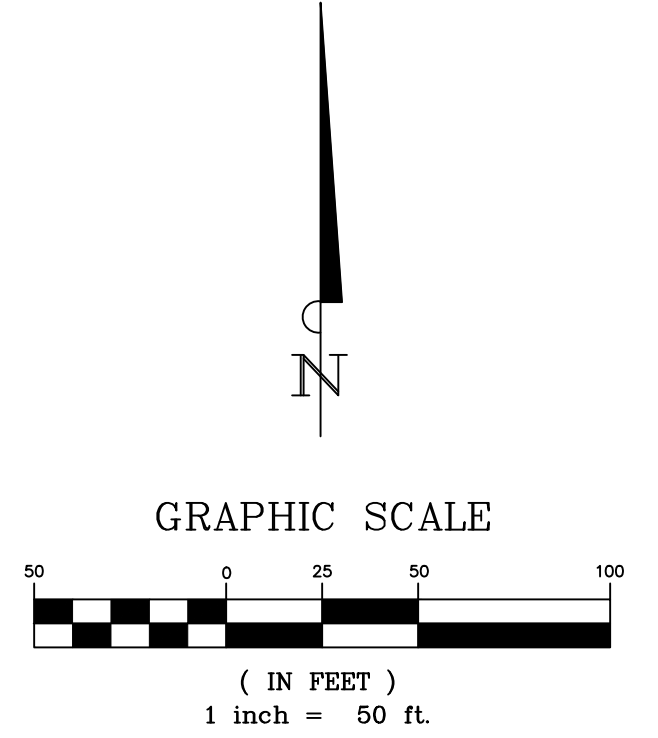
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**L-2.4**



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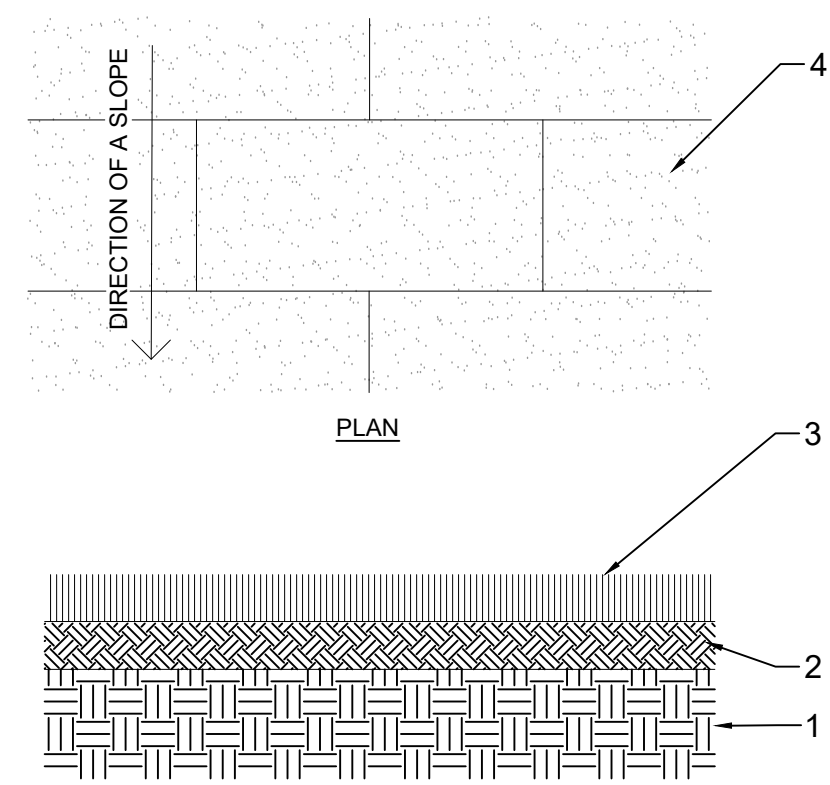


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**GENERAL NOTES :**

- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS OR HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEER'S GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
  - 3" OF ORGANIC COMPOST
  - 20 POUNDS OF ORGANIC FERTILIZER / 1,000 SF OF BED AREA
  - TILL BED TO A DEPTH OF 6" TO 8"
  - CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL.
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OF-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE GRADE.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTERCREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.



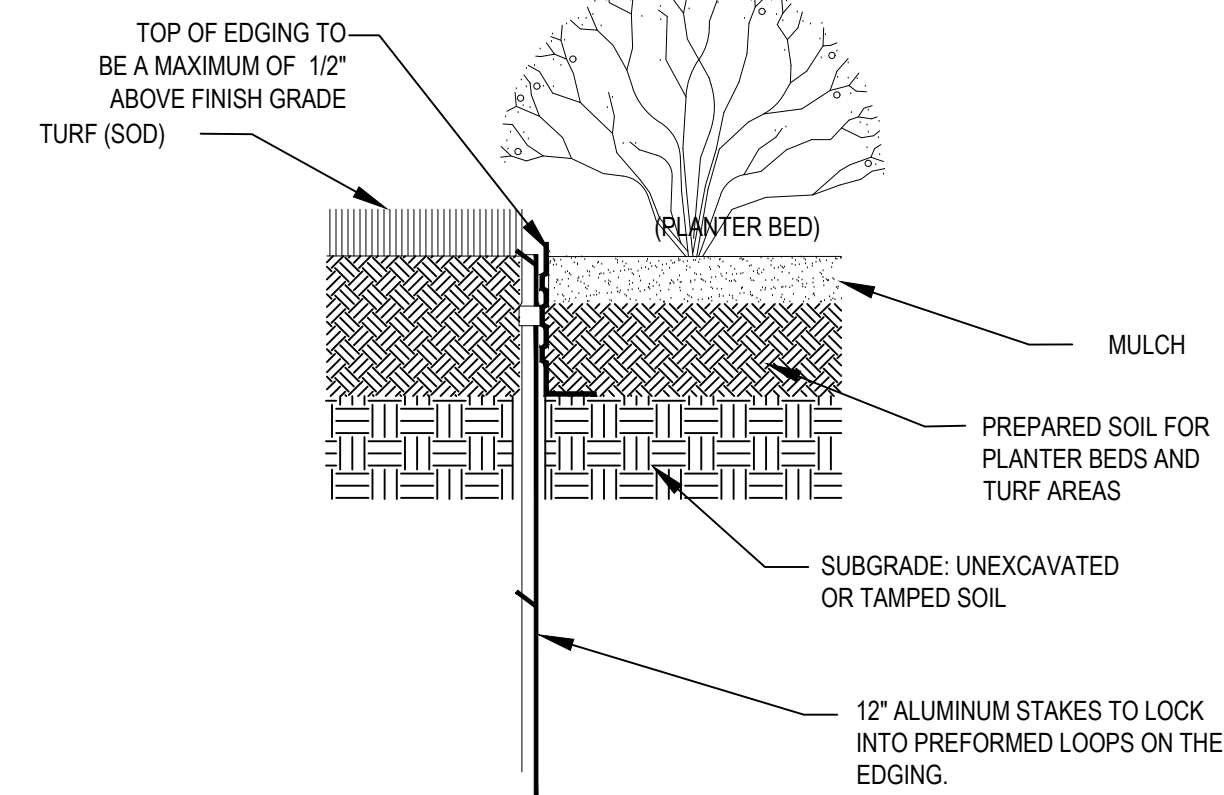
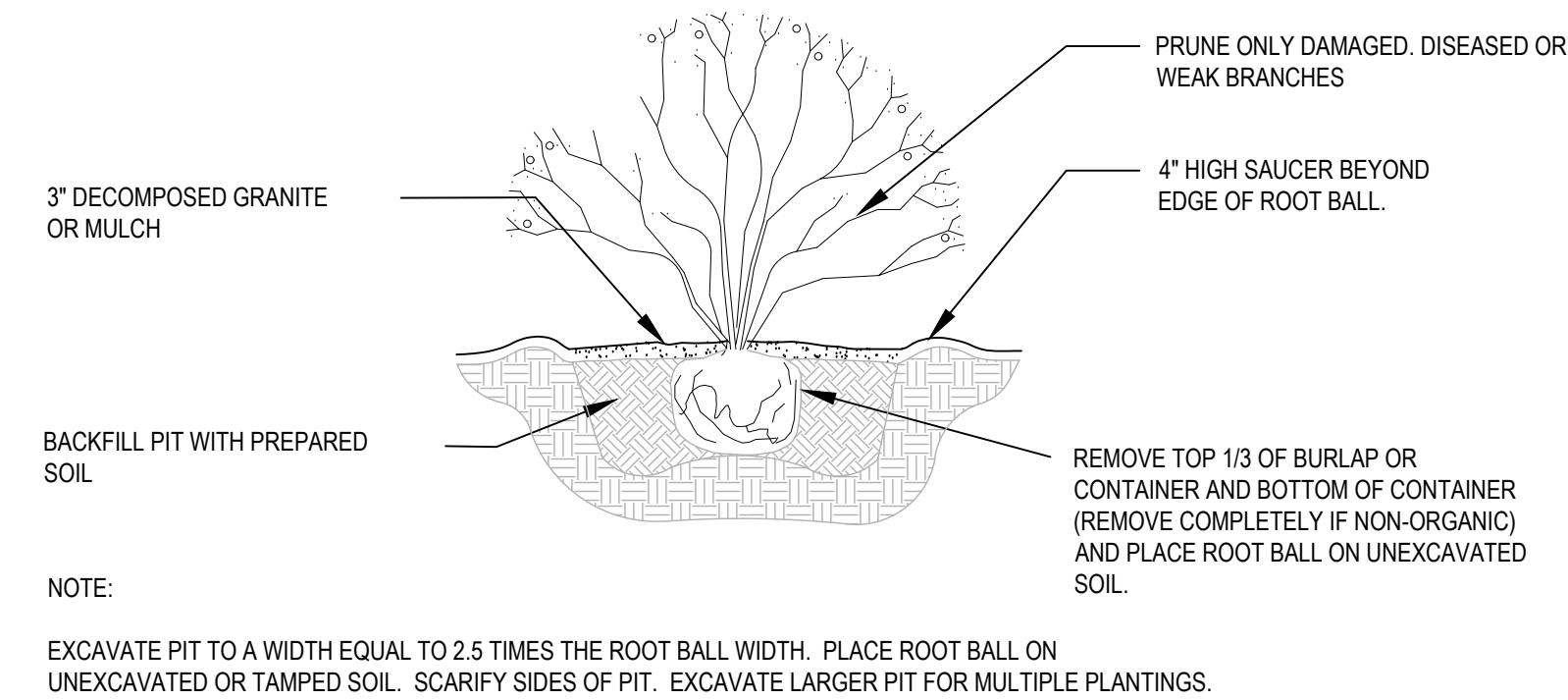
**A SOD PLANTING DETAIL**

**NOTES:**

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.

- SUBGRADE: SEE GRADING PLAN FOR CUT AND/OR FILL REQUIREMENTS
  - TWO (2") OF PREPARED TOPSOIL
  - TURF / SOD.
  - SOD PANEL: STAGGER AND PLACE PERPENDICULAR TO THE DIRECTION OF A SLOPE.
- NOTES:**
- WATER THE SOD DAILY IN THE MORNINGS THE FIRST WEEK. WATER EVERY OTHER DAY THE SECOND WEEK. THEN WATER TWICE A WEEK THE THIRD WEEK. AFTERWARDS, PROVIDE A MIN. OF ONE (1") OF WATER PER WEEK AND MORE DURING HOTTER MONTHS.
- FERTILIZE THE SOD AGAIN WITH A STARTER FERTILIZER AFTER 4 WEEKS TO MITIGATE NUTRIENTS LOST DURING THE HEAVY WATER SCHEDULE.

**B SHRUB PLANTING DETAIL**

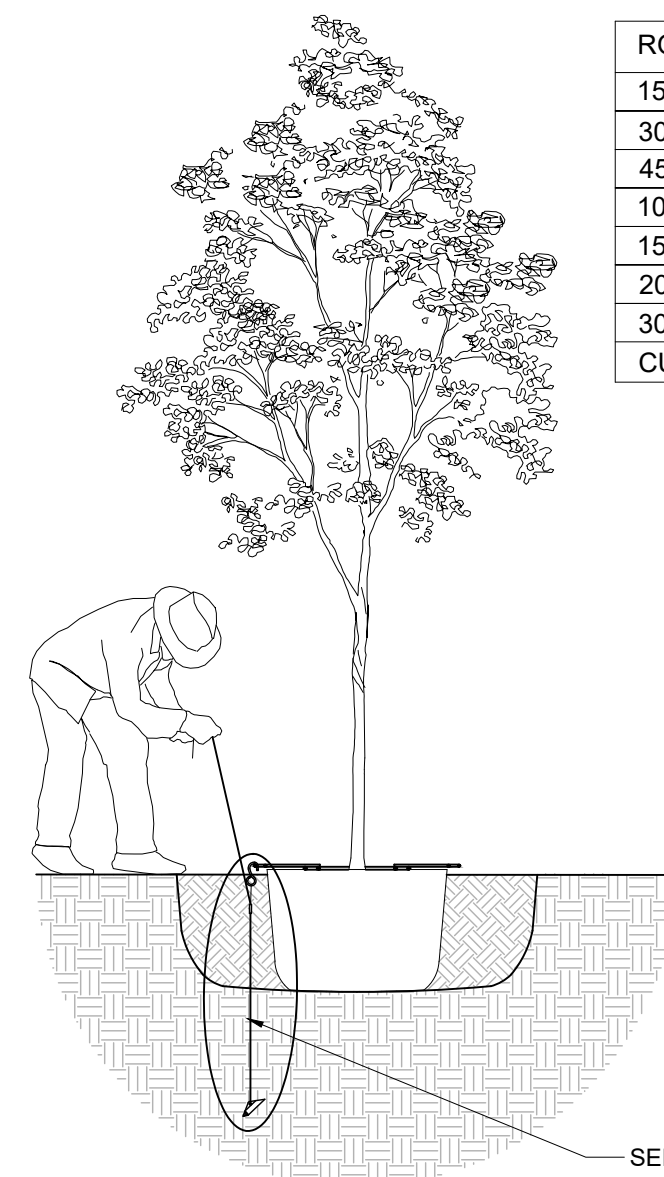


- NOTES:**
- SIZE TO BE 3/16" x 3-1/2"
  - COLOR TO BE BLACK DURAFLEX - ELECTROSTATICALLY APPLIED BAKED ON PAINT.
  - 16" SECTIONS TO INCLUDE (5) 12" ALUMINUM STAKES.
  - COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING. FINISH GRADES TO BE 1/2" BELOW TOP OF EDGING.
  - FORM A SMOOTH, CONTINUOUS RADIUS WITH HEADER AS SHOWN ON PLAN.

**D STEEL EDGING DETAIL**

**C TREE PLANTING DETAIL**

ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH
100-BG	95 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD



**E TREE STAKING DETAIL**

- STEP 1:**
- SET TREE IN PLANTING PIT.
  - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
  - CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
  - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.
- STEP 2:**
- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
  - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.
- STEP 3:**
- REMOVE DRIP ROD.
  - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
  - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-88 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
  - PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
  - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
  - TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.

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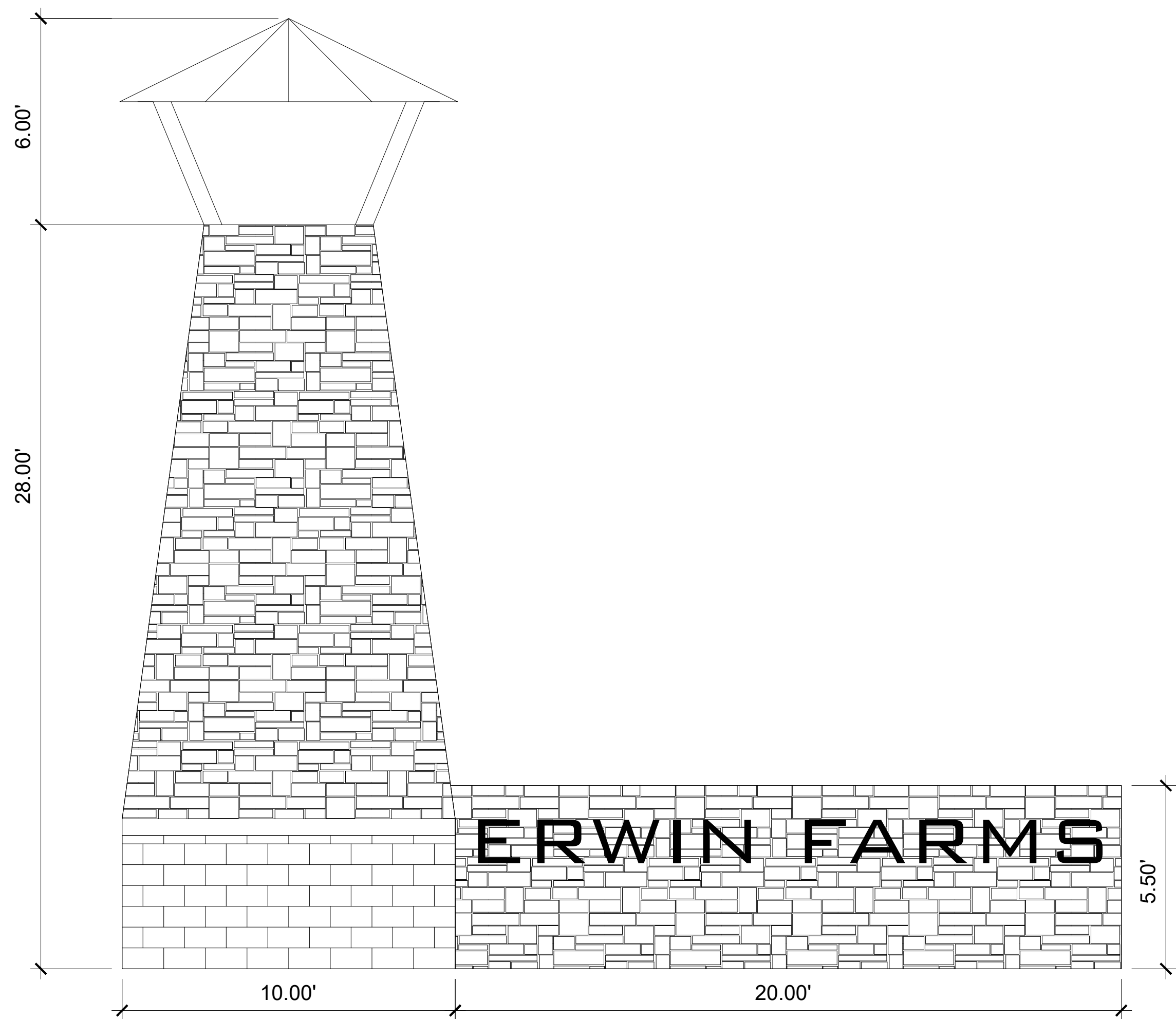
SHEET NO.

**L-2.5**

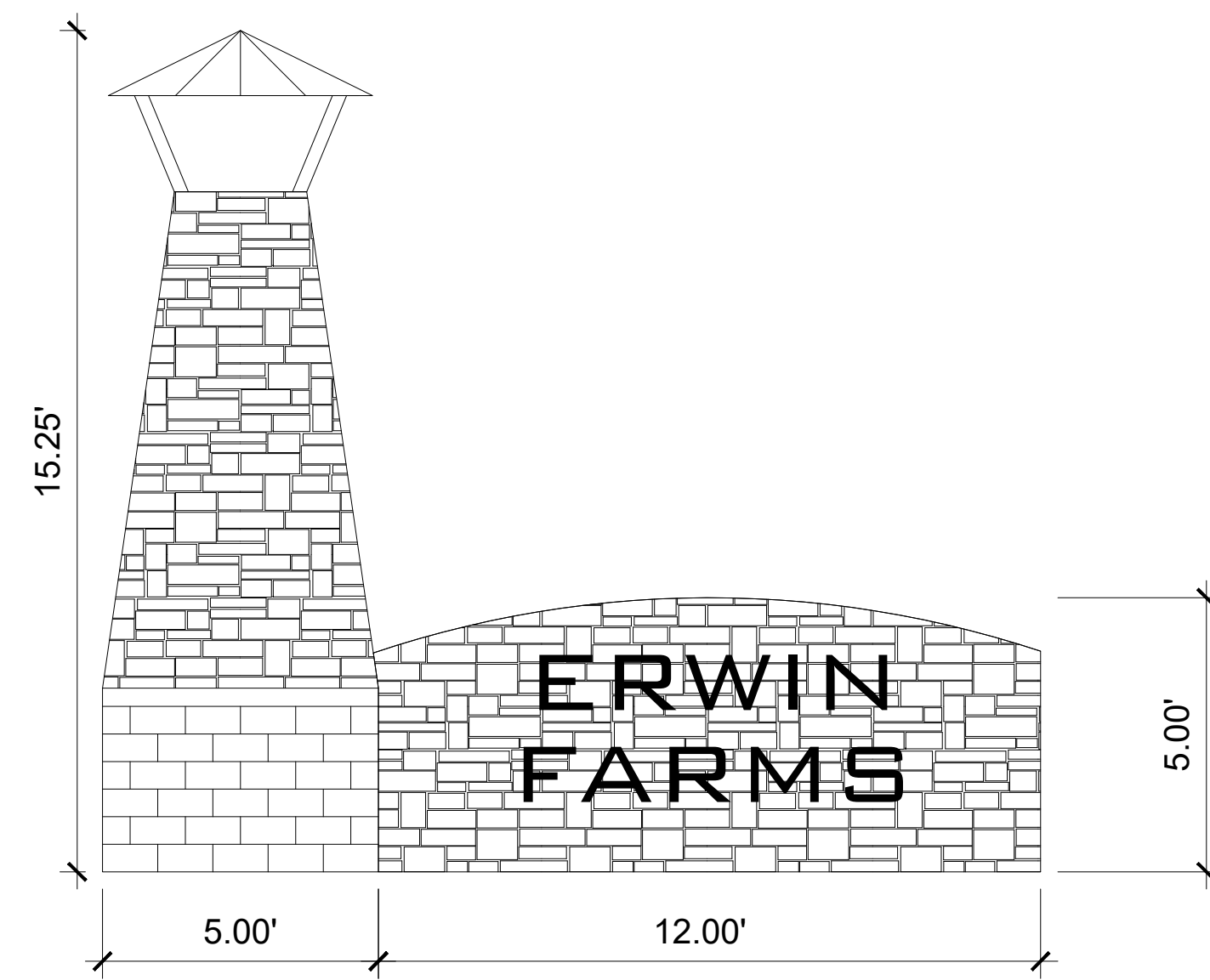


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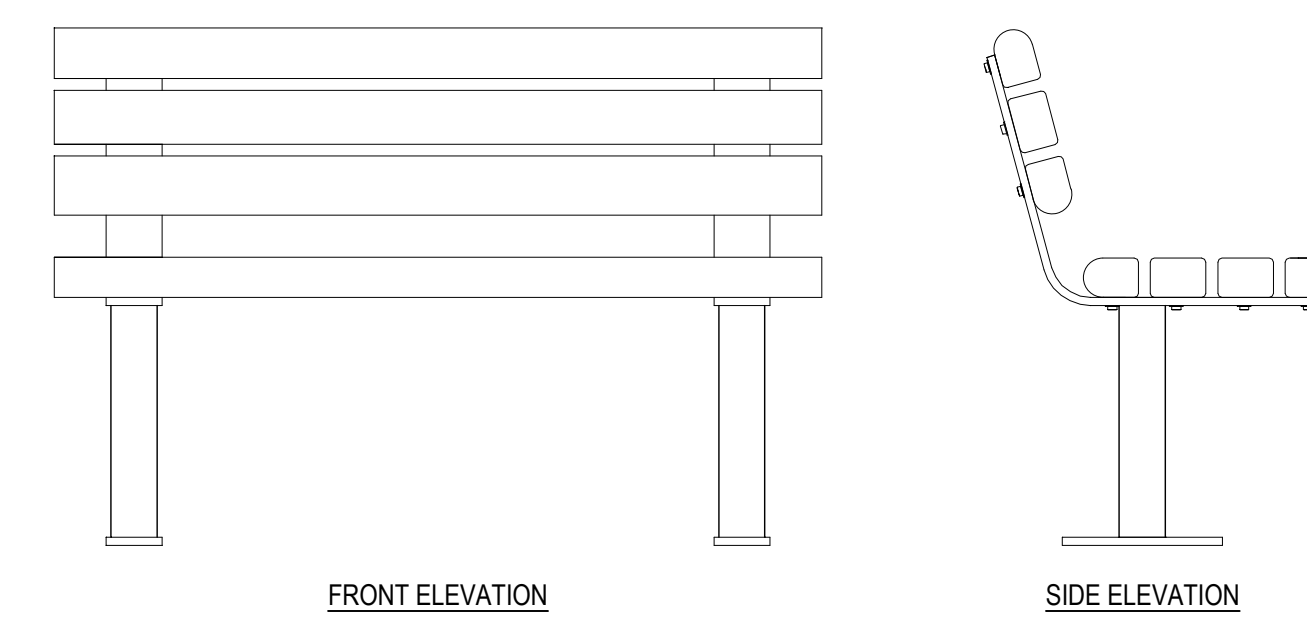
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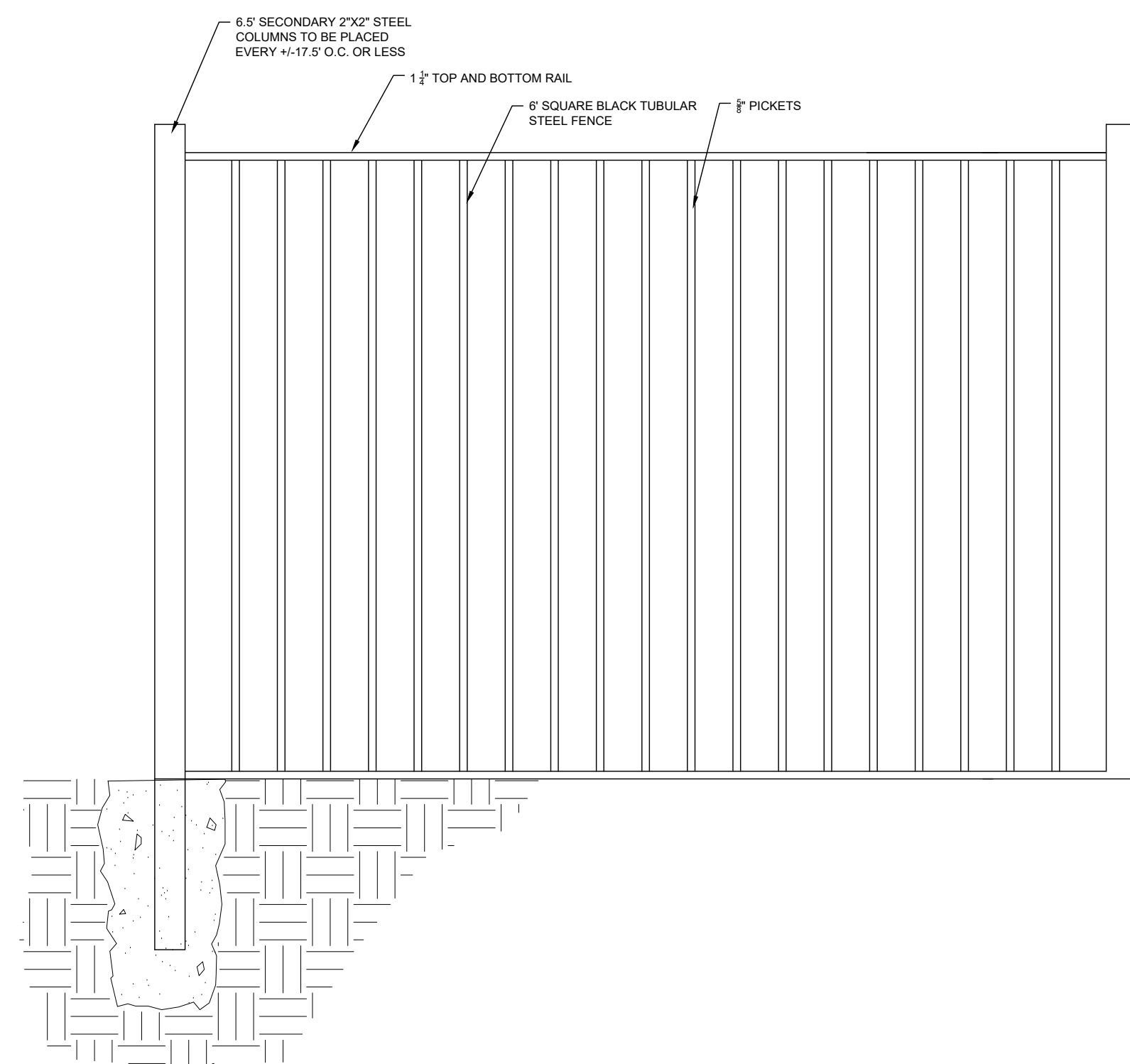
F PRIMARY MONUMENT SIGN DETAIL



G SECONDARY MONUMENT SIGN DETAIL



H 6' POLY WOOD GRAIN BENCH DETAIL



I WROUGHT IRON FENCE DETAIL

No.	Date	Revision Description

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# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** October 14, 2025  
**APPLICANT:** Keaton Mai; *Dimension Group*  
**CASE NUMBER:** SP2025-039; *Site Plan for Taco Bell*

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### SUMMARY

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing LP for the approval of a Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through* on a 0.936-acre parcel of land identified as a portion of Lot 18, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located east of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

### BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [Case No. Z2013-002; *Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [Case No. P2021-027] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that established the subject property as a portion of Lot 18, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

### PURPOSE

On September 12, 2025, the applicant -- *Keaton Mai with Dimension Group* -- submitted an application requesting the approval of a site plan for a *Restaurant with 2,000 SF or More with Drive-Through* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located east of the intersection of S. Goliad Street [SH-205] and FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Somerset Park Subdivision, which consists of 309 single-family homes and is zoned Planned Development District 63 (PD-63) for Single Family 10 (SF-10) District land uses.

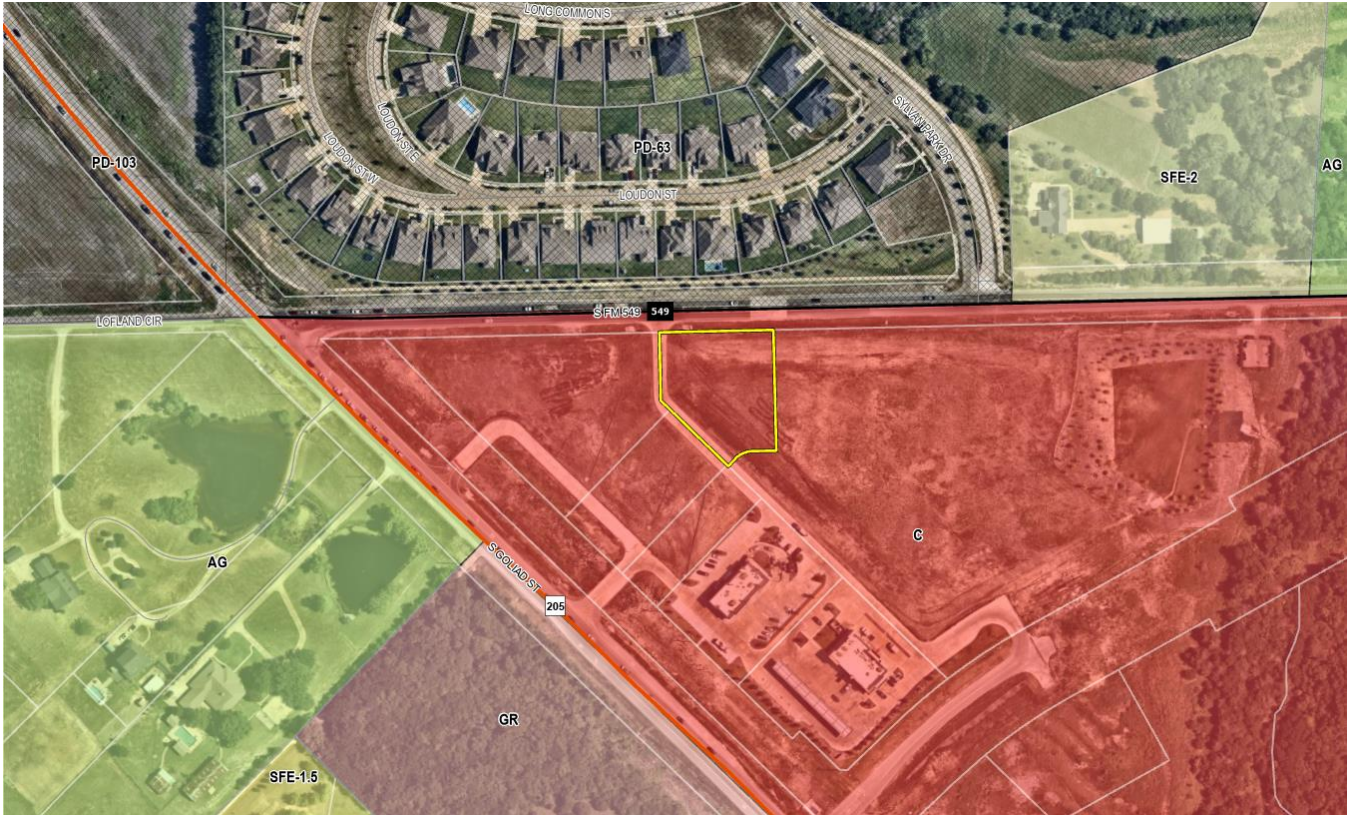
South: Directly south of the subject property are two (2) vacant parcels of land (*i.e. Lots 15 & 16, Block A, Creekside Commons Addition*) zoned Commercial (C) District. Beyond this are two (2) parcels of land (*i.e. Lots 1 & 14, Block A, Creekside Commons Addition*) developed with *Restaurant with Drive Through* (*i.e. McDonald's*) and a *Retail Store with Gasoline Sales* (*i.e. 7-11*), zoned Commercial (C) District. Following this is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is the remainder of Lot 18 on which the subject property is situated. Beyond this is right-of-way for the future alignment for FM-549, which is identified as a (*i.e. arterial, four [4] lane, divided*

roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the corporate City Limits of the City of Rockwall.

West: Directly west of the subject property is a 2.185-acre vacant parcel of land (i.e. Lot 17, Block A, Creekside Commons Addition), zoned Commercial (C) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a 5.00-acre tract of land (i.e. Tract 7-01 of the W. W. Ford Survey, Abstract No. 80) developed with a single-family home, zoned Agricultural (AG) District.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with 2,000 SF or More with Drive-Through* is permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=0.936-acres; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X>60-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X~297-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=25-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X<60%; In Conformance

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/100 SF = 26 spaces 1/4 Seats = 3 spaces Total = 29 spaces</i>	<i>X=27; Exception Requested</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=21%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=79%; In Conformance</i>

**TREESCAPE PLAN**

The development of the proposed *Restaurant with 2,000 SF or More with Drive-Through* does not require the removal of any trees from the subject property. Given this, a *Treescape Plan* is not required for the requested site plan.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 02.02(F)(29), of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Restaurant with 2,000 SF or More with Drive-Through* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises. The term shall not include a bakery, pastry shop, meat market, or ice cream parlor if on-premises consumption of food is not allowed.” In this case the applicant is requesting a *Restaurant with 2,000 SF or More with Drive-Through*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *Full-Service Restaurant* requires one (1) parking space per 100 SF, and a *Patio* requires one (1) parking space per four (4) seats. In this case, the applicant the applicant is required to provide 29 parking spaces (*i.e. [2,548 SF / 100 SF] + [12 seats / 4 seats] = 29 parking spaces*), and they are providing 27 parking spaces. This represents an overall shortfall of two (2) parking spaces. The applicant’s variance letter indicates that the required parking for the *Full-Service Restaurant* is provided and only the *Patio* is creating the deficiency in parking. In review of the parking, the *Full-Service Restaurant* requires 26 parking spaces. This confirms the applicant’s claim that the *Full-Service Restaurant* parking is satisfied, and the that the *Patio* is creating the deficiency. With that being said, this is a discretionary decision for Planning and Zoning Commission that will require a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*), with a minimum of four (4) votes in the affirmative.

The proposed site plan generally conforms to the standards of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

**VARIANCES AND EXCEPTIONS BY THE APPLICANT**

As previously stated, the applicant’s request appears to generally conform to the requirements of the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant’s request:

- (1) Articulation. According to Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), each building façade within a Commercial (C) District must meet the minimum primary and secondary articulation standards. In this case, the proposed buildings do not meet the articulation standards. This will require an exception from the Planning and Zoning Commission.
- (2) Parking. According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *Full-Service Restaurant* requires one (1) parking space per 100 SF, and a *Patio* requires one (1) parking space per four (4) seats. In this case, the applicant the applicant is required to provide 29 parking spaces (*i.e. [2,548 SF / 100 SF] + [12 seats / 4 seats] = 29 parking spaces*), and they are providing 27 parking spaces. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. In this case, the applicant is providing the following compensatory measures: [1] an internalized roof access ladder, [2] 48% stone on the primary façade, [3] masonry above the 90% required in an *Overlay District*, [4] vertical projections greater than required, [5] additional architectural elements, and [6] a 25-foot landscape buffer in lieu of a 10-foot landscape buffer. Staff should note that compensatory item [4] does not appear to be accurate as the vertical projections meet the minimum requirements; however, the other compensatory items appear to meet or exceed the intent of the Unified Development Code (UDC). That being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- for the approval of a variance or exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the South Central Residential District and is designated for Commercial land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "... encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant's request appears to conform with the goals and policies for non-residential buildings contained in the Comprehensive Plan; however, this will be a discretionary decision for the Planning and Zoning Commission concerning the applicant's request for an exception to the articulation requirements.

### **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On September 30, 2025, the Architectural Review Board (ARB) reviewed the applicant's proposed building elevations and approved a motion to recommend approval of the building elevations by a vote of 6-0, with Board Member Kirkpatrick absent, with the condition that the building footprint on the site plan be updated to reflect the articulation shown on the building elevations. The applicant has corrected this and is meeting the conditions of the Architectural Review Board's (ARB's) recommendation.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a *Restaurant with 2,000 SF or More with Drive-Through* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NWC of Hwy 205 and Future FM 549

SUBDIVISION Creekside Commons

LOT 18 BLOCK A

GENERAL LOCATION NWC of Hwy 205 and Future FM 549

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C)

CURRENT USE

Undeveloped

PROPOSED ZONING Commercial (C)

PROPOSED USE

Restaurant w/ drive-through

ACREAGE 0.936

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS. AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Creekside Commons Crossing LP

APPLICANT

The Dimension Group

CONTACT PERSON Michael Hampton

CONTACT PERSON

Keaton Mai

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

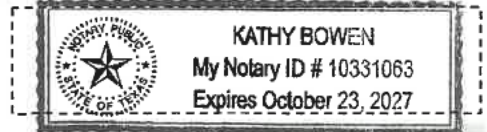
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 275 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5th DAY OF September, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF September 2025

OWNER'S SIGNATURE

*[Signature]*  
Kathy Bowen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10/23/27



SP2025-039: Site Plan for Taco Bell

PD-63

SFM549 549



C

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**Valley Bell Enterprises, LLC**  
101 E. Cherokee St.  
Jacksonville, TX 75766  
Phone (903) 586-1524  
Fax (903) 586-9644

October 6, 2025

City of Rockwall  
Attn: Planning Department  
385 S. Goliad  
Rockwall, Texas 75087  
**Via Hand Delivery**

RE: Variance Request Letter for Proposed Taco Bell at Creekside Commons in South Rockwall

To Whom it May Concern:

Valley Bell Enterprises, LLC ("VBE") proposes to construct a Taco Bell with a drive through to be located on a portion of Lot 18 in the Creekside Commons Addition in south Rockwall. The property is approximately 0.936 acres. VBE will develop and then lease the property to Southern Multifoods, LLC, a Taco Bell franchisee with 121 locations in Texas, including the restaurant locations in Lavon, Royse City, and Fate. Southern Multifoods, LLC has also operated the Taco Bell on Ridge Road in Rockwall for over twenty years and wishes to open a second location in Rockwall to serve more members of the community. Drew Durrett is the controlling manager of both VBE and Southern Multifoods, LLC.

In connection with the Planning and Zoning Commission hearing on September 30, 2025, please find enclosed the following information:

1. Site Plan
2. Landscape Plan
3. Photometric Plan
4. Lighting Cut Sheets
5. Building Elevations Plans
6. Material Sample Board

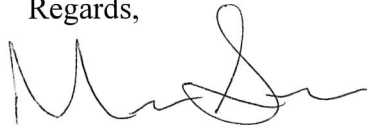
It is VBE's intention to satisfy all the City's ordinances and also match the building materials used by McDonald's and 7-Eleven currently operating in the Creekside Commons development. However, VBE recognizes that the Taco Bell building and site plan do not meet the City's ordinances as follows: (i) the primary façade does not have a secondary entry or architectural element; (ii) the secondary façade entry / architectural element width is less than three feet; and (iii) the site plan is two parking spaces less than the minimum required due to the patio seating.

As a result, VBE is respectfully requesting a variance to these ordinances and is proposing the following compensatory measures:

1. Roof ladder and hatch will be located internally and invisible from public view.
2. The front / primary public right of way elevation consists of 48% stone.
3. All four elevations consist of more than City minimum 90% masonry requirement.
4. Projection length of entry elements on front and side elevations exceeds minimum required.
5. Extra elements (Pilasters) added to side entry elevation, pre-pay window on drive-thru elevation, and rear building corner
6. Provide a 25' landscape buffer along FM 549 (exceeding the 10' required landscape buffer) to comply with staff's recommendation to provide sufficient planting space outside of the existing utility easements.

Thank you for your consideration, and we look forward to discussing our project further with the City. Should you have any questions or need any additional information, please do not hesitate to contact me at 903-589-2005.

Regards,



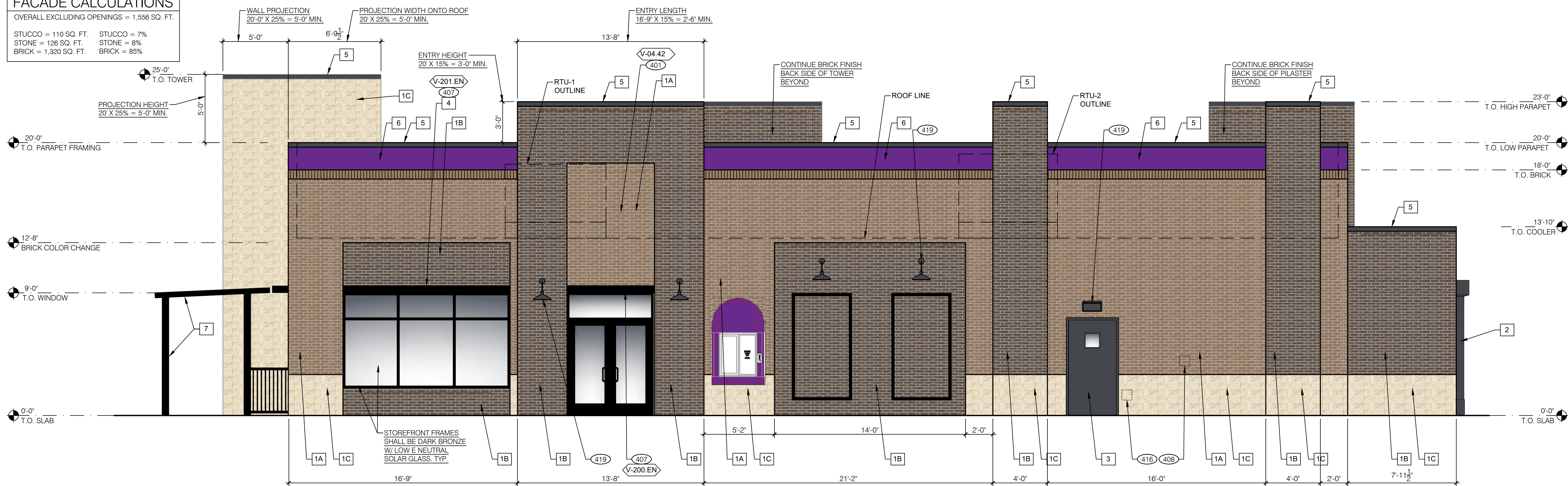
Michael A. Stansberry  
Director of Development, General Counsel

MAS

Enclosures



**FACADE CALCULATIONS**  
 OVERALL EXCLUDING OPENINGS = 1,556 SQ. FT.  
 STUCCO = 110 SQ. FT. STUCCO = 7%  
 STONE = 126 SQ. FT. STONE = 8%  
 BRICK = 1,320 SQ. FT. BRICK = 85%



**SIDE ELEVATION - WEST - SECONDARY BUILDING FACADE** 1/4" = 1'-0" **1**

**PAINING**  
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
 PRIMER: 1 COAT SW A24W8300  
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.  
 A-100 EXTERIOR LATEX SATIN.

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
<b>TOWER</b>			
V-09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
<b>SIDE ENTRY</b>			
V-04.42	2	42" SWINGING BELL PURPLE LOGO FACE DJT	A4.1
V-200.EN	1	SIDE ENTRY AWNING 6'4" X 4'0" BLACK	A4.0
<b>DRIVE THRU</b>			
V-101.DT	1	DT AWNING (OVER DT) 9'0" X 4'0" BLACK	A4.1
V-102.DT	1	DT AWNING (OVER DT) 4'0" X 4'0" BLACK	A4.1
<b>EYEBROW AWNINGS</b>			
V-202.EN	1	FRONT EYEBROW (WINDOW) 13'8" X 6" H X 1'4" D BLACK	A4.1
V-203.EN	1	DT EYEBROW (WINDOW) 7'8" L X 6" H X 1'4" D BLACK	A4.1
V-201.EN	1	SIDE ENTRY EYEBROW (WINDOW) 12' L 6" H X 1'4" D BLACK	A4.0

**MISCELLANEOUS**  
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.  
**SEALERS (REFER TO SPECS)**  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.  
**CRITICAL DIMENSIONS**  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.  
 NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 408 CO2 FILLER VALVE & COVER.
- 416 HOSE BIB BOX AT 18" A.F.F.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

**PAINT NOTES** **F**

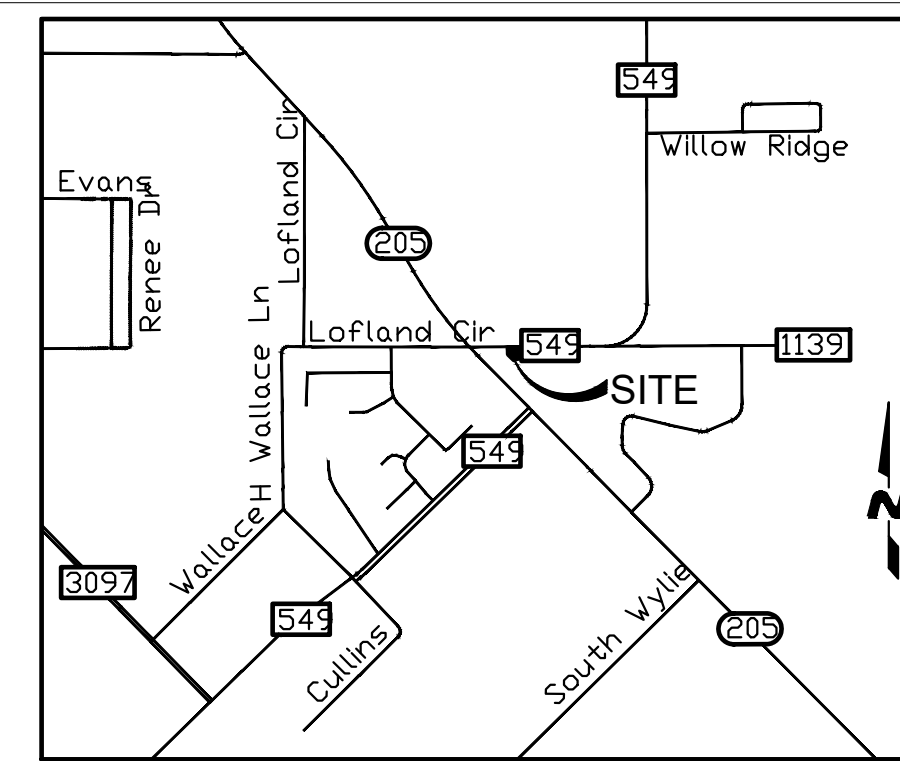
**SIGNAGE** **E**

**GENERAL NOTES** **C**

SYMBOL	ITEM/MATERIAL	MANUFACTURER	COLOR
1A	BRICK	ACME BRICK	MUSHROOM BROWN
1B	BRICK	ACME BRICK	EBONY
1C	STONE	BLACKSON BRICK	COTTONWOOD (VERIFY)
2	SCUPPERS & DOWNSPOUTS	-	CYBERSPACE (SW7076) KYNAR 500 COATING
3	HOLLOW METAL DOOR	-	CYBERSPACE (SW7076) KYNAR 500 COATING
4	AWNINGS	SIGNAGE VENDOR	BLACK BY THE SIGNAGE VENDOR
5	METAL PARAPET CAP	-	CYBERSPACE (SW7076) KYNAR 500 COATING
6	STUCCO	-	IMPULSIVE PURPLE (SW6832), SEMI-GLOSS
7	PATIO STRUCTURE	-	RAL 9011 GRAPHITE BLACK

**EXTERIOR FINISH SCHEDULE** **D**

**KEY NOTES** **A**



**COLOR RENDERINGS**  
 LOT 18, BLOCK A, CREEKSIDE COMMONS ADDITION  
 NWC STATE HIGHWAY 205 & F.M. 549  
 A 0.936 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT #SP2025-xxx  
 August 27, 2025

APPROVED:  
 I hereby certify that the above Color Renderings for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2025.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2025.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

<b>ENGINEER/APPLICANT</b> THE DIMENSION GROUP 10755 SANDHILL ROAD DALLAS, TX, 75238 PHONE: (214) 343-9400 CONTACT: KEATON L. MAI, PE	<b>OWNER</b> PRUDENT DEVELOPMENT 10755 SANDHILL ROAD DALLAS, TEXAS 75238 PHONE: (214) 271-4630 CONTACT: MICHAEL HAMPTON	<b>DEVELOPER</b> VALLEY BELLS ENTERPRISES, LLC 101 E. CHEROKEE STREET JACKSONVILLE, TX 75766 PHONE: (903) 586-1524 CONTACT: MIKE STRANSBERRY
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**EXTERIOR FINISH SCHEDULE** **B**

**LONNIE SMITH ARCHITECT**  
 phone 659-771-5638  
 P.O. BOX 1925  
 Richmond, KY 40475

DATE	REMARKS

PLAN DATE: 09-08-25  
 BUILDING TYPE: END. MED40  
 PLAN VERSION: SEPT. 2023  
 BRAND DESIGNER: TBD  
 SITE NUMBER: TBD  
 STORE NUMBER: TBD  
 PA/PM: LS  
 DRAWN BY.: WCS  
 JOB NO.: 25602

**TACO BELL**  
 LOT 18, BLOCK A,  
 CREEKSIDE COMMONS  
 NWC STATE HWY 205 & FM 549  
 ROCKWALL, TX



**ENDEAVOR 2.0 EXTERIOR ELEVATIONS**

**A4.0**

**FACADE CALCULATIONS**  
OVERALL EXCLUDING OPENINGS = 1,814 SQ. FT.  
STUCCO = 88 SQ. FT. STUCCO = 5%  
STONE = 376 SQ. FT. STONE = 20%  
BRICK = 1,350 SQ. FT. BRICK = 75%

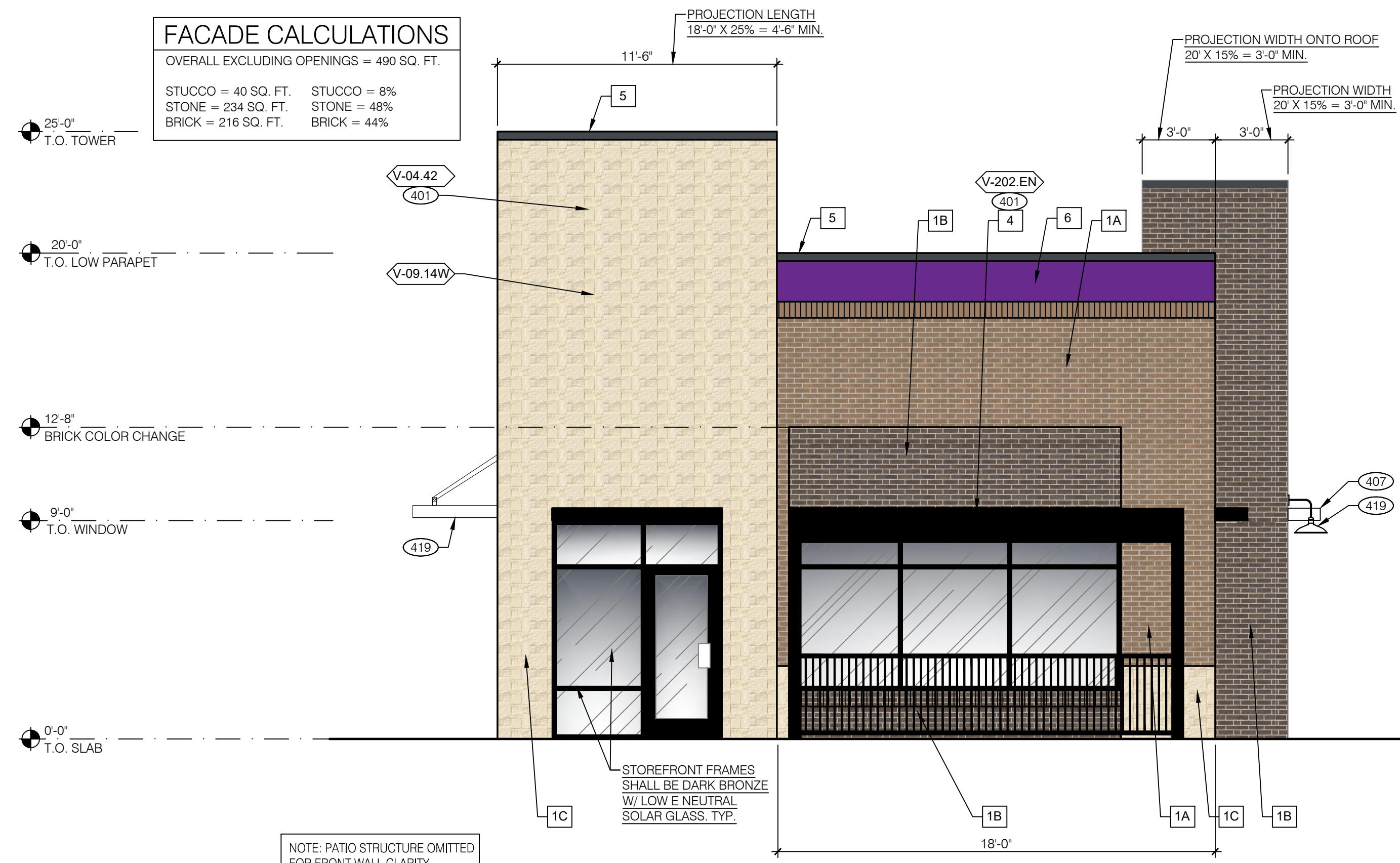


- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. SEE ELECTRICAL PLANS.
- 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

**SIDE ELEVATION - EAST - SECONDARY BUILDING FACADE** 1/4" = 1'-0" **1**

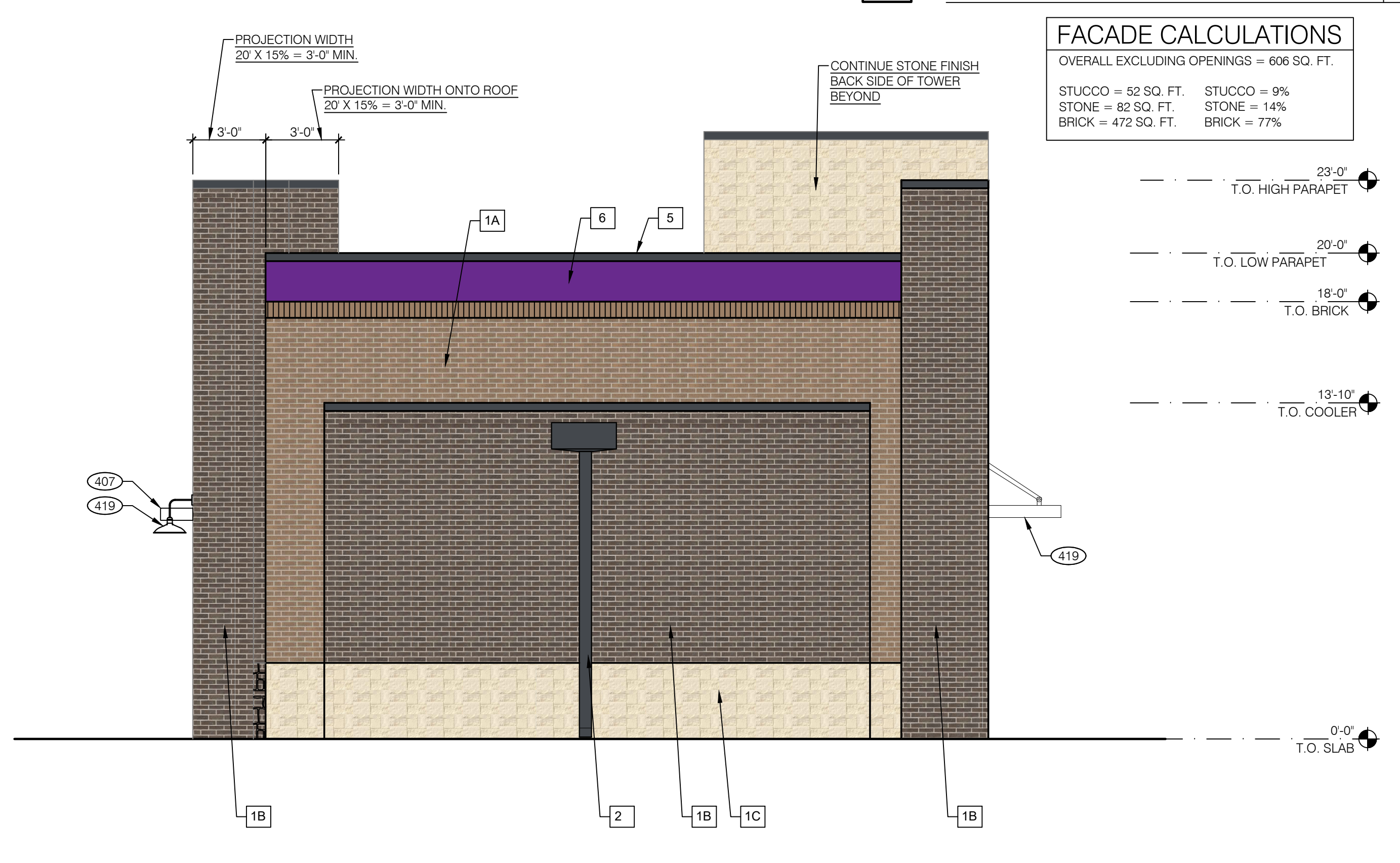
**KEY NOTES** **A**

**FACADE CALCULATIONS**  
OVERALL EXCLUDING OPENINGS = 490 SQ. FT.  
STUCCO = 40 SQ. FT. STUCCO = 8%  
STONE = 234 SQ. FT. STONE = 48%  
BRICK = 216 SQ. FT. BRICK = 44%



**FRONT ELEVATION - NORTH - PRIMARY BUILDING FACADE** 1/4" = 1'-0" **2**

**FACADE CALCULATIONS**  
OVERALL EXCLUDING OPENINGS = 606 SQ. FT.  
STUCCO = 52 SQ. FT. STUCCO = 9%  
STONE = 82 SQ. FT. STONE = 14%  
BRICK = 472 SQ. FT. BRICK = 77%



**REAR ELEVATION - SOUTH - SECONDARY BUILDING FACADE** 1/4" = 1'-0" **3**

DATE	REMARKS

PLAN DATE: 09-08-25  
BUILDING TYPE: END. MED40  
PLAN VERSION: SEPT. 2023  
BRAND DESIGNER: TBD  
SITE NUMBER: TBD  
STORE NUMBER: TBD  
PA/PM: LS  
DRAWN BY.: WCS  
JOB NO.: 25602

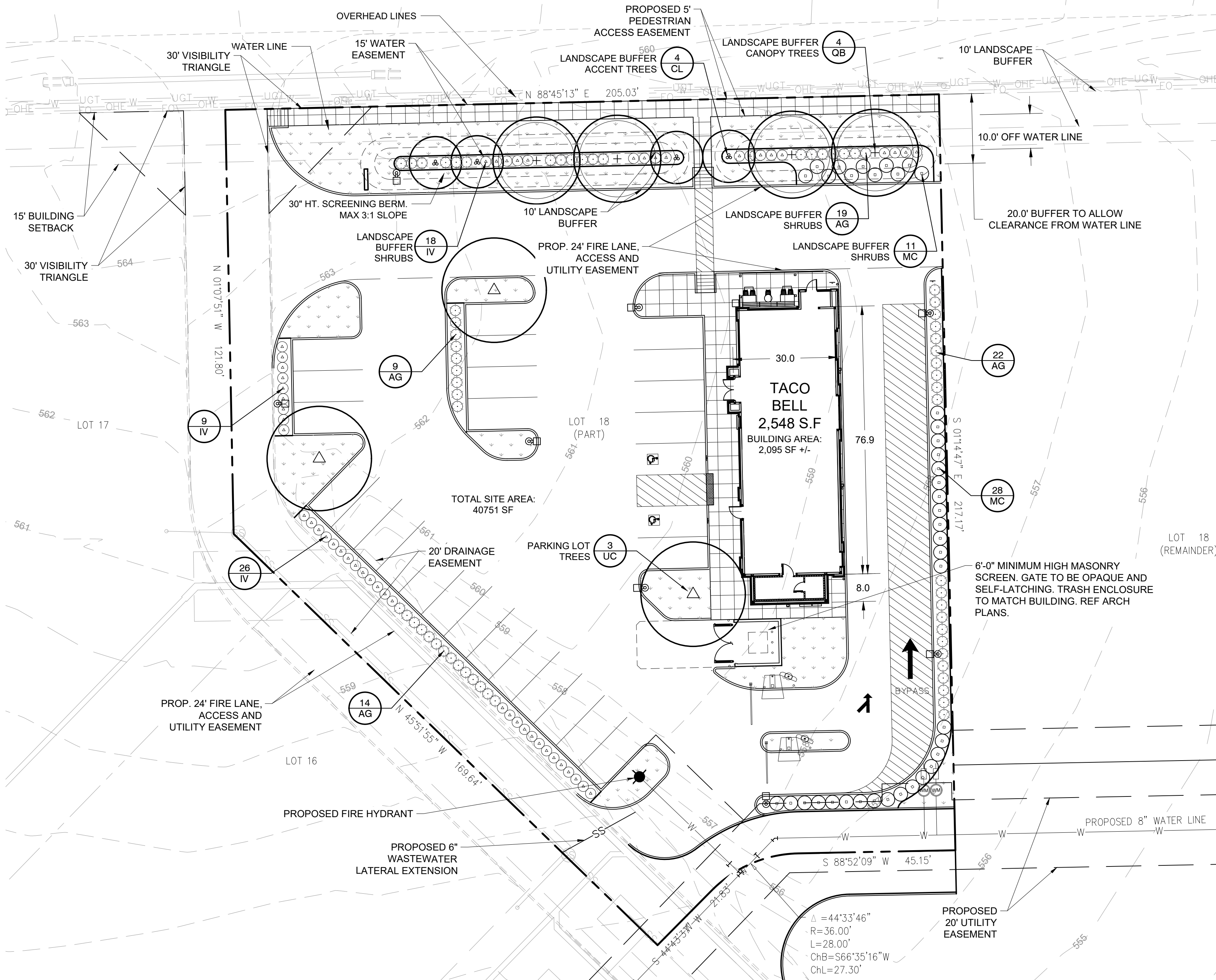
**TACO BELL**  
LOT 18, BLOCK A,  
CREEKSIDE COMMONS  
NWC STATE HWY 205 & FM 549  
ROCKWALL, TX



ENDEAVOR 2.0  
EXTERIOR  
ELEVATIONS

**A4.1**

# STATE HIGHWAY 549 (VARIABLE WIDTH RIGHT-OF-WAY)



## LANDSCAPE CALCULATIONS

PERMITTING AUTHORITY: CITY OF ROCKWALL, TX  
 ZONING: C  
 ADJACENT ZONING: C

**OVERALL**  
 TOTAL SITE AREA: 40,751 SF  
 LANDSCAPE AREA REQUIRED: 8,150 SF (20% OF SITE AREA)  
 LANDSCAPE AREA PROVIDED: 8,594 SF  
 % OF REQ. AREA IN FRONT AND SIDE YARDS: 91.7% (MIN 50%)  
 IMPERVIOUS AREA ON SITE: 32,157 SF

**LANDSCAPE BUFFER ALONG S FM 549, MIN. WIDTH 10'**  
 LENGTH OF FRONTAGE: 192 LF (NOT INCL WIDTH OF DRIVEWAY)  
 CANOPY TREES REQUIRED: 4 CANOPY TREES (1 PER 50 LF)  
 CANOPY TREES PROVIDED: 4 CANOPY TREES  
 ACCENT TREES REQUIRED: 4 ACCENT TREES (1 PER 50 LF)  
 ACCENT TREES PROVIDED: 4 ACCENT TREES  
 SHRUBS REQUIRED: 48 SHRUBS PROVIDED  
 BERM REQUIRED: 30' BERM - SEE CIVIL PLANS FOR FINAL GRADES  
 NOTE: ADDITIONAL SHRUBS HAVE BEEN ADDED TO PROVIDE AN ENHANCED SCREEN AT THE DRIVE THROUGH.

**PARKING LOT HEAD LIGHT SCREENING**  
 PROVIDED AS REQUIRED.

**PARKING LOT LANDSCAPING**  
 SIZE OF PARKING AND MANUEVERING AREA: 22,382 SF  
 QUANTITY OF PARKING SPACES: 27 PARKING SPACES  
 CANOPY TREES REQUIRED: 3 CANOPY TREES (1 PER 10 PARKING SPACES)  
 CANOPY TREES PROVIDED: 3 CANOPY TREES  
 NOTE: NO PARKING SPACE MAY BE MORE THAN 80 LF FROM THE TRUNK OF A CANOPY TREE.

## GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

## ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

## MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

## PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.  
 WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**ENGINEER/APPLICANT**  
 THE DIMENSION GROUP  
 10755 SANDHILL ROAD  
 DALLAS, TX, 75238  
 PHONE: (214) 343-9400  
 CONTACT: KEATON L. MAI, PE

**OWNER**  
 PRUDENT DEVELOPMENT  
 10755 SANDHILL ROAD  
 DALLAS, TEXAS 75238  
 PHONE: (214) 271-4630  
 CONTACT: MICHAEL HAMPTON

**DEVELOPER**  
 VALLEY BELLS ENTERPRISES, LLC  
 101 E. CHEROKEE STREET  
 JACKSONVILLE, TX 75766  
 PHONE: (903) 586-1524  
 CONTACT: MIKE STRANSBERRY

## IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL MEET THE REQUIREMENTS OF THE UDC.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

## PLANT SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREES</b>						
⊙	CL	4	CHILOPSIS LINEARIS 'TIMELESS BEAUTY'	TIMELESS BEAUTY DESERT WILLOW	MIN. 4' HT.	PER PLAN
⊙	QB	4	QUERCUS BUCKLEYI	TEXAS RED OAK	MIN. 4" CAL.	PER PLAN
⊙	UC	3	ULMUS CRASSIFOLIA	CEDAR ELM	MIN. 4" CAL.	PER PLAN
<b>SHRUBS</b>						
⊙	AG	64	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK ABELIA	5 GAL.	2' O.C.
⊙	IV	53	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	5 GAL.	3' O.C.
⊙	MC	39	MYRICA CERIFERA 'DON'S DWARF'	DON'S DWARF WAX MYRTLE	5 GAL.	4' O.C.
<b>GROUNDCOVER</b>						
⊙	6733 SF		SOD: CYNODON DACTYLON 'TIF TUF'	TIF TUF BERMUDA GRASS	SOD	

**CAUTION NOTICE TO CONTRACTORS**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



10/06/25

BY	REVISION DESCRIPTION	DATE
SS	approved by	
LC	designed by	
SMS	drawn by	

PROJECT NO. 250-340  
 DATE 09-11-2025  
 DWG.

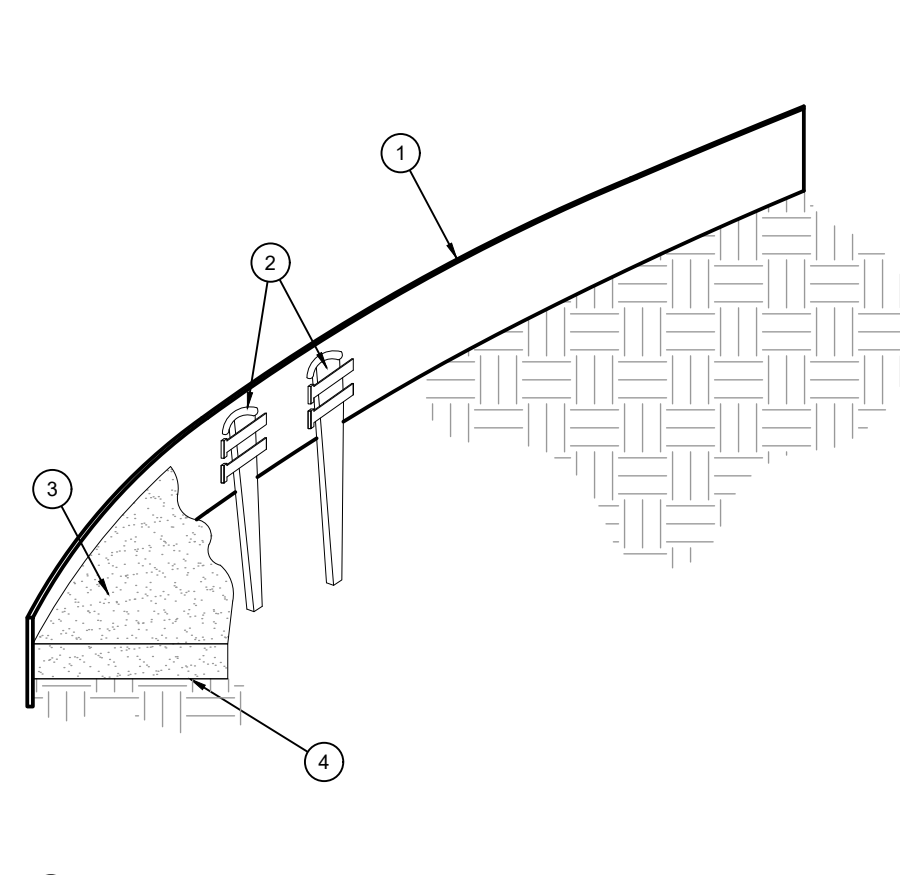
**LANDSCAPE PLAN**  
 LOT 18, BLOCK A, CREEKSIDE COMMONS ADDITION  
 NWC STATE HIGHWAY 205 & F.M. 549  
 A 0.936 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT #SP2025-039  
 October 6, 2025

LANDSCAPE PLAN  
 TACO BELL  
 NWC STATE HIGHWAY 205 AND FM 549  
 ROCKWALL, TEXAS 75032

SHEET  
**LP-1**

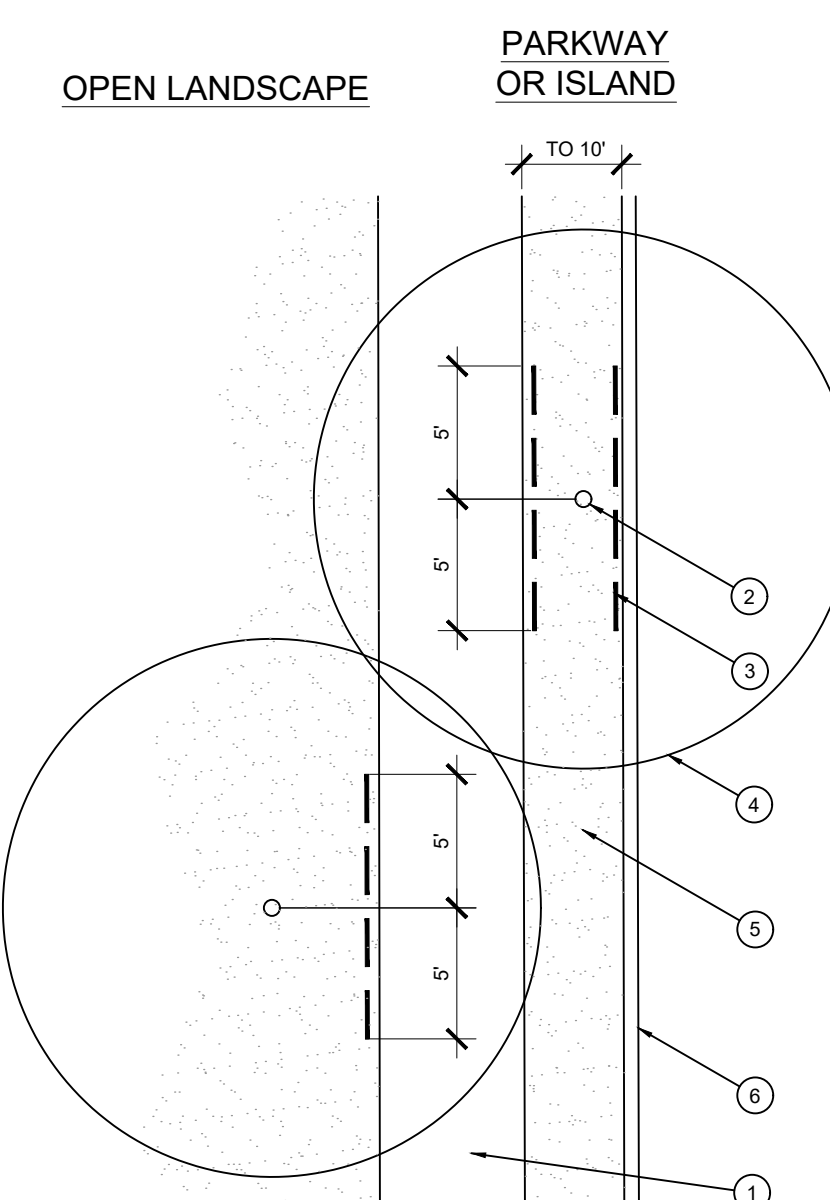
**PLANTING SPECIFICATIONS**

- GENERAL**
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
  - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
  - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND J OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
  - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- PRODUCTS**
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60-1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITH A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
  - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
  - TREES MAY BE OBTAINED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BBB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
  - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE ACCEPTABILITY OF PLANT MATERIAL.
  - ALL TREES SHALL BE STANDARD IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
  - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
  - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
  - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SEED:** PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- D. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/4 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6, MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING**
- STAKES: 1/2" LONG GREEN METAL T-POSTS.
  - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
  - STRAP CHANGING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- J. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- K. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS**
- A. SOIL PREPARATION**
- BEFORE STARTING WORK THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
  - SOIL TESTING:
    - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
    - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
    - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
    - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR ORNAMENTAL PLANTS, SHRUBS, PERENNIALS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
  - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
  - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
    - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
    - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
    - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      - IRON SULPHATE - 2 LBS. PER CU. YD.
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, AND THE FINISH GRADES TO BE ESTABLISHED.
  - AFTER INSTALLING SOIL AMENDMENTS IN SHRUB AREAS, AND IN ORDER TO ALLOW FOR PROPER MULCH DEPTH, ENSURE THAT THE FINISH GRADE IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 0" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - AFTER INSTALLING SOIL AMENDMENTS IN TURF AREAS, ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES IS 1" BELOW FINISH GRADE, TAPERING TO MEET FINISH GRADE AT APPROXIMATELY 18" AWAY FROM THE SURFACE.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. SUBMITTALS**
- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
  - SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE. PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
  - SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
  - WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
  - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
  - TRENCHING NEAR PLANTINGS:
    - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
    - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
    - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
    - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE.
  - REMOVE ANY CLUMPING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES BEFORE PLACING THEM INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
  - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE FINISH GRADE. REMOVE ALL EXISTING MULCH FROM WITHIN THE PLANTING HOLE. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO COMPLETE THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
  - TREES SHALL NOT BE PLANTED IN SLOTTED CONTAINERS (SUCH AS HEAVY WOODS OR SLOTTES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. STAKES SHALL BE PLACED ABOVE THE FINISH GRADE. CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
    - 1" x 2" TREES: TWO STAKES PER TREE
    - 2-1/2" x 4" TREES: THREE STAKES PER TREE
    - TREES OVER 4" CALIPER: GUY AS NEEDED
  - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
  - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE TO COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS). UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR PLACE MULCH WITHIN 6" OF THE TRUNK.
- D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
  - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING AREAS (EXCEPT FOR SODDED AND SEEDED AREAS), LEAVING NO EXPOSED GROUND.
- F. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
  - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GRASS IS FROZEN.
  - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO FITSET JOINTS IN ADJACENT COURSES.
  - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
  - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- G. MULCH**
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
  - DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROVIDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- H. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
  - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- I. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
  - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
  - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- J. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTLE OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
  - SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
  - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
    - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
    - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
    - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDD OR RESEEDD (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
  - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**

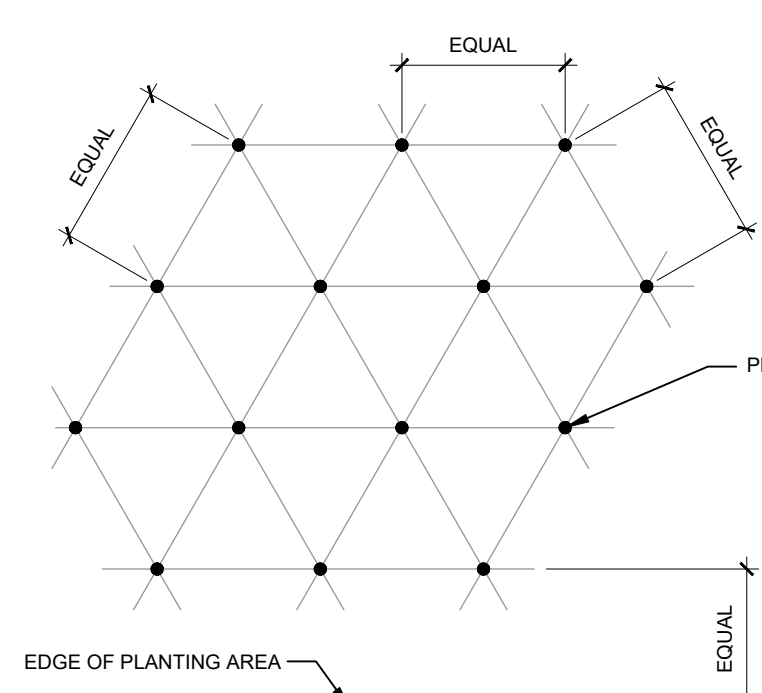


- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED TREE STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

**D STEEL EDGING**  
SCALE: NOT TO SCALE



**E ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

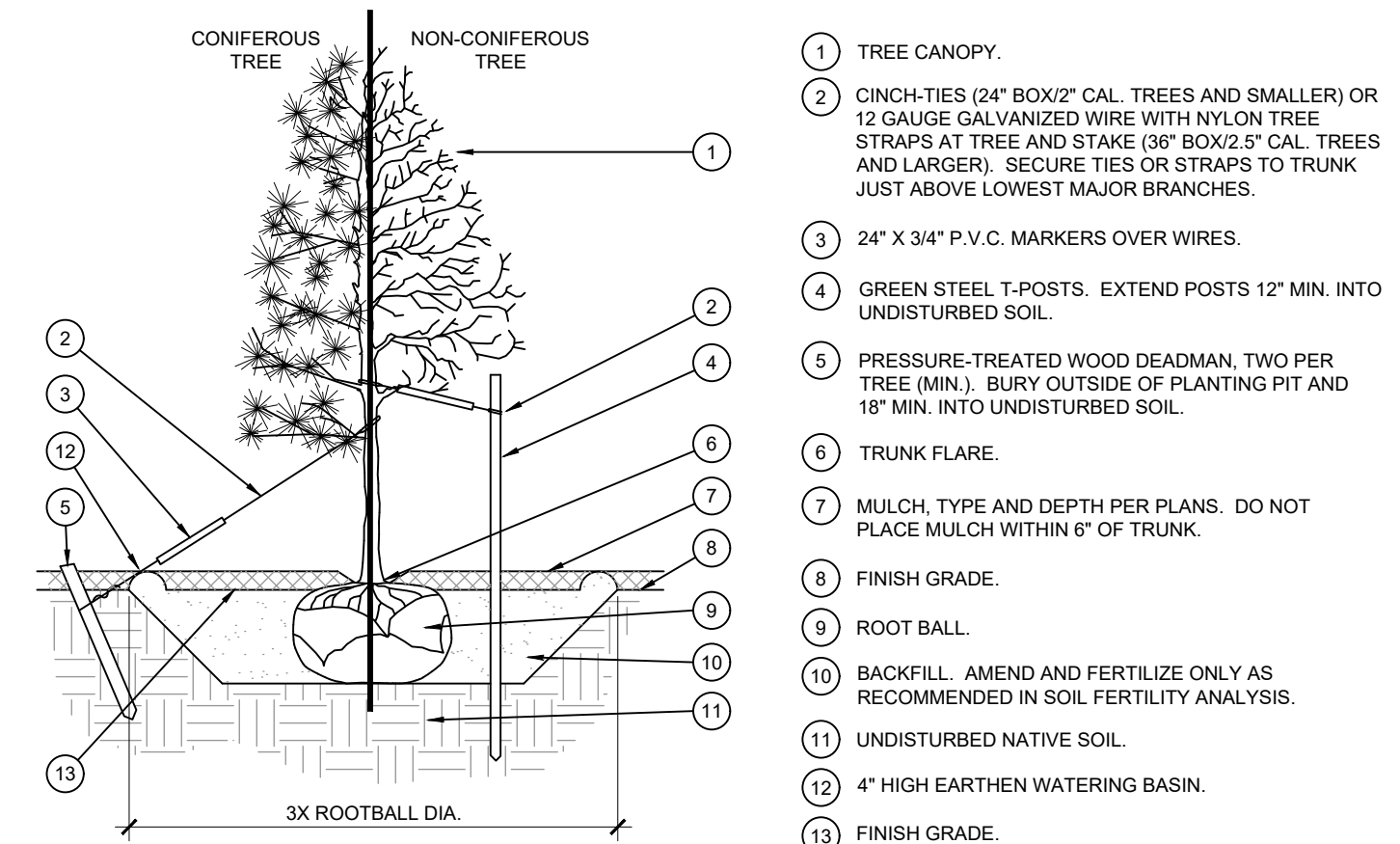
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.49
10"	0.60	30"	6.41
12"	0.87	36"	7.79
15"	1.35		

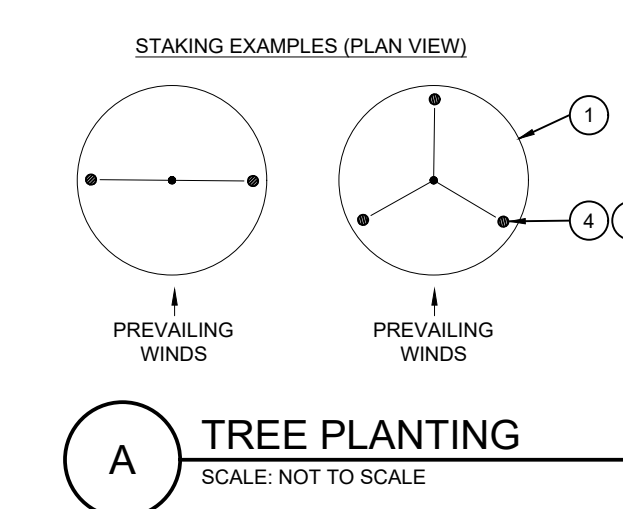
2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

**EXAMPLE:** PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER  
STEP 1: 100 SF / 3.49 = 51 PLANTS  
STEP 2: 51 PLANTS - (40 LF / 18" = 21 PLANTS) = 30 PLANTS TOTAL

**C PLANT SPACING**  
SCALE: NTS



- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX2" CAL. TREES AND SMALLER) OR 1/2 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX2" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN. 1' BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL).
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.



**A TREE PLANTING**  
SCALE: NOT TO SCALE

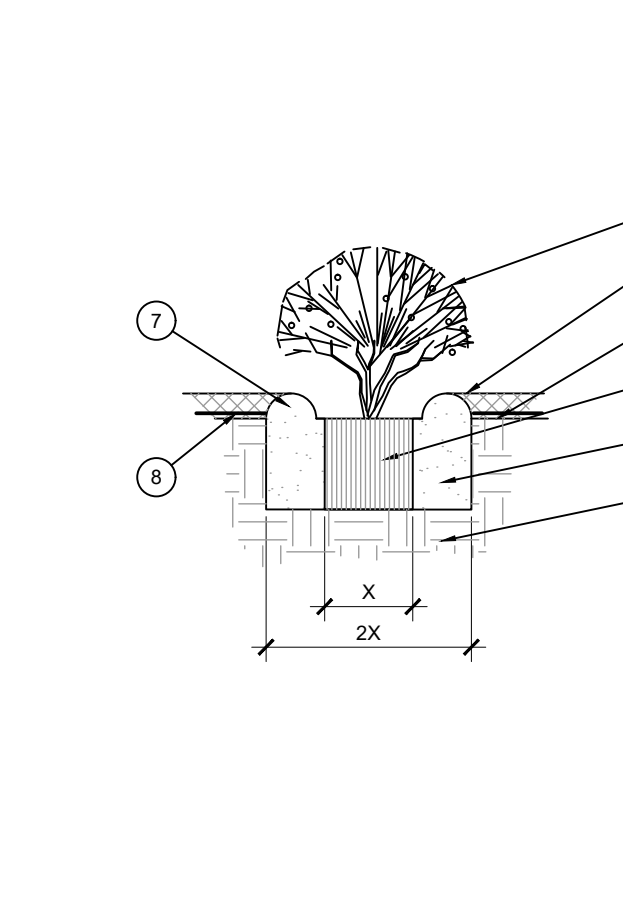
- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURBS AND GUTTER

NOTES:  
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.  
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.  
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

NOTES:  
1) SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.  
2) REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" ABOVE FINISH GRADE.  
3) FOR 6-8" TREES, CUT OFF BOTTOM 15% OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.  
4) REMOVE ALL NURSERY STAKES AFTER PLANTING.  
5) FOR TREES 36" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.  
6) STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

NOTES:  
1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.  
2) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.  
3) FINISH GRADE.  
4) ROOT BALL.  
5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.  
6) UNDISTURBED NATIVE SOIL.  
7) 3" HIGH EARTHEN WATERING BASIN.  
8) WEED FABRIC UNDER MULCH.

**B SHRUB AND PERENNIAL PLANTING**  
SCALE: NTS



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
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10/06/25

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BY: [Signature] DATE: [Blank]

PROJECT NO.: 250-340  
DATE: 09-11-2025  
DESIGNED BY: [Signature]  
APPROVED BY: [Signature]

REVISION DESCRIPTION

#	DATE	DESCRIPTION

**LANDSCAPE PLAN**  
LOT 18, BLOCK A, CREEKSIDE COMMONS ADDITION  
NWC STATE HIGHWAY 205 & F.M. 549  
A 0.936 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CITY PROJECT #SP2025-039  
October 6, 2025

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_, 2025.

WITNESS OUR HANDS, THIS \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**ENGINEER/APPLICANT**  
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10755 SANDHILL ROAD  
DALLAS, TX, 75238  
PHONE: (214) 343-9400  
CONTACT: KEATON L. MAI, PE

**OWNER**  
PRUDENT DEVELOPMENT  
10755 SANDHILL ROAD  
DALLAS, TEXAS 75238  
PHONE: (214) 271-4630  
CONTACT: MICHAEL HAMPTON

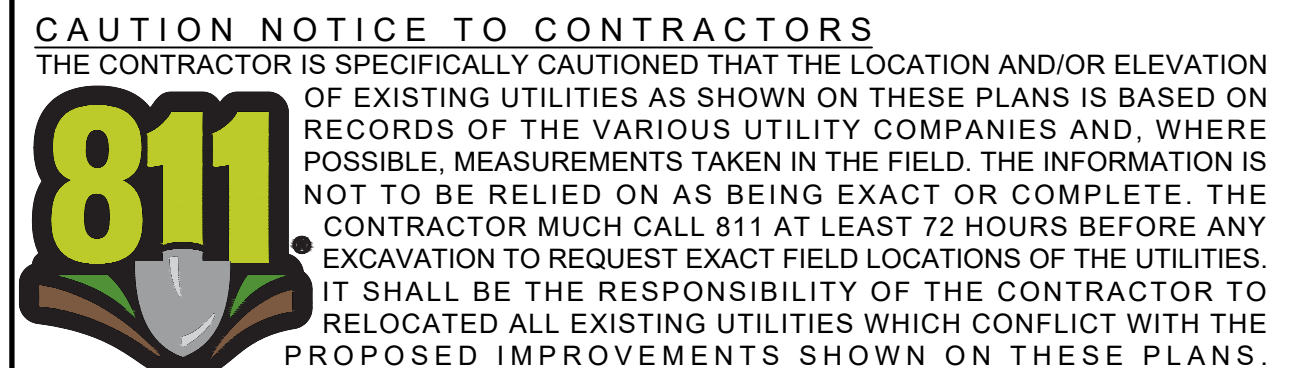
**DEVELOPER**  
VALLEY BELLS ENTERPRISES, LLC  
101 E. CHEROKEE STREET  
JACKSONVILLE, TX 75766  
PHONE: (903) 586-1524  
CONTACT: MIKE STRANSBERRY

LANDSCAPE SPECS & DETAILS

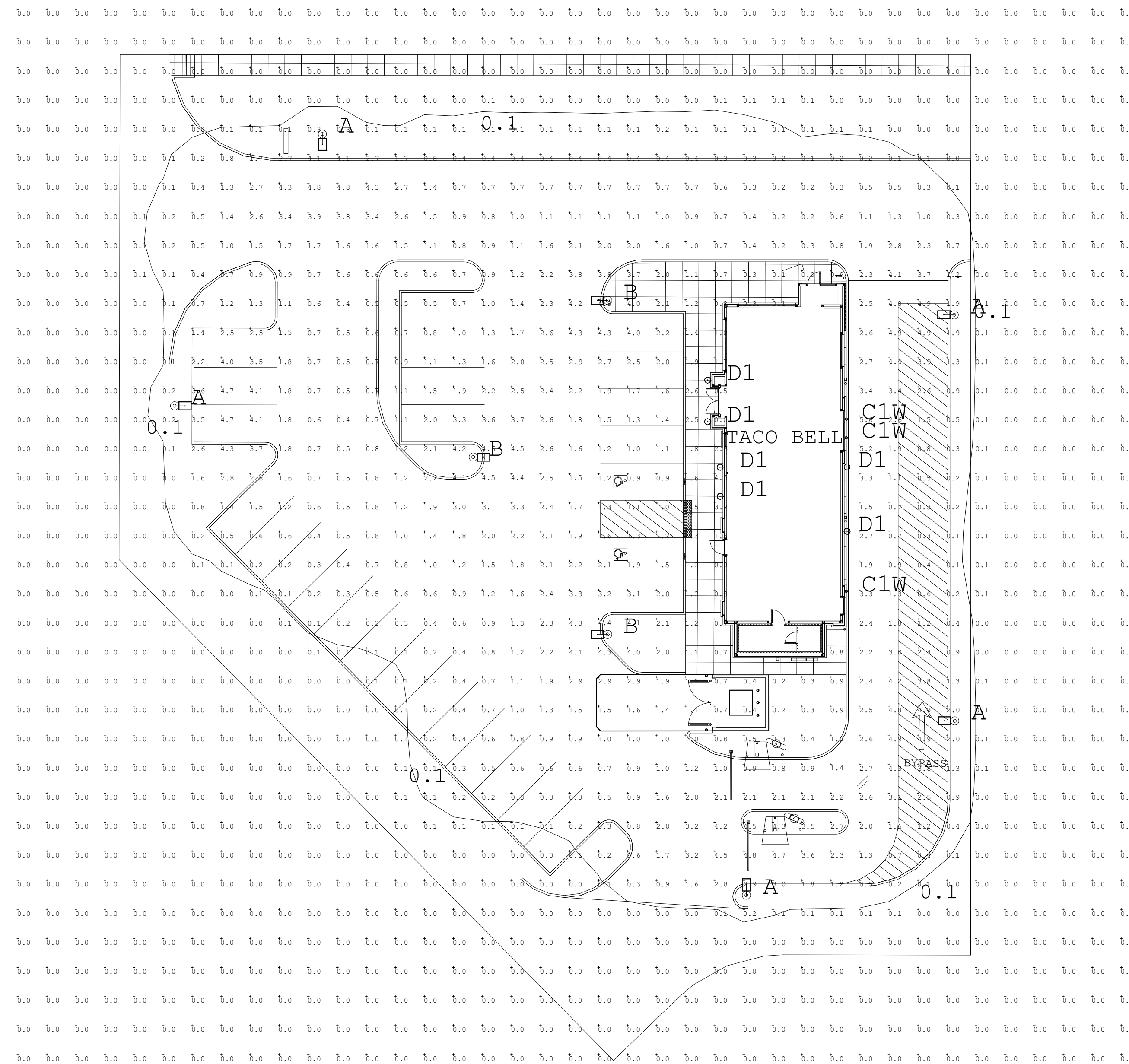
TACO BELL  
NWC STATE HIGHWAY 205 AND FM 549  
ROCKWALL, TEXAS 75062

PROJECT NO. 250-340  
DATE 09-11-2025  
DESIGNED BY [Signature]  
APPROVED BY [Signature]

SHEET  
**LP-2**

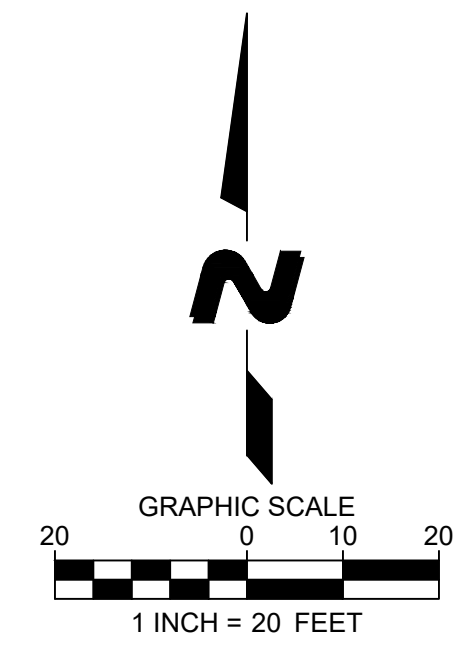


**CAUTION NOTICE TO CONTRACTORS**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



**SITE PLAN KEYNOTES:**

- 1 CONSTRUCT 6" CURB & GUTTER
- 2 CONSTRUCT 6" CONCRETE PAVEMENT SECTION
- 3 INSTALL SIDEWALK PAVEMENT
- 4 INSTALL HANDICAP VAN AND CAR SIGN
- 5 4" WHITE PAVEMENT SOLID PARKING STRIPES
- 6 HANDICAP VAN PARKING
- 7 STANDARD AREA LIGHT POLE
- 8 MONUMENT SIGN
- 9 NEW BARRIER FREE RAMPS
- 10 PROPOSED ESCAPE LAINE
- 11 CLEARANCE BAR
- 12 MENU BOARD
- 13 ORDER SPEAKER
- 14 "ONE WAY DO NOT ENTER" SIGN
- 15 PROPOSED 4" BOLLARD

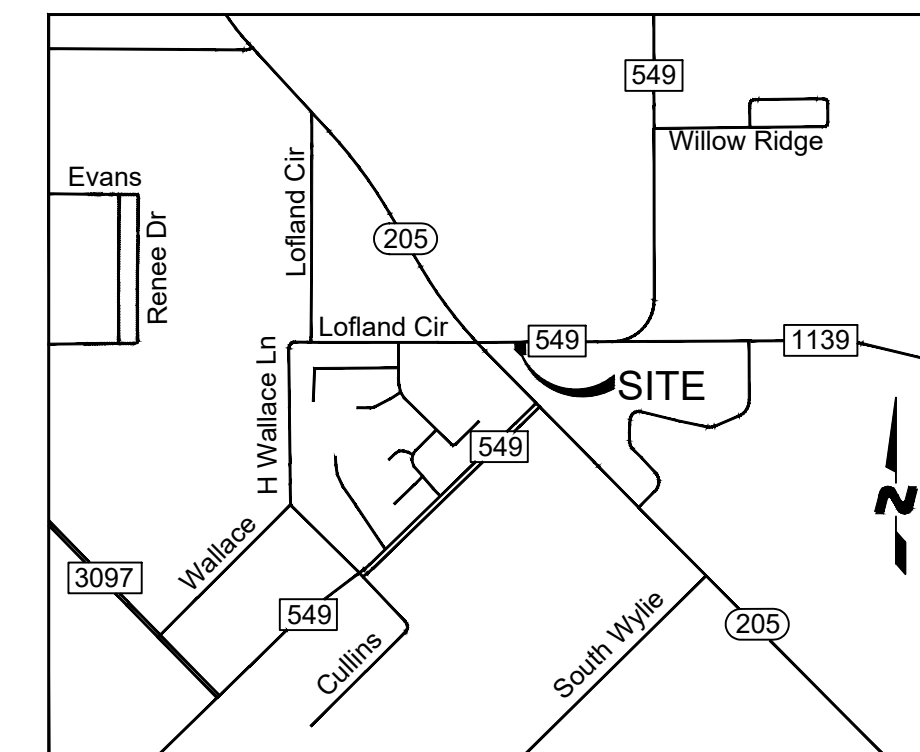


ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

**GENERAL NOTES**

1. The contractor shall assume sole and complete responsibility for his means and methods of construction, job site conditions and job site safety, including safety of all persons and property. This requirement shall apply continuously and not be limited to working hours. The contractor shall save, protect, indemnify defend and hold harmless the owner, the architect and the engineer from any claim of liability, real or alleged, arising out of the performance of any work on this project. The contractor shall name the owner, the architect and the engineer as "additional insured" on his insurance policies.
2. Existing above ground utilities have been shown based on information shown on a survey of the property. Underground utilities are shown based on recorded data and may not be complete or exact. The contractor shall be responsible for verifying the locations and depths of all above ground and underground utilities prior to construction. The contractor shall be responsible for damage to existing above ground or underground utilities, including those not shown on the plans. The contractor is advised to contact the city and all franchise utility companies, easement holders, etc. at least 48 hours prior to beginning excavation in the vicinity of any underground utility.
3. The contractor shall comply with all building codes and regulations, federal, state, county, and city safety codes and inspection requirements.
4. The contractor shall provide dust protection during construction. All trash and debris shall be picked up at all times. Commercial construction debris/solid waste hauler permit required.
5. There will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)
6. Per the Engineering Standards of Design and Construction, dumpster areas will need to drain to oil/water separator and then to storm lines.

USE	COMMERCIAL (DRIVE-THRU RESTAURANT)
LOT AREA	40,751.89 S.F. (0.936 ACRES)
BUILDING SQUARE FOOTAGE	2,384 S.F.
FAR	0.06:1
BUILDING HEIGHT	23'-0"
TOTAL PERVIOUS COVER	8,743 S.F. OR 21%
TOTAL IMPERVIOUS COVER	32,008 S.F. OR 79%
PARKING REQUIRED	27 SPACES (1/100 G.F.A.)
PARKING PROVIDED	27 SPACES
HANDICAP PARKING REQUIRED	2 SPACES
HANDICAP PARKING PROVIDED	2 SPACES



VICINITY MAP  
N.T.S.

**PHOTOMETRIC PLAN**  
 LOT 18, BLOCK A, CREEKSIDE COMMONS ADDITION  
 NWC STATE HIGHWAY 205 & F.M. 549  
 A 0.936 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CITY PROJECT #SP2025-xxx  
 August 27, 2025

APPROVED:  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_, 2025.  
 WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2025.  
 \_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

Calculation Summary

Labels	ANY	MAX	MIN	AVG	MIN/MAX
Footcandle	11.44	15.4	10.0	N/A	N/A
PARKING LSP + DRIVE-THRU ENTRANCE	11.44	15.4	10.0	N/A	N/A

LIGHT LEVELS ARE MAINTAINED FOOT-CANDELS

Luminaires Schedule

Symbol	Qty	Label	Arrangement	Luminaire	LSP	CFP	Luminaire Height	Mounting Description
1	5	A	STRIP	4832	0-800	48"	12'-5"	MONO-LED-21-C11-CFP-DRIVE-THRU-40-TYCH-BE-15-7-45W-BT-110-10-2-888
2	13	B	STRIP	7232	0-800	48"	12'-5"	MONO-LED-21-C11-CFP-DRIVE-THRU-40-TYCH-BE-15-7-45W-BT-110-10-2-888
3	10	OW	STRIP	916	0-800	48"	12'-5"	DRIVE-THRU-40-TYCH-BE-15-7-45W-BT-110-10-2-888
4	10	OW	STRIP	916	0-800	48"	12'-5"	DRIVE-THRU-40-TYCH-BE-15-7-45W-BT-110-10-2-888

NOTE: MOUNTING LIGHT OVERHEAD BEYOND THE PROPERTY LINES  
 FOUR BRASS ARE 2'-4" APART

**CITY OF ROCKWALL MONUMENTS**  
 COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.  
 N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'

COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.  
 N: 7020550.132, E: 2607483.893 ELEVATION: 595.63'

**ENGINEER/APPLICANT**  
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**DEVELOPER**  
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 101 E. CHEROKEE STREET  
 JACKSONVILLE, TX 75766  
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BY	DATE	REVISION DESCRIPTION

PHOTOMETRIC PLAN  
 TACO BELL  
 NWC STATE HIGHWAY 205 & FM 549  
 ROCKWALL, TEXAS 75032





# Mirada Medium (MRM)

## Outdoor LED Area Light



### OVERVIEW

Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

### QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALS04 BRZ IL							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
<b>MRM</b> - Mirada Medium Area Light	<b>LED</b>	<b>7L</b> - 7,000 lms, 48W <b>9L</b> - 9,000 lms, 62W <b>12L</b> - 12,000 lms, 85W <b>18L</b> - 18,000 lms, 135W <b>24L</b> - 24,000 lms, 176W <b>30L</b> - 30,000 lms, 232W <b>36L</b> - 36,000 lms, 288W <b>42L</b> - 42,000 lms, 314W <b>48L</b> - 48,000 lms, 401W <b>55L</b> - 55,000 lms, 438W Custom Lumen Packages <sup>1</sup>	<b>SIL</b> - Silicone	<b>2</b> - Type 2 <b>3</b> - Type 3 <b>4</b> - Type 4 <b>5W</b> - Type 5 Wide <b>FT</b> - Forward Throw <b>FTA</b> - Forward Throw Automotive <b>AM</b> - Automotive Merchandise <b>LC</b> - Left Corner <b>RC</b> - Right Corner	<b>(blank)</b> - standard <b>L</b> - Optics rotated left 90° <b>R</b> - Optics rotated right 90°	<b>UNV</b> - Universal Voltage (120-277V) <b>HV</b> - High Voltage (347-480V)	<b>DIM</b> - 0-10V Dimming (0-10%)
Color Temp		Color Rendering	Finish		Options		
<b>50</b> - 5,000 CCT <b>40</b> - 4,000 CCT <b>30</b> - 3,000 CCT <b>AMB</b> - Phosphor Converted Amber <sup>12</sup>		<b>70CRI</b> - 70 CRI	<b>BLK</b> - Black <b>BRZ</b> - Dark Bronze <b>GMG</b> - Gun Metal Gray <b>GPT</b> - Graphite		<b>MSV</b> - Metallic Silver <b>PLP</b> - Platinum Plus <b>SVG</b> - Satin Verde Green <b>WHT</b> - White		<b>(Blank)</b> - None <b>IH</b> - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup> <b>IL</b> - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>

### Controls (Choose One)

**(Blank)** - None

#### Wireless Controls System

- ALSC** - AirLink Synapse Control System<sup>13</sup>
- ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor<sup>13</sup>
- ALSCS04** - AirLink Synapse Control System with 20-40' Motion Sensor<sup>13</sup>
- ALBCS1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)<sup>5</sup>
- ALBCS2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)<sup>5</sup>

#### Stand-Alone Controls

- EXT** - 0-10V Dimming leads extended to housing exterior
- CR7P** - 7 Pin Control Receptacle ANSI C136.41<sup>6</sup>
- IMSBTL1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup>
- IMSBTL2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup>

#### Button Type Photocells

- PC120** - 120V
- PC208-277** - 208 - 277V
- PC347** - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>7</sup>

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>8</sup>	<b>122514</b>
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup>	<b>122515</b>
Twist Lock Photocell (347V) for use with CR7P <sup>8</sup>	<b>122516</b>
Twist Lock Photocell (480V) for use with CR7P <sup>8</sup>	<b>1225180</b>
AirLink 5 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661409</b>
AirLink 7 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661410</b>
AirLink 7 Pin Twist Lock Controller (347-480V)	<b>679948</b>
Shorting Cap for use with CR7P	<b>149328</b>

FUSING OPTIONS <sup>11</sup>	
Single Fusing (120V)	<a href="#">See Fusing Accessory Guide</a>
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

SHIELDING OPTIONS	
Mirada Small	<a href="#">See Shielding Guide</a>
Mirada Medium	
Mirada Large	
Zone Medium	
Slice Medium	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available with 5W distribution
3. Consult Factory for availability.
4. Not available in HV.
5. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.
6. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

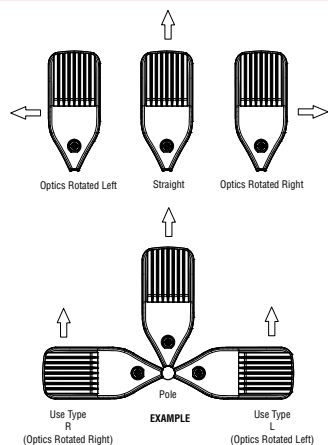
7. Accessories are shipped separately and field installed.
8. Factory installed CR7P option required. See Options.
9. "CLR" denotes finish. See Finish options.
10. Only available with ALSC/ALSCH control options.
11. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.
13. Not available with 55L Lumen Package.

## ACCESSORIES

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES			
Side Arm	<b>Universal Mounting Bracket</b> Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5" <b>Part Number: BKA UMB CLR</b>		Shielding	<b>Integral Louver</b> Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs <b>Part Number: 690981</b>	
	<b>Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS POM B3B5 XX CLR</b>			<b>Integral Half Louver</b> Field Install Integral Half Louver provides great backlight control without impacting front side distribution. <b>Part Number: 743415</b>	
	<b>15° Tilt Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS PQ15 B3B5 XX CLR</b>			<b>External Shield</b> External shield blocks view of light source from any side of luminaire, additional shielding configurations available <b>Part Number: 783607BLK (3") / 776538BLK (6")</b>	
Tenon / Slipfitter	<b>Adjustable Slipfitter</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal) <b>Part Number: BKA ASF CLR</b>		Poles	<b>Square Poles</b> 14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction <b>Part Number: 4SQ/5SQ/6SQ</b>	
	<b>Square Tenon Top</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires <b>Part Number: BKA XNM *</b>			<b>Round Poles</b> 10 - 30' steel and aluminum poles in 4" and 5" sizes for retrofit and new construction <b>Part Number: 4RP/SRP</b>	
	<b>Square Internal Slipfitter</b> Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires <b>Part Number: BKA X_ISF * CLR</b>			<b>Tapered Poles</b> 20' - 39" steel and aluminum poles for retrofit and new construction <b>Part Number: RTP</b>	
Wall Mount / Wood Pole	<b>Wall Mount Bracket</b> Mounts onto vertical wall surface (hardware/anchors not included) <b>Part Number: BKS XB0 WM CLR</b>		Misc.	<b>Bird Spikes</b> 10' Linear Bird Spike Kit, 4" recommended per luminaire, includes silicone adhesive and application tool <b>Spike Part Number: 751631</b> <b>Adhesive Part Number: 751632</b> <b>Caulk Gun Part Number: 751636</b>	
	<b>Wood Pole Bracket</b> Mounts onto wooden poles (6" minimum OD, hardware/anchors not included) <b>Part Number: BKS XB0 WP CLR</b>			Replace CLR with paint finish description Replace X with: 3 Replace XX with SQ for square pole or RD for round pole ( $\geq 3"$ OD) Replace * with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad) Replace _ with 4 (4" square pole) or 5 (5" square pole)	

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBTL Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
9L	2	70	9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	62
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	
	4		9178	148	B2-U0-G3	9713	157	B2-U0-G3	9498	153	B2-U0-G3	
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
	FT		9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM		10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	
	LC/RC		9008	145	B2-U0-G3	9533	154	B2-U0-G3	9321	150	B2-U0-G3	
12L	2	70	13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	85
	3		13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	
	4		12223	144	B2-U0-G3	12935	152	B2-U0-G4	12648	149	B2-U0-G4	
	5W		12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	
	FT		13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	
	FTA		13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM		13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	LC/RC		11996	141	B2-U0-G3	12695	149	B2-U0-G3	12414	146	B2-U0-G3	
18L	2	70	19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	135
	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	
	4		18013	133	B2-U0-G4	19063	141	B3-U0-G5	18640	138	B3-U0-G5	
	5W		18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT		19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	
	FTA		19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	
	AM		19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	
	LC/RC		17679	131	B2-U0-G3	18710	139	B2-U0-G3	18295	136	B2-U0-G3	
24L	2	70	24142	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	176
	3		25001	149	B3-U0-G3	26149	149	B3-U0-G3	26149	149	B3-U0-G3	
	4		24396	152	B3-U0-G5	25600	160	B3-U0-G5	25457	159	B3-U0-G5	
	5W		24327	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	
	FT		24994	148	B3-U0-G3	25964	148	B3-U0-G3	25964	148	B3-U0-G3	
	FTA		24171	148	B3-U0-G3	26077	148	B4-U0-G3	26077	148	B4-U0-G3	
	AM		24939	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	
	LC/RC		25884	162	B3-U0-G4	25884	162	B3-U0-G4	25310	158	B3-U0-G4	
30L	2	70	30171	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	232
	3		31243	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	4		30631	144	B3-U0-G5	32141	151	B3-U0-G5	31961	150	B3-U0-G5	
	5W		30402	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	
	FT		31233	140	B4-U0-G4	32424	140	B4-U0-G4	32424	140	B4-U0-G4	
	FTA		30207	140	B4-U0-G4	32566	140	B4-U0-G4	32566	140	B4-U0-G4	
	AM		3116	142	B4-U0-G3	32960	142	B4-U0-G3	32960	142	B4-U0-G3	
	LC/RC		32498	153	B3-U0-G5	32498	153	B3-U0-G5	31777	149	B3-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
36L	2	70	35357	133	B4-U0-G3	38275	133	B4-U0-G3	38275	133	B4-U0-G3	288
	3		36614	134	B4-U0-G4	38557	134	B4-U0-G4	38557	134	B4-U0-G4	
	4		35402	139	B3-U0-G5	37148	146	B4-U0-G5	36940	145	B4-U0-G5	
	5W		35627	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	
	FT		36602	133	B4-U0-G4	38283	133	B4-U0-G4	38283	133	B4-U0-G4	
	FTA		35399	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	
	AM		36524	135	B4-U0-G3	38916	135	B4-U0-G3	38916	135	B4-U0-G3	
	LC/RC		37561	147	B3-U0-G5	37561	147	B3-U0-G5	36727	144	B3-U0-G5	
42L	2	70	41035	131	B5-U0-G4	42602	136	B5-U0-G4	42542	135	B5-U0-G4	314
	3		42493	135	B4-U0-G5	44115	140	B4-U0-G5	44053	140	B4-U0-G5	
	4		41453	132	B4-U0-G5	43497	138	B4-U0-G5	43254	138	B4-U0-G5	
	5W		41349	132	B5-U0-G4	42927	134	B5-U0-G4	42866	137	B5-U0-G4	
	FT		42481	135	B4-U0-G4	44103	140	B4-U0-G4	44040	140	B4-U0-G4	
	FTA		41083	131	B4-U0-G4	42652	136	B5-U0-G4	42591	136	B5-U0-G4	
	AM		42389	135	B4-U0-G3	44007	140	B4-U0-G3	43944	140	B4-U0-G3	
	LC/RC		43980	140	B3-U0-G5	43980	140	B3-U0-G5	43004	137	B3-U0-G5	
48L	2	70	45133	123	B5-U0-G4	46856	128	B5-U0-G4	46789	128	B5-U0-G4	401
	3		46737	128	B4-U0-G5	48521	133	B4-U0-G5	48452	132	B4-U0-G5	
	4		46006	126	B4-U0-G5	48275	132	B4-U0-G5	48005	131	B4-U0-G5	
	5W		45478	124	B5-U0-G4	47214	129	B5-U0-G4	47147	129	B5-U0-G4	
	FT		46723	128	B4-U0-G5	48507	133	B4-U0-G5	48438	132	B4-U0-G5	
	FTA		45187	123	B5-U0-G4	46912	128	B5-U0-G4	46845	128	B5-U0-G4	
	AM		4662	127	B4-U0-G3	48402	132	B4-U0-G3	48333	132	B4-U0-G3	
	LC/RC		48811	133	B4-U0-G5	48811	133	B4-U0-G5	47728	130	B4-U0-G5	
55L	2	70	50179	115	B5-U0-G4	52095	119	B5-U0-G4	52021	119	B5-U0-G4	438
	3		51963	119	B4-U0-G5	53947	123	B4-U0-G5	53870	123	B4-U0-G5	
	4		51635	119	B4-U0-G5	54181	125	B4-U0-G5	53878	124	B4-U0-G5	
	5W		50563	115	B5-U0-G4	52493	120	B5-U0-G4	52418	120	B5-U0-G4	
	FT		50539	115	B4-U0-G5	52468	120	B4-U0-G5	52394	120	B4-U0-G5	
	FTA		50239	115	B5-U0-G4	52157	119	B5-U0-G4	52082	119	B5-U0-G4	
	AM		52223	119	B4-U0-G3	54216	124	B4-U0-G3	54139	124	B4-U0-G3	
	LC/RC		54113	124	B4-U0-G5	54113	124	B4-U0-G5	52912	121	B4-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PERFORMANCE (CONT.)

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.52	0.30	0.26	0.22	0.18	0.13
12L	0.71	0.41	0.35	0.31	0.24	0.18
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.33	0.77	0.67	0.58	0.46	0.33
30L	1.78	1.02	0.89	0.77	0.61	0.44
36L	2.12	1.22	1.06	0.92	0.73	0.53
42L	2.62	1.51	1.31	1.13	0.90	0.65
48L	3.05	1.76	1.53	1.32	1.05	0.76
55L	3.65	2.11	1.83	1.58	1.26	0.91

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (0-25°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	93%	90%	86%
24L - 48L	100%	95%	89%	84%	79%
55L	100%	91%	82%	74%	67%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (40°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	92%	88%	84%
24L - 48L	100%	94%	87%	80%	74%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (50°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L C	100%	96%	91%	87%	83%

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5848	80	B2-U0-G2	74
	3	6018	82	B1-U0-G2	
	5W	5471	74	B3-U0-G1	
	FT	5801	79	B1-U0-G2	
	FTA	5924	81	B1-U0-G1	
	AM	5995	81	B1-U0-G1	
12L	2	7530	74	B2-U0-G2	102
	3	7749	76	B1-U0-G2	
	5W	7045	69	B3-U0-G2	
	FT	7470	73	B2-U0-G2	
	FTA	7628	75	B2-U0-G2	
	AM	7720	76	B1-U0-G1	
18L	2	9311	69	B2-U0-G2	135
	3	9582	71	B2-U0-G2	
	5W	8712	65	B3-U0-G2	
	FT	9237	68	B2-U0-G2	
	FTA	9433	70	B2-U0-G2	
	AM	9546	71	B2-U0-G1	
24L	2	10955	63	B2-U0-G2	175
	3	11273	64	B2-U0-G2	
	5W	10249	59	B3-U0-G2	
	FT	10867	62	B2-U0-G2	
	FTA	11097	63	B2-U0-G2	
	AM	11230	64	B2-U0-G1	

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.62	0.36	0.31	0.27	0.21	0.15
12L	0.85	0.50	0.43	0.38	0.30	0.22
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.47	0.85	0.73	0.64	0.51	0.37

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

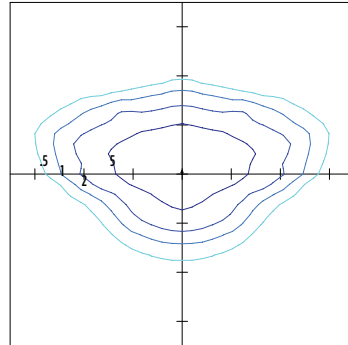
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,416
Watts	232
Efficacy	140
IES Type	Type II - Short
BUG Rating	B4-U0-G3

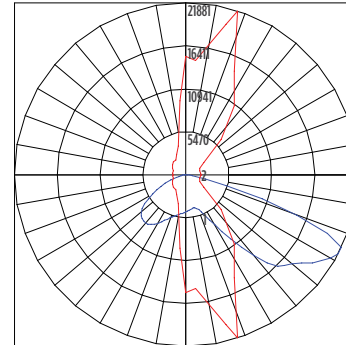
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	4796	15%
Medium (30-60°)	19811	61%
High (60-80°)	7474	23%
Very High (80-90°)	335	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32416</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



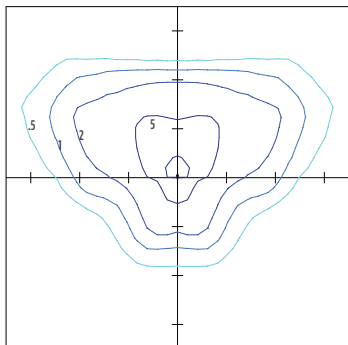
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-3-40-70CRI

Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,656
Watts	232
Efficacy	141
IES Type	Type III - Short
BUG Rating	B3-U0-G4

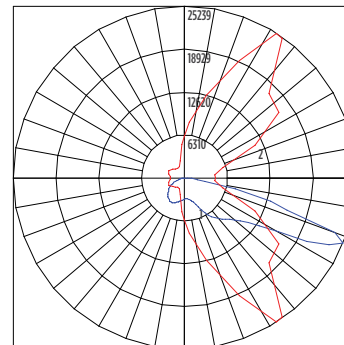
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3385	10%
Medium (30-60°)	16250	50%
High (60-80°)	12430	38%
Very High (80-90°)	591	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32656</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



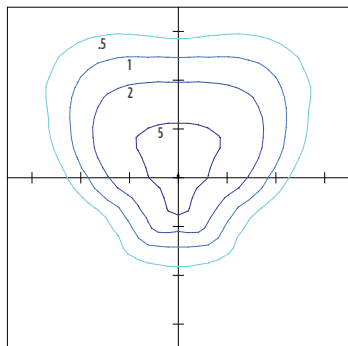
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-FT-40-70CRI

Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

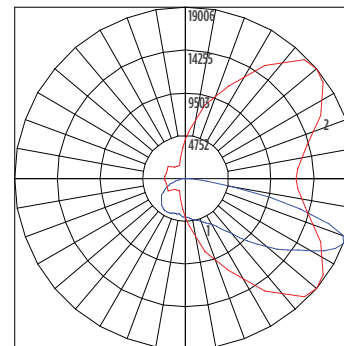
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3952	12%
Medium (30-60°)	15505	48%
High (60-80°)	12279	38%
Very High (80-90°)	688	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32424</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



■ Vertical Plane ■ Horizontal Cone

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

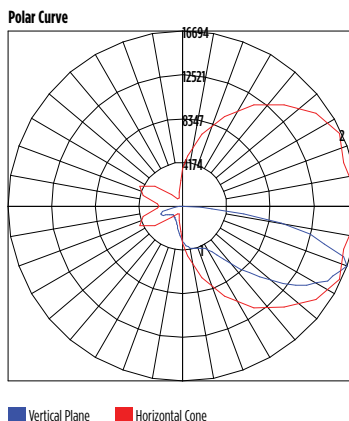
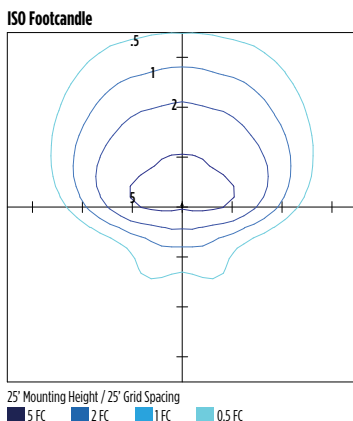
 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-4-40-70CRI

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,141
Watts	213
Efficacy	151
IES Type	Type IV - Very Short
BUG Rating	B3-U0-G5

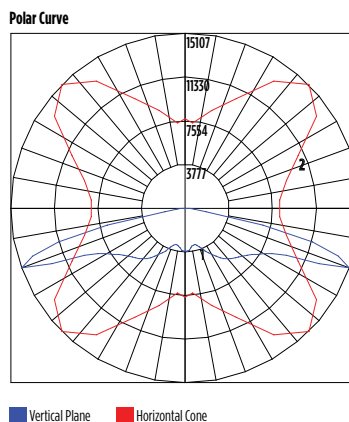
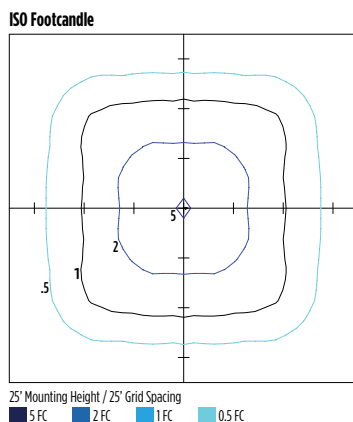
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3119	10%
Medium (30-60°)	13569	42%
High (60-80°)	13649	42%
Very High (80-90°)	1804	6%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32141</b>	<b>100%</b>



### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data	
Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,267
Watts	232
Efficacy	135
IES Type	Type VS - Short
BUG Rating	B5-U0-G3

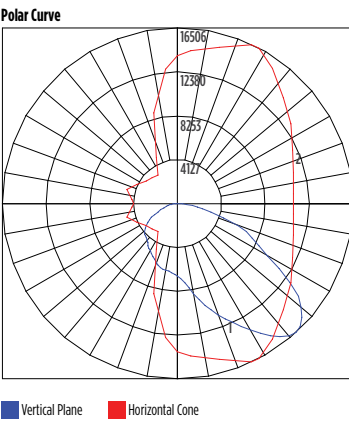
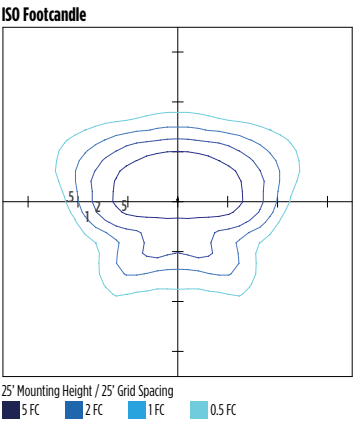
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3138	10%
Medium (30-60°)	13193	42%
High (60-80°)	14641	47%
Very High (80-90°)	296	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>31267</b>	<b>100%</b>



### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6986	21%
Medium (30-60°)	19172	59%
High (60-80°)	5875	18%
Very High (80-90°)	534	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32566</b>	<b>100%</b>





# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

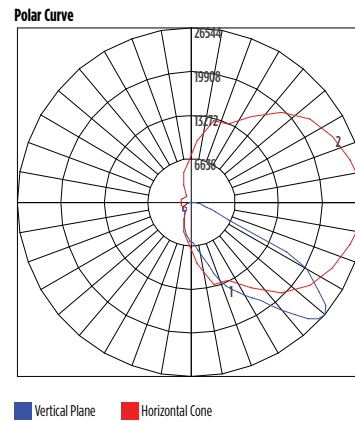
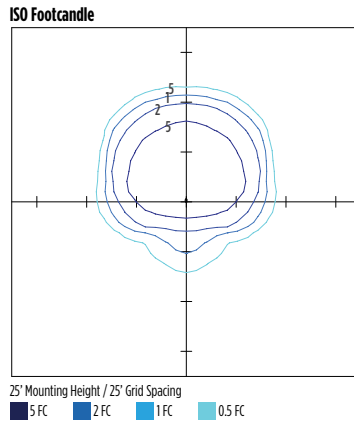
## PHOTOMETRICS (CONT)

[Back to Quick Links](#)

### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data	
Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,960
Watts	232
Efficacy	142
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

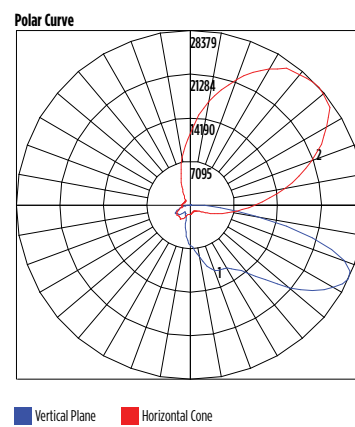
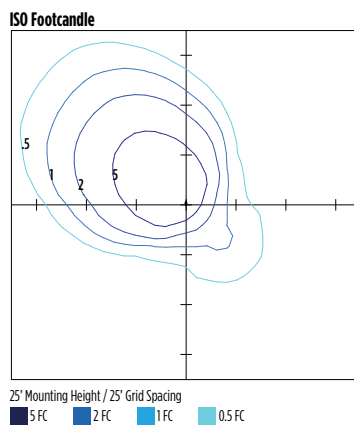
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6363	19%
Medium (30-60°)	22026	67%
High (60-80°)	4192	13%
Very High (80-90°)	379	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32960</b>	<b>100%</b>



### MRM-LED-30L-SIL-LC-40-70CRI

Luminaire Data	
Left Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

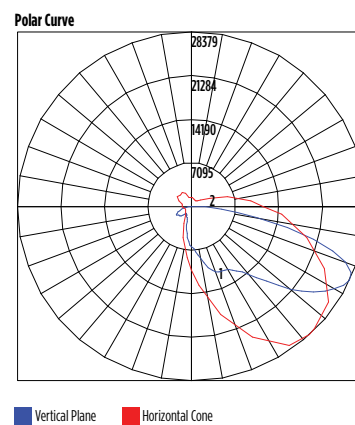
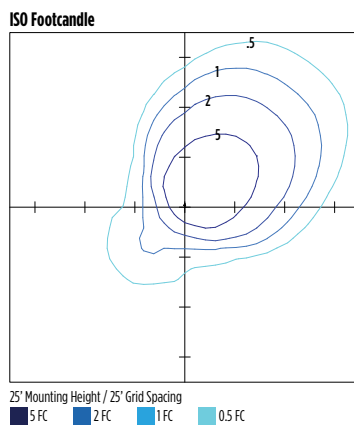
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>



### MRM-LED-30L-SIL-RC-40-70CRI

Luminaire Data	
Right Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>

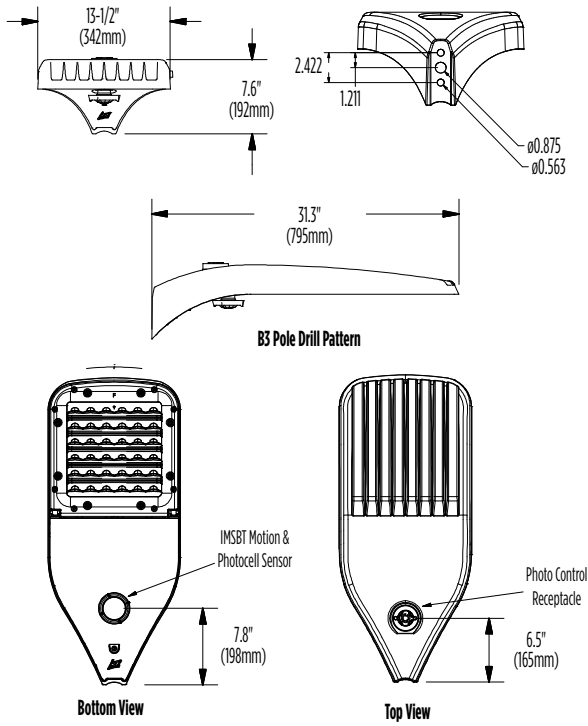








# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## PRODUCT DIMENSIONS



Luminaire EPA Chart					
Tilt Degree		0°	15°	30°	45°
	Single	0.5	1.0	1.5	1.9
	D180°	1.0	1.5	1.5	1.9
	D90°	0.8	1.8	1.9	2.3
	T90°	1.0	4.0	2.5	2.8
	TN120°	1.0	2.9	3.3	3.9
	Q90°	1.0	4.0	2.5	2.8

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## CONTROLS

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

### AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OMS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
<b>On Event</b>	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
<b>Off Event</b>	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
<b>On Light Level</b>	The light level that the fixtures will turn on to when ON EVENT occurs.
<b>Dim Light Level</b>	The light level that the fixtures will dim down to when no motion is detected.
<b>Delay to Dim</b>	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
<b>Delay to Off</b>	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
<b>Sensitivity</b>	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.



# Mirada Medium (MRM)

## Outdoor LED Area Light



### OVERVIEW

Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

### QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
<b>MRM</b> - Mirada Medium Area Light	<b>LED</b>	<b>7L</b> - 7,000 lms, 48W <b>9L</b> - 9,000 lms, 62W <b>12L</b> - 12,000 lms, 85W <b>18L</b> - 18,000 lms, 135W <b>24L</b> - 24,000 lms, 176W <b>30L</b> - 30,000 lms, 232W <b>36L</b> - 36,000 lms, 288W <b>42L</b> - 42,000 lms, 314W <b>48L</b> - 48,000 lms, 401W <b>55L</b> - 55,000 lms, 438W Custom Lumen Packages <sup>1</sup>	<b>SIL</b> - Silicone	<b>2</b> - Type 2 <b>3</b> - Type 3 <b>4</b> - Type 4 <b>5W</b> - Type 5 Wide <b>FT</b> - Forward Throw <b>FTA</b> - Forward Throw Automotive <b>AM</b> - Automotive Merchandise <b>LC</b> - Left Corner <b>RC</b> - Right Corner	<b>(blank)</b> - standard <b>L</b> - Optics rotated left 90° <b>R</b> - Optics rotated right 90°	<b>UNV</b> - Universal Voltage (120-277V) <b>HV</b> - High Voltage (347-480V)	<b>DIM</b> - 0-10V Dimming (0-10%)
Color Temp		Color Rendering	Finish		Options		
<b>50</b> - 5,000 CCT <b>40</b> - 4,000 CCT <b>30</b> - 3,000 CCT <b>AMB</b> - Phosphor Converted Amber <sup>12</sup>		<b>70CRI</b> - 70 CRI	<b>BLK</b> - Black <b>BRZ</b> - Dark Bronze <b>GMG</b> - Gun Metal Gray <b>GPT</b> - Graphite		<b>MSV</b> - Metallic Silver <b>PLP</b> - Platinum Plus <b>SVG</b> - Satin Verde Green <b>WHT</b> - White		<b>(Blank)</b> - None <b>IH</b> - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup> <b>IL</b> - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>

### Controls (Choose One)

**(Blank)** - None

#### Wireless Controls System

- ALSC** - AirLink Synapse Control System<sup>13</sup>
- ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor<sup>13</sup>
- ALSCS04** - AirLink Synapse Control System with 20-40' Motion Sensor<sup>13</sup>
- ALBCS1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)<sup>5</sup>
- ALBCS2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)<sup>5</sup>

#### Stand-Alone Controls

- EXT** - 0-10V Dimming leads extended to housing exterior
- CR7P** - 7 Pin Control Receptacle ANSI C136.41<sup>6</sup>
- IMSBTL1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup>
- IMSBTL2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup>

#### Button Type Photocells

- PC120** - 120V
- PC1208-277** - 208 - 277V
- PC1347** - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>7</sup>

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>8</sup>	<b>122514</b>
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup>	<b>122515</b>
Twist Lock Photocell (347V) for use with CR7P <sup>8</sup>	<b>122516</b>
Twist Lock Photocell (480V) for use with CR7P <sup>8</sup>	<b>1225180</b>
AirLink 5 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661409</b>
AirLink 7 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661410</b>
AirLink 7 Pin Twist Lock Controller (347-480V)	<b>679948</b>
Shorting Cap for use with CR7P	<b>149328</b>

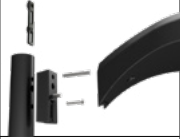














FUSING OPTIONS <sup>11</sup>	
Single Fusing (120V)	<a href="#">See Fusing Accessory Guide</a>
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

SHIELDING OPTIONS	
Mirada Small	<a href="#">See Shielding Guide</a>
Mirada Medium	
Mirada Large	
Zone Medium	
Slice Medium	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available with 5W distribution
3. Consult Factory for availability.
4. Not available in HV.
5. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.
6. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

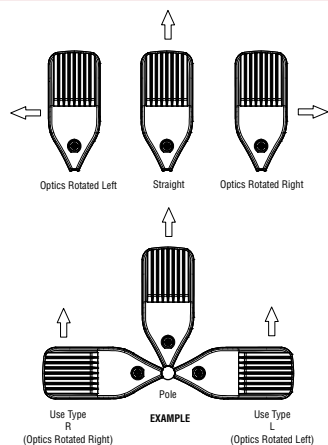
7. Accessories are shipped separately and field installed.
8. Factory installed CR7P option required. See Options.
9. "CLR" denotes finish. See Finish options.
10. Only available with ALSC/ALSCH control options.
11. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.
13. Not available with 55L Lumen Package.

## ACCESSORIES

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES			
Side Arm	<b>Universal Mounting Bracket</b> Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5" <b>Part Number: BKA UMB CLR</b>		Shielding	<b>Integral Louver</b> Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs <b>Part Number: 690981</b>	
	<b>Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS POM B3B5 XX CLR</b>			<b>Integral Half Louver</b> Field Install Integral Half Louver provides great backlight control without impacting front side distribution. <b>Part Number: 743415</b>	
	<b>15° Tilt Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS PQ15 B3B5 XX CLR</b>			<b>External Shield</b> External shield blocks view of light source from any side of luminaire, additional shielding configurations available <b>Part Number: 783607BLK (3") / 776538BLK (6")</b>	
Tenon / Slipfitter	<b>Adjustable Slipfitter</b> Mounts onto a 2" (51mm) I.P, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal) <b>Part Number: BKA ASF CLR</b>		Poles	<b>Square Poles</b> 14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction <b>Part Number: 4SQ/5SQ/6SQ</b>	
	<b>Square Tenon Top</b> Mounts onto a 2" (51mm) I.P, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires <b>Part Number: BKA XNM *</b>			<b>Round Poles</b> 10 - 30' steel and aluminum poles in 4" and 5" sizes for retrofit and new construction <b>Part Number: 4RP/SRP</b>	
	<b>Square Internal Slipfitter</b> Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires <b>Part Number: BKA X_ISF * CLR</b>			<b>Tapered Poles</b> 20' - 39" steel and aluminum poles for retrofit and new construction <b>Part Number: RTP</b>	
Wall Mount / Wood Pole	<b>Wall Mount Bracket</b> Mounts onto vertical wall surface ( hardware/anchors not included) <b>Part Number: BKS XB0 WM CLR</b>		Misc.	<b>Bird Spikes</b> 10' Linear Bird Spike Kit, 4" recommended per luminaire, includes silicone adhesive and application tool <b>Spike Part Number: 751631</b> <b>Adhesive Part Number: 751632</b> <b>Caulk Gun Part Number: 751636</b>	
	<b>Wood Pole Bracket</b> Mounts onto wooden poles (6" minimum OD, hardware/anchors not included) <b>Part Number: BKS XB0 WP CLR</b>			Replace CLR with paint finish description Replace X with: 3 Replace XX with SQ for square pole or RD for round pole ( $\geq 3"$ OD) Replace * with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad) Replace _ with 4 (4" square pole) or 5 (5" square pole)	

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBTL Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



# Mirada Medium Outdoor LED Area Light

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## PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
9L	2	70	9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	62
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	
	4		9178	148	B2-U0-G3	9713	157	B2-U0-G3	9498	153	B2-U0-G3	
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
	FT		9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM		10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	
	LC/RC		9008	145	B2-U0-G3	9533	154	B2-U0-G3	9321	150	B2-U0-G3	
12L	2	70	13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	85
	3		13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	
	4		12223	144	B2-U0-G3	12935	152	B2-U0-G4	12648	149	B2-U0-G4	
	5W		12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	
	FT		13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	
	FTA		13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM		13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	LC/RC		11996	141	B2-U0-G3	12695	149	B2-U0-G3	12414	146	B2-U0-G3	
18L	2	70	19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	135
	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	
	4		18013	133	B2-U0-G4	19063	141	B3-U0-G5	18640	138	B3-U0-G5	
	5W		18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT		19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	
	FTA		19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	
	AM		19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	
	LC/RC		17679	131	B2-U0-G3	18710	139	B2-U0-G3	18295	136	B2-U0-G3	
24L	2	70	24142	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	176
	3		25001	149	B3-U0-G3	26149	149	B3-U0-G3	26149	149	B3-U0-G3	
	4		24396	152	B3-U0-G5	25600	160	B3-U0-G5	25457	159	B3-U0-G5	
	5W		24327	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	
	FT		24994	148	B3-U0-G3	25964	148	B3-U0-G3	25964	148	B3-U0-G3	
	FTA		24171	148	B3-U0-G3	26077	148	B4-U0-G3	26077	148	B4-U0-G3	
	AM		24939	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	
	LC/RC		25884	162	B3-U0-G4	25884	162	B3-U0-G4	25310	158	B3-U0-G4	
30L	2	70	30171	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	232
	3		31243	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	4		30631	144	B3-U0-G5	32141	151	B3-U0-G5	31961	150	B3-U0-G5	
	5W		30402	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	
	FT		31233	140	B4-U0-G4	32424	140	B4-U0-G4	32424	140	B4-U0-G4	
	FTA		30207	140	B4-U0-G4	32566	140	B4-U0-G4	32566	140	B4-U0-G4	
	AM		3116	142	B4-U0-G3	32960	142	B4-U0-G3	32960	142	B4-U0-G3	
	LC/RC		32498	153	B3-U0-G5	32498	153	B3-U0-G5	31777	149	B3-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
36L	2	70	35357	133	B4-U0-G3	38275	133	B4-U0-G3	38275	133	B4-U0-G3	288
	3		36614	134	B4-U0-G4	38557	134	B4-U0-G4	38557	134	B4-U0-G4	
	4		35402	139	B3-U0-G5	37148	146	B4-U0-G5	36940	145	B4-U0-G5	
	5W		35627	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	
	FT		36602	133	B4-U0-G4	38283	133	B4-U0-G4	38283	133	B4-U0-G4	
	FTA		35399	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	
	AM		36524	135	B4-U0-G3	38916	135	B4-U0-G3	38916	135	B4-U0-G3	
	LC/RC		37561	147	B3-U0-G5	37561	147	B3-U0-G5	36727	144	B3-U0-G5	
42L	2	70	41035	131	B5-U0-G4	42602	136	B5-U0-G4	42542	135	B5-U0-G4	314
	3		42493	135	B4-U0-G5	44115	140	B4-U0-G5	44053	140	B4-U0-G5	
	4		41453	132	B4-U0-G5	43497	138	B4-U0-G5	43254	138	B4-U0-G5	
	5W		41349	132	B5-U0-G4	42927	134	B5-U0-G4	42866	137	B5-U0-G4	
	FT		42481	135	B4-U0-G4	44103	140	B4-U0-G4	44040	140	B4-U0-G4	
	FTA		41083	131	B4-U0-G4	42652	136	B5-U0-G4	42591	136	B5-U0-G4	
	AM		42389	135	B4-U0-G3	44007	140	B4-U0-G3	43944	140	B4-U0-G3	
	LC/RC		43980	140	B3-U0-G5	43980	140	B3-U0-G5	43004	137	B3-U0-G5	
48L	2	70	45133	123	B5-U0-G4	46856	128	B5-U0-G4	46789	128	B5-U0-G4	401
	3		46737	128	B4-U0-G5	48521	133	B4-U0-G5	48452	132	B4-U0-G5	
	4		46006	126	B4-U0-G5	48275	132	B4-U0-G5	48005	131	B4-U0-G5	
	5W		45478	124	B5-U0-G4	47214	129	B5-U0-G4	47147	129	B5-U0-G4	
	FT		46723	128	B4-U0-G5	48507	133	B4-U0-G5	48438	132	B4-U0-G5	
	FTA		45187	123	B5-U0-G4	46912	128	B5-U0-G4	46845	128	B5-U0-G4	
	AM		4662	127	B4-U0-G3	48402	132	B4-U0-G3	48333	132	B4-U0-G3	
	LC/RC		48811	133	B4-U0-G5	48811	133	B4-U0-G5	47728	130	B4-U0-G5	
55L	2	70	50179	115	B5-U0-G4	52095	119	B5-U0-G4	52021	119	B5-U0-G4	438
	3		51963	119	B4-U0-G5	53947	123	B4-U0-G5	53870	123	B4-U0-G5	
	4		51635	119	B4-U0-G5	54181	125	B4-U0-G5	53878	124	B4-U0-G5	
	5W		50563	115	B5-U0-G4	52493	120	B5-U0-G4	52418	120	B5-U0-G4	
	FT		50539	115	B4-U0-G5	52468	120	B4-U0-G5	52394	120	B4-U0-G5	
	FTA		50239	115	B5-U0-G4	52157	119	B5-U0-G4	52082	119	B5-U0-G4	
	AM		52223	119	B4-U0-G3	54216	124	B4-U0-G3	54139	124	B4-U0-G3	
	LC/RC		54113	124	B4-U0-G5	54113	124	B4-U0-G5	52912	121	B4-U0-G5	

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## PERFORMANCE (CONT.)

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.52	0.30	0.26	0.22	0.18	0.13
12L	0.71	0.41	0.35	0.31	0.24	0.18
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.33	0.77	0.67	0.58	0.46	0.33
30L	1.78	1.02	0.89	0.77	0.61	0.44
36L	2.12	1.22	1.06	0.92	0.73	0.53
42L	2.62	1.51	1.31	1.13	0.90	0.65
48L	3.05	1.76	1.53	1.32	1.05	0.76
55L	3.65	2.11	1.83	1.58	1.26	0.91

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (0-25°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	93%	90%	86%
24L - 48L	100%	95%	89%	84%	79%
55L	100%	91%	82%	74%	67%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (40°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	92%	88%	84%
24L - 48L	100%	94%	87%	80%	74%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (50°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L C	100%	96%	91%	87%	83%

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5848	80	B2-U0-G2	74
	3	6018	82	B1-U0-G2	
	5W	5471	74	B3-U0-G1	
	FT	5801	79	B1-U0-G2	
	FTA	5924	81	B1-U0-G1	
	AM	5995	81	B1-U0-G1	
12L	2	7530	74	B2-U0-G2	102
	3	7749	76	B1-U0-G2	
	5W	7045	69	B3-U0-G2	
	FT	7470	73	B2-U0-G2	
	FTA	7628	75	B2-U0-G2	
	AM	7720	76	B1-U0-G1	
18L	2	9311	69	B2-U0-G2	135
	3	9582	71	B2-U0-G2	
	5W	8712	65	B3-U0-G2	
	FT	9237	68	B2-U0-G2	
	FTA	9433	70	B2-U0-G2	
	AM	9546	71	B2-U0-G1	
24L	2	10955	63	B2-U0-G2	175
	3	11273	64	B2-U0-G2	
	5W	10249	59	B3-U0-G2	
	FT	10867	62	B2-U0-G2	
	FTA	11097	63	B2-U0-G2	
	AM	11230	64	B2-U0-G1	

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.62	0.36	0.31	0.27	0.21	0.15
12L	0.85	0.50	0.43	0.38	0.30	0.22
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.47	0.85	0.73	0.64	0.51	0.37

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

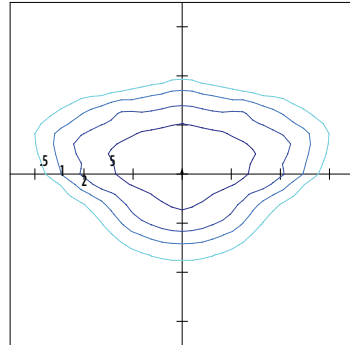
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

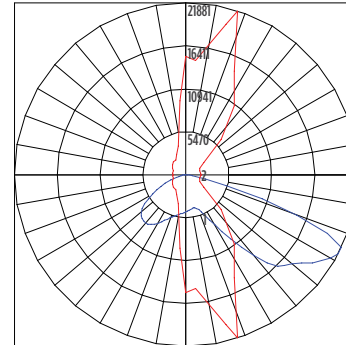
Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,416
Watts	232
Efficacy	140
IES Type	Type II - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	4796	15%
Medium (30-60°)	19811	61%
High (60-80°)	7474	23%
Very High (80-90°)	335	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32416</b>	<b>100%</b>

ISO Footcandle



Polar Curve

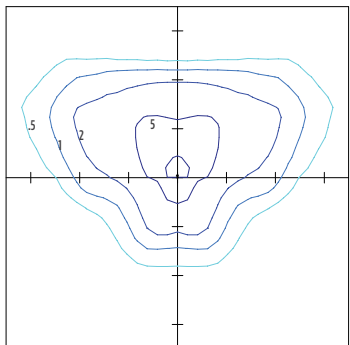


### MRM-LED-30L-SIL-3-40-70CRI

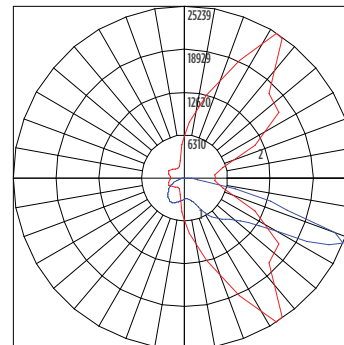
Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,656
Watts	232
Efficacy	141
IES Type	Type III - Short
BUG Rating	B3-U0-G4

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3385	10%
Medium (30-60°)	16250	50%
High (60-80°)	12430	38%
Very High (80-90°)	591	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32656</b>	<b>100%</b>

ISO Footcandle



Polar Curve

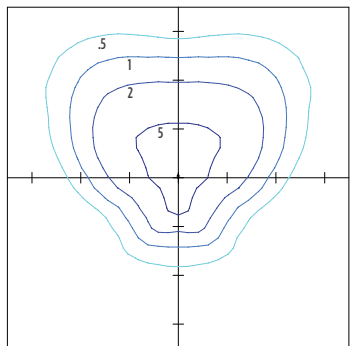


### MRM-LED-30L-SIL-FT-40-70CRI

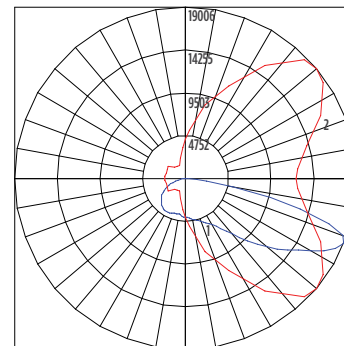
Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3952	12%
Medium (30-60°)	15505	48%
High (60-80°)	12279	38%
Very High (80-90°)	688	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32424</b>	<b>100%</b>

ISO Footcandle



Polar Curve



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

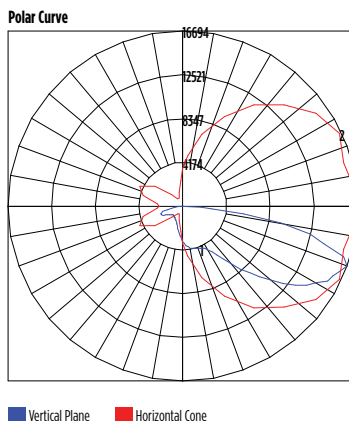
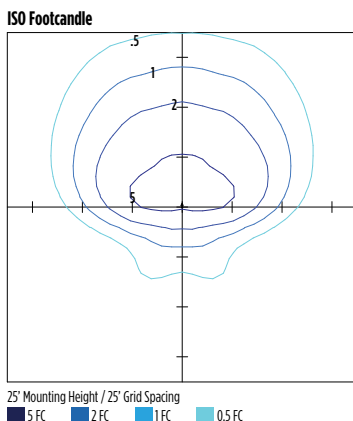
 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-4-40-70CRI

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,141
Watts	213
Efficacy	151
IES Type	Type IV - Very Short
BUG Rating	B3-U0-G5

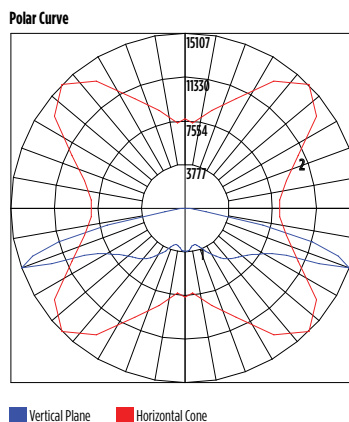
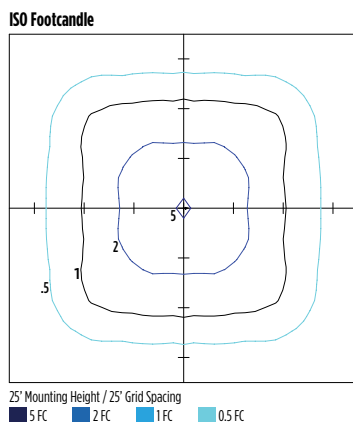
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3119	10%
Medium (30-60°)	13569	42%
High (60-80°)	13649	42%
Very High (80-90°)	1804	6%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32141</b>	<b>100%</b>



### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data	
Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,267
Watts	232
Efficacy	135
IES Type	Type VS - Short
BUG Rating	B5-U0-G3

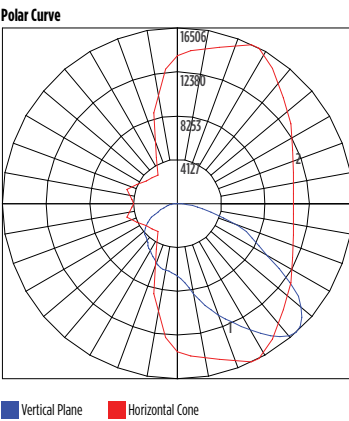
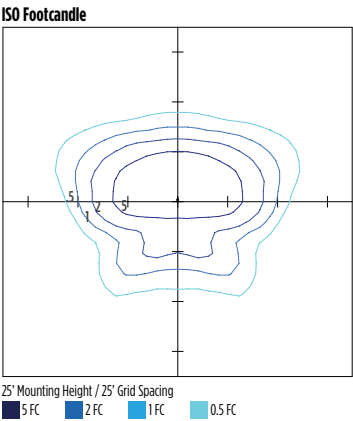
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3138	10%
Medium (30-60°)	13193	42%
High (60-80°)	14641	47%
Very High (80-90°)	296	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>31267</b>	<b>100%</b>



### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6986	21%
Medium (30-60°)	19172	59%
High (60-80°)	5875	18%
Very High (80-90°)	534	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32566</b>	<b>100%</b>



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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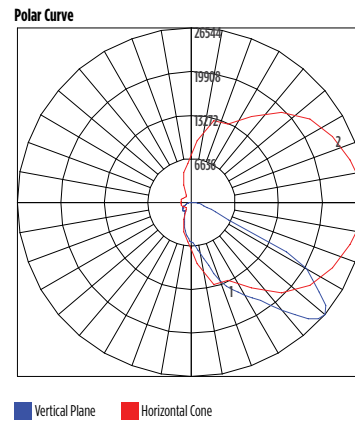
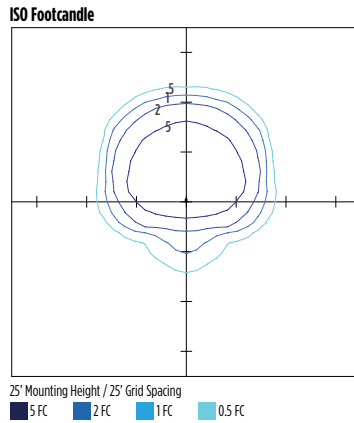
## PHOTOMETRICS (CONT)

[Back to Quick Links](#)

### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data	
Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,960
Watts	232
Efficacy	142
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

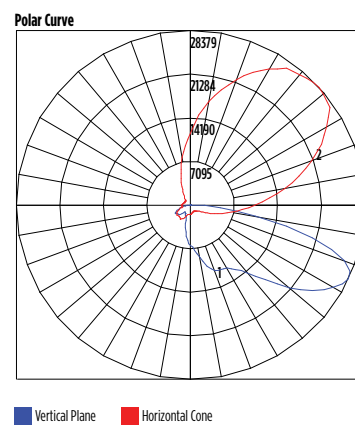
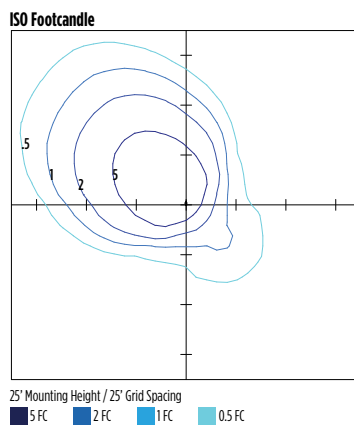
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6363	19%
Medium (30-60°)	22026	67%
High (60-80°)	4192	13%
Very High (80-90°)	379	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32960</b>	<b>100%</b>



### MRM-LED-30L-SIL-LC-40-70CRI

Luminaire Data	
Left Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

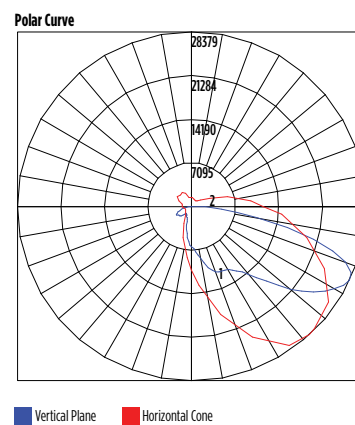
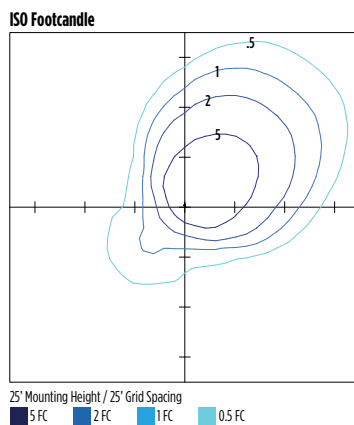
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>



### MRM-LED-30L-SIL-RC-40-70CRI

Luminaire Data	
Right Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>

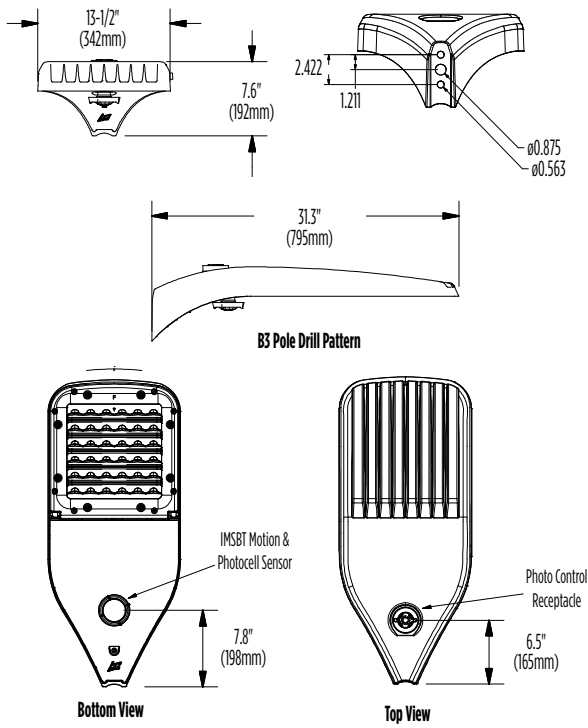








# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## PRODUCT DIMENSIONS



Luminaire EPA Chart					
Tilt Degree		0°	15°	30°	45°
	Single	0.5	1.0	1.5	1.9
	D180°	1.0	1.5	1.5	1.9
	D90°	0.8	1.8	1.9	2.3
	T90°	1.0	4.0	2.5	2.8
	TN120°	1.0	2.9	3.3	3.9
	Q90°	1.0	4.0	2.5	2.8

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## CONTROLS

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

### AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OMS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
<b>On Event</b>	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
<b>Off Event</b>	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
<b>On Light Level</b>	The light level that the fixtures will turn on to when ON EVENT occurs.
<b>Dim Light Level</b>	The light level that the fixtures will dim down to when no motion is detected.
<b>Delay to Dim</b>	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
<b>Delay to Off</b>	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
<b>Sensitivity</b>	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.



# Mirada Medium (MRM)

## Outdoor LED Area Light



### OVERVIEW

Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

### QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
<b>MRM</b> - Mirada Medium Area Light	<b>LED</b>	<b>7L</b> - 7,000 lms, 48W <b>9L</b> - 9,000 lms, 62W <b>12L</b> - 12,000 lms, 85W <b>18L</b> - 18,000 lms, 135W <b>24L</b> - 24,000 lms, 176W <b>30L</b> - 30,000 lms, 232W <b>36L</b> - 36,000 lms, 288W <b>42L</b> - 42,000 lms, 314W <b>48L</b> - 48,000 lms, 401W <b>55L</b> - 55,000 lms, 438W Custom Lumen Packages <sup>1</sup>	<b>SIL</b> - Silicone	<b>2</b> - Type 2 <b>3</b> - Type 3 <b>4</b> - Type 4 <b>5W</b> - Type 5 Wide <b>FT</b> - Forward Throw <b>FTA</b> - Forward Throw Automotive <b>AM</b> - Automotive Merchandise <b>LC</b> - Left Corner <b>RC</b> - Right Corner	<b>(blank)</b> - standard <b>L</b> - Optics rotated left 90° <b>R</b> - Optics rotated right 90°	<b>UNV</b> - Universal Voltage (120-277V) <b>HV</b> - High Voltage (347-480V)	<b>DIM</b> - 0-10V Dimming (0-10%)
Color Temp		Color Rendering	Finish		Options		
<b>50</b> - 5,000 CCT <b>40</b> - 4,000 CCT <b>30</b> - 3,000 CCT <b>AMB</b> - Phosphor Converted Amber <sup>12</sup>		<b>70CRI</b> - 70 CRI	<b>BLK</b> - Black <b>BRZ</b> - Dark Bronze <b>GMG</b> - Gun Metal Gray <b>GPT</b> - Graphite		<b>MSV</b> - Metallic Silver <b>PLP</b> - Platinum Plus <b>SVG</b> - Satin Verde Green <b>WHT</b> - White		<b>(Blank)</b> - None <b>IH</b> - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup> <b>IL</b> - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>

### Controls (Choose One)

**(Blank)** - None

#### Wireless Controls System

- ALSC** - AirLink Synapse Control System<sup>13</sup>
- ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor<sup>13</sup>
- ALSCS04** - AirLink Synapse Control System with 20-40' Motion Sensor<sup>13</sup>
- ALBCS1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)<sup>5</sup>
- ALBCS2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)<sup>5</sup>

#### Stand-Alone Controls

- EXT** - 0-10V Dimming leads extended to housing exterior
- CR7P** - 7 Pin Control Receptacle ANSI C136.41<sup>6</sup>
- IMSBTL1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup>
- IMSBTL2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup>

#### Button Type Photocells

- PC120** - 120V
- PC1208-277** - 208 - 277V
- PC1347** - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>7</sup>

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>8</sup>	<b>122514</b>
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup>	<b>122515</b>
Twist Lock Photocell (347V) for use with CR7P <sup>8</sup>	<b>122516</b>
Twist Lock Photocell (480V) for use with CR7P <sup>8</sup>	<b>1225180</b>
AirLink 5 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661409</b>
AirLink 7 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661410</b>
AirLink 7 Pin Twist Lock Controller (347-480V)	<b>679948</b>
Shorting Cap for use with CR7P	<b>149328</b>

FUSING OPTIONS <sup>11</sup>	
Single Fusing (120V)	<a href="#">See Fusing Accessory Guide</a>
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

SHIELDING OPTIONS	
Mirada Small	<a href="#">See Shielding Guide</a>
Mirada Medium	
Mirada Large	
Zone Medium	
Slice Medium	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available with 5W distribution
3. Consult Factory for availability.
4. Not available in HV.
5. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.
6. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

7. Accessories are shipped separately and field installed.
8. Factory installed CR7P option required. See Options.
9. "CLR" denotes finish. See Finish options.
10. Only available with ALSC/ALSCH control options.
11. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.
13. Not available with 55L Lumen Package.



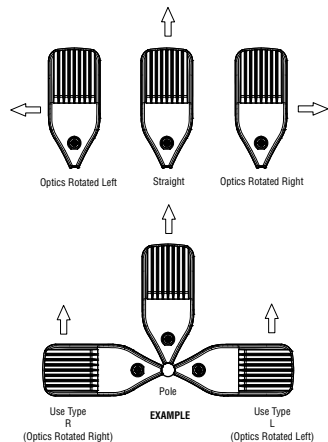
## ACCESSORIES

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES		
Side Arm	<b>Universal Mounting Bracket</b> Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5" <b>Part Number: BKA UMB CLR</b>		<b>Shielding</b> <b>Integral Louver</b> Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs <b>Part Number: 690981</b> 	
	<b>Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS POM B3B5 XX CLR</b>			<b>Integral Half Louver</b> Field Install Integral Half Louver provides great backlight control without impacting front side distribution. <b>Part Number: 743415</b> 
	<b>15° Tilt Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS PQ15 B3B5 XX CLR</b>			<b>External Shield</b> External shield blocks view of light source from any side of luminaire, additional shielding configurations available <b>Part Number: 783607BLK (3") / 776538BLK (6")</b> 
Tenon / Slipfitter	<b>Adjustable Slipfitter</b> Mounts onto a 2" (51mm) I.P., 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal) <b>Part Number: BKA ASF CLR</b>		<b>Poles</b> <b>Square Poles</b> 14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction <b>Part Number: 4SQ/5SQ/6SQ</b> 	
	<b>Square Tenon Top</b> Mounts onto a 2" (51mm) I.P., 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires <b>Part Number: BKA XNM *</b>			<b>Round Poles</b> 10 - 30" steel and aluminum poles in 4" and 5" sizes for retrofit and new construction <b>Part Number: 4RP/SRP</b> 
	<b>Square Internal Slipfitter</b> Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires <b>Part Number: BKA X_ISF * CLR</b>			<b>Tapered Poles</b> 20" - 39" steel and aluminum poles for retrofit and new construction <b>Part Number: RTP</b> 
Wall Mount / Wood Pole	<b>Wall Mount Bracket</b> Mounts onto vertical wall surface (hardware/anchors not included) <b>Part Number: BKS XB0 WM CLR</b>		<b>Misc.</b> <b>Bird Spikes</b> 10' Linear Bird Spike Kit, 4" recommended per luminaire, includes silicone adhesive and application tool <b>Spike Part Number: 751631</b> <b>Adhesive Part Number: 751632</b> <b>Caulk Gun Part Number: 751636</b> 	
	<b>Wood Pole Bracket</b> Mounts onto wooden poles (6" minimum OD, hardware/anchors not included) <b>Part Number: BKS XB0 WP CLR</b>			

Replace CLR with paint finish description  
 Replace X with: 3  
 Replace XX with SQ for square pole or RD for round pole ( $\geq 3"$  OD)  
 Replace \* with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad)  
 Replace \_ with 4 (4" square pole) or 5 (5" square pole)

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBTL Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
9L	2	70	9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	62
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	
	4		9178	148	B2-U0-G3	9713	157	B2-U0-G3	9498	153	B2-U0-G3	
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
	FT		9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM		10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	
	LC/RC		9008	145	B2-U0-G3	9533	154	B2-U0-G3	9321	150	B2-U0-G3	
12L	2	70	13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	85
	3		13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	
	4		12223	144	B2-U0-G3	12935	152	B2-U0-G4	12648	149	B2-U0-G4	
	5W		12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	
	FT		13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	
	FTA		13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM		13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	LC/RC		11996	141	B2-U0-G3	12695	149	B2-U0-G3	12414	146	B2-U0-G3	
18L	2	70	19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	135
	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	
	4		18013	133	B2-U0-G4	19063	141	B3-U0-G5	18640	138	B3-U0-G5	
	5W		18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT		19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	
	FTA		19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	
	AM		19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	
	LC/RC		17679	131	B2-U0-G3	18710	139	B2-U0-G3	18295	136	B2-U0-G3	
24L	2	70	24142	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	176
	3		25001	149	B3-U0-G3	26149	149	B3-U0-G3	26149	149	B3-U0-G3	
	4		24396	152	B3-U0-G5	25600	160	B3-U0-G5	25457	159	B3-U0-G5	
	5W		24327	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	
	FT		24994	148	B3-U0-G3	25964	148	B3-U0-G3	25964	148	B3-U0-G3	
	FTA		24171	148	B3-U0-G3	26077	148	B4-U0-G3	26077	148	B4-U0-G3	
	AM		24939	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	
	LC/RC		25884	162	B3-U0-G4	25884	162	B3-U0-G4	25310	158	B3-U0-G4	
30L	2	70	30171	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	232
	3		31243	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	4		30631	144	B3-U0-G5	32141	151	B3-U0-G5	31961	150	B3-U0-G5	
	5W		30402	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	
	FT		31233	140	B4-U0-G4	32424	140	B4-U0-G4	32424	140	B4-U0-G4	
	FTA		30207	140	B4-U0-G4	32566	140	B4-U0-G4	32566	140	B4-U0-G4	
	AM		3116	142	B4-U0-G3	32960	142	B4-U0-G3	32960	142	B4-U0-G3	
	LC/RC		32498	153	B3-U0-G5	32498	153	B3-U0-G5	31777	149	B3-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PERFORMANCE (CONT.)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
36L	2	70	35357	133	B4-U0-G3	38275	133	B4-U0-G3	38275	133	B4-U0-G3	288
	3		36614	134	B4-U0-G4	38557	134	B4-U0-G4	38557	134	B4-U0-G4	
	4		35402	139	B3-U0-G5	37148	146	B4-U0-G5	36940	145	B4-U0-G5	
	5W		35627	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	
	FT		36602	133	B4-U0-G4	38283	133	B4-U0-G4	38283	133	B4-U0-G4	
	FTA		35399	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	
	AM		36524	135	B4-U0-G3	38916	135	B4-U0-G3	38916	135	B4-U0-G3	
	LC/RC		37561	147	B3-U0-G5	37561	147	B3-U0-G5	36727	144	B3-U0-G5	
42L	2	70	41035	131	B5-U0-G4	42602	136	B5-U0-G4	42542	135	B5-U0-G4	314
	3		42493	135	B4-U0-G5	44115	140	B4-U0-G5	44053	140	B4-U0-G5	
	4		41453	132	B4-U0-G5	43497	138	B4-U0-G5	43254	138	B4-U0-G5	
	5W		41349	132	B5-U0-G4	42927	134	B5-U0-G4	42866	137	B5-U0-G4	
	FT		42481	135	B4-U0-G4	44103	140	B4-U0-G4	44040	140	B4-U0-G4	
	FTA		41083	131	B4-U0-G4	42652	136	B5-U0-G4	42591	136	B5-U0-G4	
	AM		42389	135	B4-U0-G3	44007	140	B4-U0-G3	43944	140	B4-U0-G3	
	LC/RC		43980	140	B3-U0-G5	43980	140	B3-U0-G5	43004	137	B3-U0-G5	
48L	2	70	45133	123	B5-U0-G4	46856	128	B5-U0-G4	46789	128	B5-U0-G4	401
	3		46737	128	B4-U0-G5	48521	133	B4-U0-G5	48452	132	B4-U0-G5	
	4		46006	126	B4-U0-G5	48275	132	B4-U0-G5	48005	131	B4-U0-G5	
	5W		45478	124	B5-U0-G4	47214	129	B5-U0-G4	47147	129	B5-U0-G4	
	FT		46723	128	B4-U0-G5	48507	133	B4-U0-G5	48438	132	B4-U0-G5	
	FTA		45187	123	B5-U0-G4	46912	128	B5-U0-G4	46845	128	B5-U0-G4	
	AM		4662	127	B4-U0-G3	48402	132	B4-U0-G3	48333	132	B4-U0-G3	
	LC/RC		48811	133	B4-U0-G5	48811	133	B4-U0-G5	47728	130	B4-U0-G5	
55L	2	70	50179	115	B5-U0-G4	52095	119	B5-U0-G4	52021	119	B5-U0-G4	438
	3		51963	119	B4-U0-G5	53947	123	B4-U0-G5	53870	123	B4-U0-G5	
	4		51635	119	B4-U0-G5	54181	125	B4-U0-G5	53878	124	B4-U0-G5	
	5W		50563	115	B5-U0-G4	52493	120	B5-U0-G4	52418	120	B5-U0-G4	
	FT		50539	115	B4-U0-G5	52468	120	B4-U0-G5	52394	120	B4-U0-G5	
	FTA		50239	115	B5-U0-G4	52157	119	B5-U0-G4	52082	119	B5-U0-G4	
	AM		52223	119	B4-U0-G3	54216	124	B4-U0-G3	54139	124	B4-U0-G3	
	LC/RC		54113	124	B4-U0-G5	54113	124	B4-U0-G5	52912	121	B4-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.52	0.30	0.26	0.22	0.18	0.13
12L	0.71	0.41	0.35	0.31	0.24	0.18
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.33	0.77	0.67	0.58	0.46	0.33
30L	1.78	1.02	0.89	0.77	0.61	0.44
36L	2.12	1.22	1.06	0.92	0.73	0.53
42L	2.62	1.51	1.31	1.13	0.90	0.65
48L	3.05	1.76	1.53	1.32	1.05	0.76
55L	3.65	2.11	1.83	1.58	1.26	0.91

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (0-25°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	93%	90%	86%
24L - 48L	100%	95%	89%	84%	79%
55L	100%	91%	82%	74%	67%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (40°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	92%	88%	84%
24L - 48L	100%	94%	87%	80%	74%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (50°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L C	100%	96%	91%	87%	83%

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5848	80	B2-U0-G2	74
	3	6018	82	B1-U0-G2	
	5W	5471	74	B3-U0-G1	
	FT	5801	79	B1-U0-G2	
	FTA	5924	81	B1-U0-G1	
	AM	5995	81	B1-U0-G1	
12L	2	7530	74	B2-U0-G2	102
	3	7749	76	B1-U0-G2	
	5W	7045	69	B3-U0-G2	
	FT	7470	73	B2-U0-G2	
	FTA	7628	75	B2-U0-G2	
	AM	7720	76	B1-U0-G1	
18L	2	9311	69	B2-U0-G2	135
	3	9582	71	B2-U0-G2	
	5W	8712	65	B3-U0-G2	
	FT	9237	68	B2-U0-G2	
	FTA	9433	70	B2-U0-G2	
	AM	9546	71	B2-U0-G1	
24L	2	10955	63	B2-U0-G2	175
	3	11273	64	B2-U0-G2	
	5W	10249	59	B3-U0-G2	
	FT	10867	62	B2-U0-G2	
	FTA	11097	63	B2-U0-G2	
	AM	11230	64	B2-U0-G1	

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.62	0.36	0.31	0.27	0.21	0.15
12L	0.85	0.50	0.43	0.38	0.30	0.22
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.47	0.85	0.73	0.64	0.51	0.37

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PHOTOMETRICS

[Back to Quick Links](#)

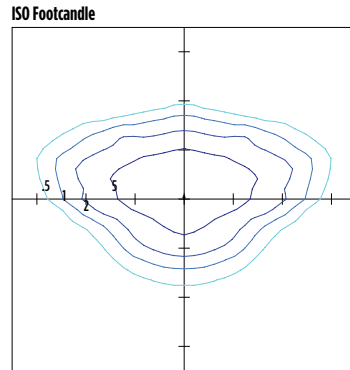
Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

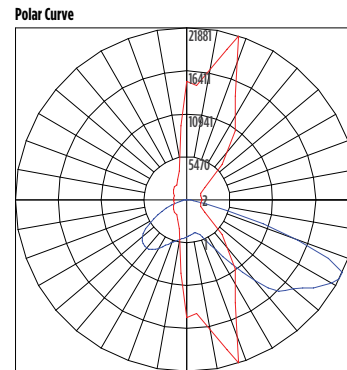
### MRM-LED-30L-SIL-2-40-70CRI

Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,416
Watts	232
Efficacy	140
IES Type	Type II - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	4796	15%
Medium (30-60°)	19811	61%
High (60-80°)	7474	23%
Very High (80-90°)	335	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32416</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

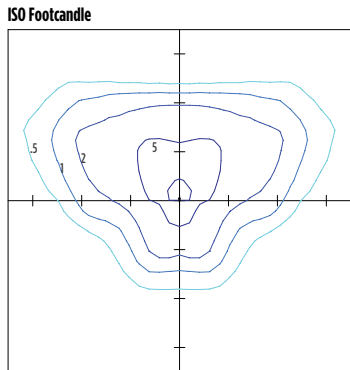


■ Vertical Plane ■ Horizontal Cone

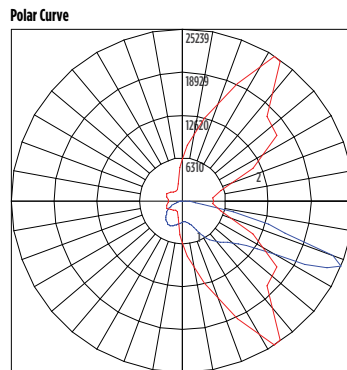
### MRM-LED-30L-SIL-3-40-70CRI

Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,656
Watts	232
Efficacy	141
IES Type	Type III - Short
BUG Rating	B3-U0-G4

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3385	10%
Medium (30-60°)	16250	50%
High (60-80°)	12430	38%
Very High (80-90°)	591	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32656</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

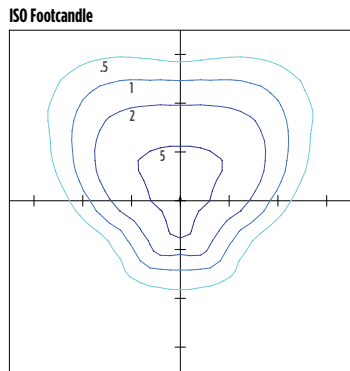


■ Vertical Plane ■ Horizontal Cone

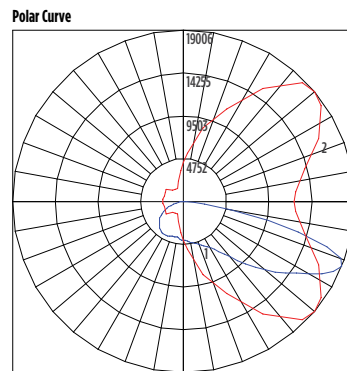
### MRM-LED-30L-SIL-FT-40-70CRI

Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3952	12%
Medium (30-60°)	15505	48%
High (60-80°)	12279	38%
Very High (80-90°)	688	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32424</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC



■ Vertical Plane ■ Horizontal Cone

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

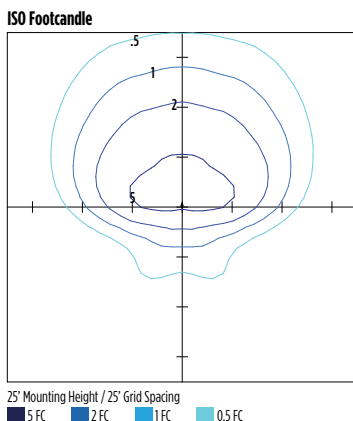
 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS (CONT)

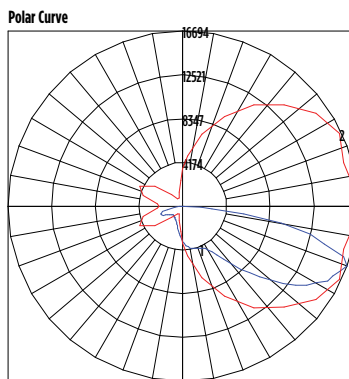
### MRM-LED-30L-SIL-4-40-70CRI

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,141
Watts	213
Efficacy	151
IES Type	Type IV - Very Short
BUG Rating	B3-U0-G5

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3119	10%
Medium (30-60°)	13569	42%
High (60-80°)	13649	42%
Very High (80-90°)	1804	6%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32141</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 5 FC 2 FC 1 FC 0.5 FC

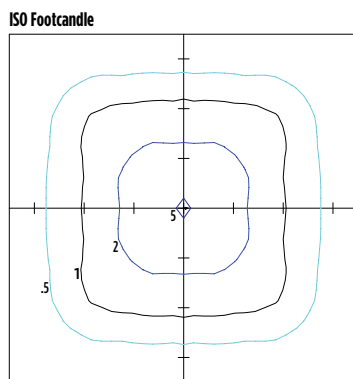


Vertical Plane Horizontal Cone

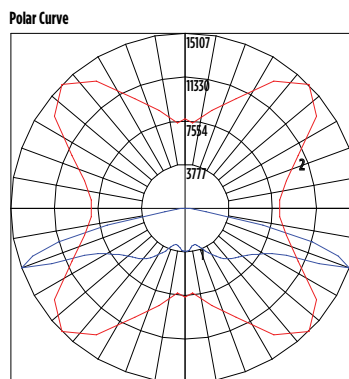
### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data	
Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,267
Watts	232
Efficacy	135
IES Type	Type VS - Short
BUG Rating	B5-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3138	10%
Medium (30-60°)	13193	42%
High (60-80°)	14641	47%
Very High (80-90°)	296	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>31267</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 5 FC 2 FC 1 FC 0.5 FC

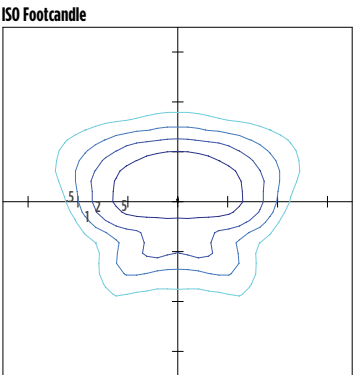


Vertical Plane Horizontal Cone

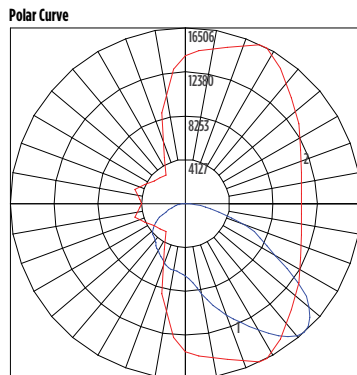
### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6986	21%
Medium (30-60°)	19172	59%
High (60-80°)	5875	18%
Very High (80-90°)	534	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32566</b>	<b>100%</b>



25' Mounting Height / 25' Grid Spacing  
 5 FC 2 FC 1 FC 0.5 FC



Vertical Plane Horizontal Cone

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

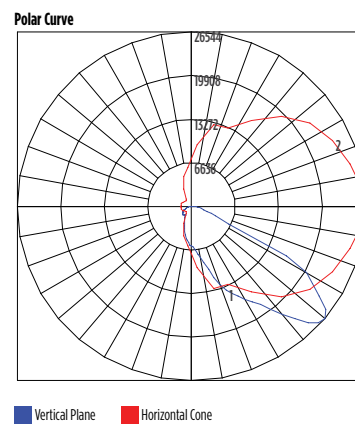
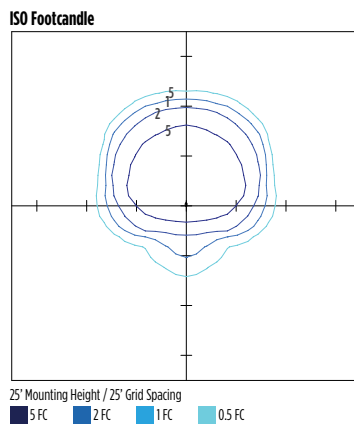
## PHOTOMETRICS (CONT)

[Back to Quick Links](#)

### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data	
Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,960
Watts	232
Efficacy	142
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

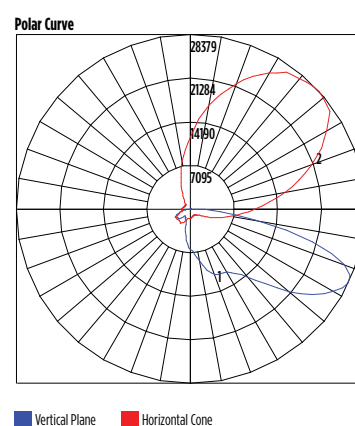
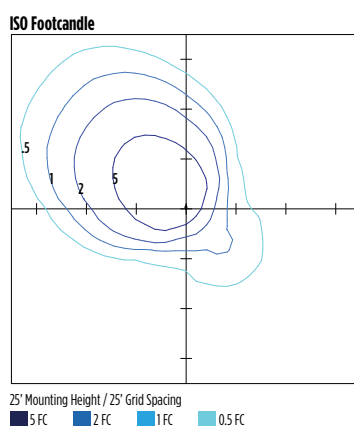
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6363	19%
Medium (30-60°)	22026	67%
High (60-80°)	4192	13%
Very High (80-90°)	379	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32960</b>	<b>100%</b>



### MRM-LED-30L-SIL-LC-40-70CRI

Luminaire Data	
Left Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

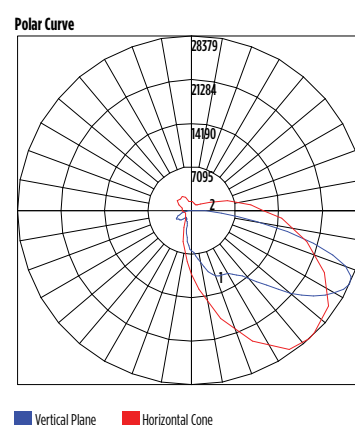
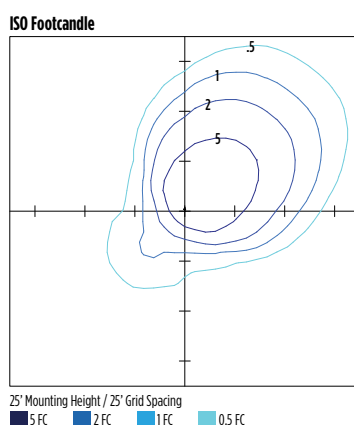
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>



### MRM-LED-30L-SIL-RC-40-70CRI

Luminaire Data	
Right Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>

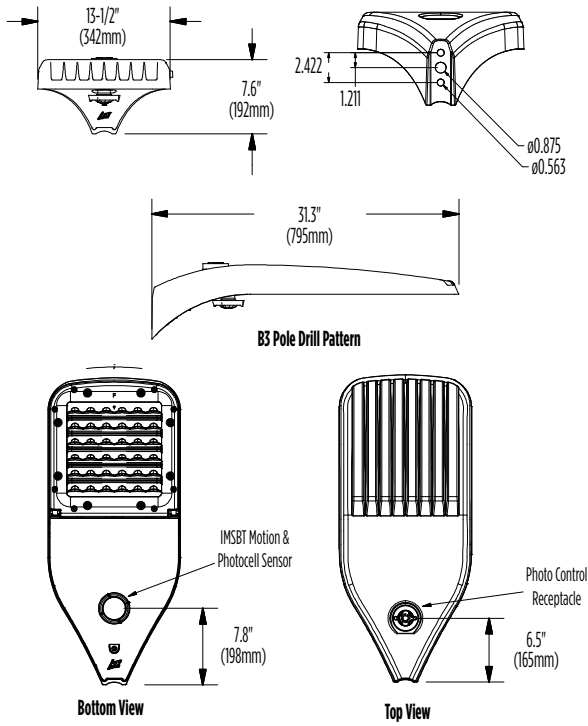








# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## PRODUCT DIMENSIONS



Luminaire EPA Chart					
Tilt Degree		0°	15°	30°	45°
	Single	0.5	1.0	1.5	1.9
	D180°	1.0	1.5	1.5	1.9
	D90°	0.8	1.8	1.9	2.3
	T90°	1.0	4.0	2.5	2.8
	TN120°	1.0	2.9	3.3	3.9
	Q90°	1.0	4.0	2.5	2.8



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## CONTROLS

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

### AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OMS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
<b>On Event</b>	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
<b>Off Event</b>	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
<b>On Light Level</b>	The light level that the fixtures will turn on to when ON EVENT occurs.
<b>Dim Light Level</b>	The light level that the fixtures will dim down to when no motion is detected.
<b>Delay to Dim</b>	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
<b>Delay to Off</b>	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
<b>Sensitivity</b>	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.



# Mirada Medium (MRM)

## Outdoor LED Area Light



### OVERVIEW

Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

### QUICK LINKS

[Ordering Guide](#)
[Performance](#)
[Photometrics](#)
[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- RoHS compliant
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALS04 BRZ IL							
Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation <sup>2</sup>	Voltage	Driver
<b>MRM</b> - Mirada Medium Area Light	<b>LED</b>	<b>7L</b> - 7,000 lms, 48W <b>9L</b> - 9,000 lms, 62W <b>12L</b> - 12,000 lms, 85W <b>18L</b> - 18,000 lms, 135W <b>24L</b> - 24,000 lms, 176W <b>30L</b> - 30,000 lms, 232W <b>36L</b> - 36,000 lms, 288W <b>42L</b> - 42,000 lms, 314W <b>48L</b> - 48,000 lms, 401W <b>55L</b> - 55,000 lms, 438W Custom Lumen Packages <sup>1</sup>	<b>SIL</b> - Silicone	<b>2</b> - Type 2 <b>3</b> - Type 3 <b>4</b> - Type 4 <b>5W</b> - Type 5 Wide <b>FT</b> - Forward Throw <b>FTA</b> - Forward Throw Automotive <b>AM</b> - Automotive Merchandise <b>LC</b> - Left Corner <b>RC</b> - Right Corner	<b>(blank)</b> - standard <b>L</b> - Optics rotated left 90° <b>R</b> - Optics rotated right 90°	<b>UNV</b> - Universal Voltage (120-277V) <b>HV</b> - High Voltage (347-480V)	<b>DIM</b> - 0-10V Dimming (0-10%)
Color Temp		Color Rendering	Finish		Options		
<b>50</b> - 5,000 CCT <b>40</b> - 4,000 CCT <b>30</b> - 3,000 CCT <b>AMB</b> - Phosphor Converted Amber <sup>12</sup>		<b>70CRI</b> - 70 CRI	<b>BLK</b> - Black <b>BRZ</b> - Dark Bronze <b>GMG</b> - Gun Metal Gray <b>GPT</b> - Graphite	<b>MSV</b> - Metallic Silver <b>PLP</b> - Platinum Plus <b>SVG</b> - Satin Verde Green <b>WHT</b> - White	<b>(Blank)</b> - None <b>IH</b> - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup> <b>IL</b> - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup>		

### Controls (Choose One)

**(Blank)** - None

#### Wireless Controls System

- ALSC** - AirLink Synapse Control System<sup>13</sup>
- ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor<sup>13</sup>
- ALSCS04** - AirLink Synapse Control System with 20-40' Motion Sensor<sup>13</sup>
- ALBCS1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)<sup>5</sup>
- ALBCS2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)<sup>5</sup>

#### Stand-Alone Controls

- EXT** - 0-10V Dimming leads extended to housing exterior
- CR7P** - 7 Pin Control Receptacle ANSI C136.41<sup>6</sup>
- IMSBTL1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup>
- IMSBTL2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup>

#### Button Type Photocells

- PC120** - 120V
- PC1208-277** - 208 - 277V
- PC1347** - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>7</sup>

CONTROLS ACCESSORIES	
Description	Order Number
PC120 Photocell for use with CR7P option (120V) <sup>8</sup>	<b>122514</b>
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup>	<b>122515</b>
Twist Lock Photocell (347V) for use with CR7P <sup>8</sup>	<b>122516</b>
Twist Lock Photocell (480V) for use with CR7P <sup>8</sup>	<b>1225180</b>
AirLink 5 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661409</b>
AirLink 7 Pin Twist Lock Controller (120-277V Only) <sup>8</sup>	<b>661410</b>
AirLink 7 Pin Twist Lock Controller (347-480V)	<b>679948</b>
Shorting Cap for use with CR7P	<b>149328</b>

FUSING OPTIONS <sup>11</sup>	
Single Fusing (120V)	<a href="#">See Fusing Accessory Guide</a>
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

SHIELDING OPTIONS	
Mirada Small	<a href="#">See Shielding Guide</a>
Mirada Medium	
Mirada Large	
Zone Medium	
Slice Medium	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available with 5W distribution
3. Consult Factory for availability.
4. Not available in HV.
5. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.
6. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

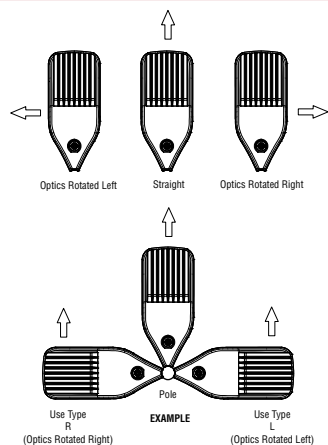
7. Accessories are shipped separately and field installed.
8. Factory installed CR7P option required. See Options.
9. "CLR" denotes finish. See Finish options.
10. Only available with ALSC/ALSCH control options.
11. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.
12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.
13. Not available with 55L Lumen Package.

## ACCESSORIES

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES			
Side Arm	<b>Universal Mounting Bracket</b> Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5" <b>Part Number: BKA UMB CLR</b>		Shielding	<b>Integral Louver</b> Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs <b>Part Number: 690981</b>	
	<b>Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS POM B3B5 XX CLR</b>			<b>Integral Half Louver</b> Field Install Integral Half Louver provides great backlight control without impacting front side distribution. <b>Part Number: 743415</b>	
	<b>15° Tilt Quick Mount Plate</b> True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" <b>Part Number: BKS PQ15 B3B5 XX CLR</b>			<b>External Shield</b> External shield blocks view of light source from any side of luminaire, additional shielding configurations available <b>Part Number: 783607BLK (3") / 776538BLK (6")</b>	
Tenon / Slipfitter	<b>Adjustable Slipfitter</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal) <b>Part Number: BKA ASF CLR</b>		Poles	<b>Square Poles</b> 14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction <b>Part Number: 4SQ/5SQ/6SQ</b>	
	<b>Square Tenon Top</b> Mounts onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires <b>Part Number: BKA XNM *</b>			<b>Round Poles</b> 10 - 30' steel and aluminum poles in 4" and 5" sizes for retrofit and new construction <b>Part Number: 4RP/SRP</b>	
	<b>Square Internal Slipfitter</b> Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires <b>Part Number: BKA X_ISF * CLR</b>			<b>Tapered Poles</b> 20' - 39" steel and aluminum poles for retrofit and new construction <b>Part Number: RTP</b>	
Wall Mount / Wood Pole	<b>Wall Mount Bracket</b> Mounts onto vertical wall surface ( hardware/anchors not included) <b>Part Number: BKS XB0 WM CLR</b>		Misc.	<b>Bird Spikes</b> 10' Linear Bird Spike Kit, 4" recommended per luminaire, includes silicone adhesive and application tool <b>Spike Part Number: 751631</b> <b>Adhesive Part Number: 751632</b> <b>Caulk Gun Part Number: 751636</b>	
	<b>Wood Pole Bracket</b> Mounts onto wooden poles (6" minimum OD, hardware/anchors not included) <b>Part Number: BKS XB0 WP CLR</b>			Replace CLR with paint finish description Replace X with: 3 Replace XX with SQ for square pole or RD for round pole ( $\geq 3"$ OD) Replace * with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad) Replace _ with 4 (4" square pole) or 5 (5" square pole)	

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBTL Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PERFORMANCE

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DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
9L	2	70	9853	159	B2-U0-G2	9853	159	B2-U0-G2	9853	159	B2-U0-G2	62
	3		9926	160	B2-U0-G2	9926	160	B2-U0-G2	9926	160	B2-U0-G2	
	4		9178	148	B2-U0-G3	9713	157	B2-U0-G3	9498	153	B2-U0-G3	
	5W		9504	153	B3-U0-G2	9504	153	B3-U0-G2	9504	153	B3-U0-G2	
	FT		9856	159	B2-U0-G3	9856	159	B2-U0-G3	9856	159	B2-U0-G3	
	FTA		9900	160	B2-U0-G2	9900	160	B2-U0-G2	9900	160	B2-U0-G2	
	AM		10019	162	B2-U0-G1	10019	162	B2-U0-G1	10019	162	B2-U0-G1	
	LC/RC		9008	145	B2-U0-G3	9533	154	B2-U0-G3	9321	150	B2-U0-G3	
12L	2	70	13135	155	B3-U0-G2	13135	155	B3-U0-G2	13135	155	B3-U0-G2	85
	3		13232	156	B2-U0-G2	13232	156	B2-U0-G2	13232	156	B2-U0-G2	
	4		12223	144	B2-U0-G3	12935	152	B2-U0-G4	12648	149	B2-U0-G4	
	5W		12669	149	B4-U0-G2	12669	149	B4-U0-G2	12669	149	B4-U0-G2	
	FT		13138	155	B2-U0-G3	13138	155	B2-U0-G3	13138	155	B2-U0-G3	
	FTA		13196	155	B2-U0-G2	13196	155	B2-U0-G2	13196	155	B2-U0-G2	
	AM		13355	157	B2-U0-G2	13355	157	B2-U0-G2	13355	157	B2-U0-G2	
	LC/RC		11996	141	B2-U0-G3	12695	149	B2-U0-G3	12414	146	B2-U0-G3	
18L	2	70	19318	143	B3-U0-G3	19318	143	B3-U0-G3	19318	143	B3-U0-G3	135
	3		19461	144	B3-U0-G3	19461	144	B3-U0-G3	19461	144	B3-U0-G3	
	4		18013	133	B2-U0-G4	19063	141	B3-U0-G5	18640	138	B3-U0-G5	
	5W		18633	138	B4-U0-G2	18633	138	B4-U0-G2	18633	138	B4-U0-G2	
	FT		19324	143	B3-U0-G3	19324	143	B3-U0-G3	19324	143	B3-U0-G3	
	FTA		19408	144	B3-U0-G3	19408	144	B3-U0-G3	19408	144	B3-U0-G3	
	AM		19641	145	B3-U0-G2	19641	145	B3-U0-G2	19641	145	B3-U0-G2	
	LC/RC		17679	131	B2-U0-G3	18710	139	B2-U0-G3	18295	136	B2-U0-G3	
24L	2	70	24142	147	B4-U0-G3	25957	147	B4-U0-G3	25957	147	B4-U0-G3	176
	3		25001	149	B3-U0-G3	26149	149	B3-U0-G3	26149	149	B3-U0-G3	
	4		24396	152	B3-U0-G5	25600	160	B3-U0-G5	25457	159	B3-U0-G5	
	5W		24327	142	B5-U0-G3	25037	142	B5-U0-G3	25037	142	B5-U0-G3	
	FT		24994	148	B3-U0-G3	25964	148	B3-U0-G3	25964	148	B3-U0-G3	
	FTA		24171	148	B3-U0-G3	26077	148	B4-U0-G3	26077	148	B4-U0-G3	
	AM		24939	150	B3-U0-G2	26393	150	B3-U0-G2	26393	150	B3-U0-G2	
	LC/RC		25884	162	B3-U0-G4	25884	162	B3-U0-G4	25310	158	B3-U0-G4	
30L	2	70	30171	140	B4-U0-G3	32417	140	B4-U0-G3	32417	140	B4-U0-G3	232
	3		31243	141	B3-U0-G4	32656	141	B3-U0-G4	32656	141	B3-U0-G4	
	4		30631	144	B3-U0-G5	32141	151	B3-U0-G5	31961	150	B3-U0-G5	
	5W		30402	135	B5-U0-G3	31267	135	B5-U0-G3	31267	135	B5-U0-G3	
	FT		31233	140	B4-U0-G4	32424	140	B4-U0-G4	32424	140	B4-U0-G4	
	FTA		30207	140	B4-U0-G4	32566	140	B4-U0-G4	32566	140	B4-U0-G4	
	AM		3116	142	B4-U0-G3	32960	142	B4-U0-G3	32960	142	B4-U0-G3	
	LC/RC		32498	153	B3-U0-G5	32498	153	B3-U0-G5	31777	149	B3-U0-G5	

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
36L	2	70	35357	133	B4-U0-G3	38275	133	B4-U0-G3	38275	133	B4-U0-G3	288
	3		36614	134	B4-U0-G4	38557	134	B4-U0-G4	38557	134	B4-U0-G4	
	4		35402	139	B3-U0-G5	37148	146	B4-U0-G5	36940	145	B4-U0-G5	
	5W		35627	128	B5-U0-G4	36917	128	B5-U0-G4	36917	128	B5-U0-G4	
	FT		36602	133	B4-U0-G4	38283	133	B4-U0-G4	38283	133	B4-U0-G4	
	FTA		35399	134	B4-U0-G4	38450	134	B4-U0-G4	38450	134	B4-U0-G4	
	AM		36524	135	B4-U0-G3	38916	135	B4-U0-G3	38916	135	B4-U0-G3	
	LC/RC		37561	147	B3-U0-G5	37561	147	B3-U0-G5	36727	144	B3-U0-G5	
42L	2	70	41035	131	B5-U0-G4	42602	136	B5-U0-G4	42542	135	B5-U0-G4	314
	3		42493	135	B4-U0-G5	44115	140	B4-U0-G5	44053	140	B4-U0-G5	
	4		41453	132	B4-U0-G5	43497	138	B4-U0-G5	43254	138	B4-U0-G5	
	5W		41349	132	B5-U0-G4	42927	134	B5-U0-G4	42866	137	B5-U0-G4	
	FT		42481	135	B4-U0-G4	44103	140	B4-U0-G4	44040	140	B4-U0-G4	
	FTA		41083	131	B4-U0-G4	42652	136	B5-U0-G4	42591	136	B5-U0-G4	
	AM		42389	135	B4-U0-G3	44007	140	B4-U0-G3	43944	140	B4-U0-G3	
	LC/RC		43980	140	B3-U0-G5	43980	140	B3-U0-G5	43004	137	B3-U0-G5	
48L	2	70	45133	123	B5-U0-G4	46856	128	B5-U0-G4	46789	128	B5-U0-G4	401
	3		46737	128	B4-U0-G5	48521	133	B4-U0-G5	48452	132	B4-U0-G5	
	4		46006	126	B4-U0-G5	48275	132	B4-U0-G5	48005	131	B4-U0-G5	
	5W		45478	124	B5-U0-G4	47214	129	B5-U0-G4	47147	129	B5-U0-G4	
	FT		46723	128	B4-U0-G5	48507	133	B4-U0-G5	48438	132	B4-U0-G5	
	FTA		45187	123	B5-U0-G4	46912	128	B5-U0-G4	46845	128	B5-U0-G4	
	AM		4662	127	B4-U0-G3	48402	132	B4-U0-G3	48333	132	B4-U0-G3	
	LC/RC		48811	133	B4-U0-G5	48811	133	B4-U0-G5	47728	130	B4-U0-G5	
55L	2	70	50179	115	B5-U0-G4	52095	119	B5-U0-G4	52021	119	B5-U0-G4	438
	3		51963	119	B4-U0-G5	53947	123	B4-U0-G5	53870	123	B4-U0-G5	
	4		51635	119	B4-U0-G5	54181	125	B4-U0-G5	53878	124	B4-U0-G5	
	5W		50563	115	B5-U0-G4	52493	120	B5-U0-G4	52418	120	B5-U0-G4	
	FT		50539	115	B4-U0-G5	52468	120	B4-U0-G5	52394	120	B4-U0-G5	
	FTA		50239	115	B5-U0-G4	52157	119	B5-U0-G4	52082	119	B5-U0-G4	
	AM		52223	119	B4-U0-G3	54216	124	B4-U0-G3	54139	124	B4-U0-G3	
	LC/RC		54113	124	B4-U0-G5	54113	124	B4-U0-G5	52912	121	B4-U0-G5	

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# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.52	0.30	0.26	0.22	0.18	0.13
12L	0.71	0.41	0.35	0.31	0.24	0.18
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.33	0.77	0.67	0.58	0.46	0.33
30L	1.78	1.02	0.89	0.77	0.61	0.44
36L	2.12	1.22	1.06	0.92	0.73	0.53
42L	2.62	1.51	1.31	1.13	0.90	0.65
48L	3.05	1.76	1.53	1.32	1.05	0.76
55L	3.65	2.11	1.83	1.58	1.26	0.91

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (0-25°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	93%	90%	86%
24L - 48L	100%	95%	89%	84%	79%
55L	100%	91%	82%	74%	67%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (40°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L	100%	97%	92%	88%	84%
24L - 48L	100%	94%	87%	80%	74%

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (50°C)					
Ambient	Initial <sup>2</sup>	25h <sup>2</sup>	50hr <sup>2</sup>	75hr <sup>2</sup>	100hr <sup>2</sup>
9L - 18L C	100%	96%	91%	87%	83%

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5848	80	B2-U0-G2	74
	3	6018	82	B1-U0-G2	
	5W	5471	74	B3-U0-G1	
	FT	5801	79	B1-U0-G2	
	FTA	5924	81	B1-U0-G1	
	AM	5995	81	B1-U0-G1	
12L	2	7530	74	B2-U0-G2	102
	3	7749	76	B1-U0-G2	
	5W	7045	69	B3-U0-G2	
	FT	7470	73	B2-U0-G2	
	FTA	7628	75	B2-U0-G2	
	AM	7720	76	B1-U0-G1	
18L	2	9311	69	B2-U0-G2	135
	3	9582	71	B2-U0-G2	
	5W	8712	65	B3-U0-G2	
	FT	9237	68	B2-U0-G2	
	FTA	9433	70	B2-U0-G2	
	AM	9546	71	B2-U0-G1	
24L	2	10955	63	B2-U0-G2	175
	3	11273	64	B2-U0-G2	
	5W	10249	59	B3-U0-G2	
	FT	10867	62	B2-U0-G2	
	FTA	11097	63	B2-U0-G2	
	AM	11230	64	B2-U0-G1	

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
9L	0.62	0.36	0.31	0.27	0.21	0.15
12L	0.85	0.50	0.43	0.38	0.30	0.22
18L	1.13	0.65	0.56	0.49	0.39	0.28
24L	1.47	0.85	0.73	0.64	0.51	0.37

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PHOTOMETRICS

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Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

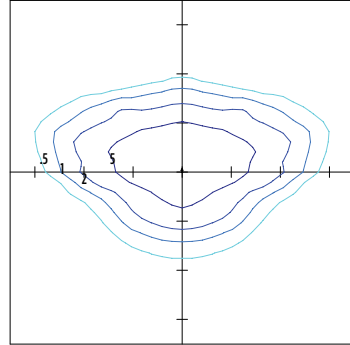
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,416
Watts	232
Efficacy	140
IES Type	Type II - Short
BUG Rating	B4-U0-G3

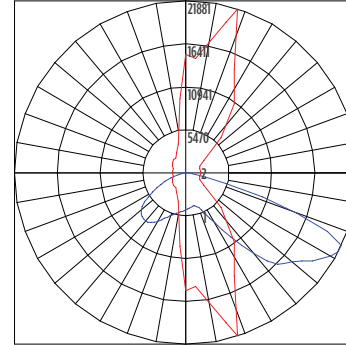
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	4796	15%
Medium (30-60°)	19811	61%
High (60-80°)	7474	23%
Very High (80-90°)	335	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32416</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



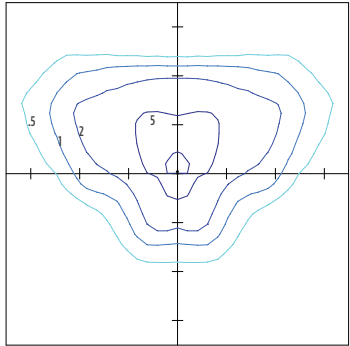
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-3-40-70CRI

Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,656
Watts	232
Efficacy	141
IES Type	Type III - Short
BUG Rating	B3-U0-G4

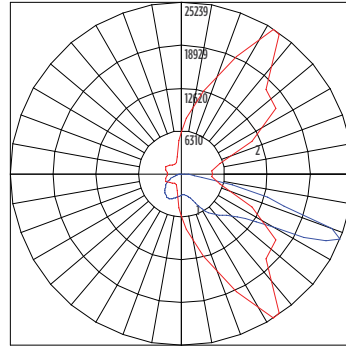
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3385	10%
Medium (30-60°)	16250	50%
High (60-80°)	12430	38%
Very High (80-90°)	591	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32656</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



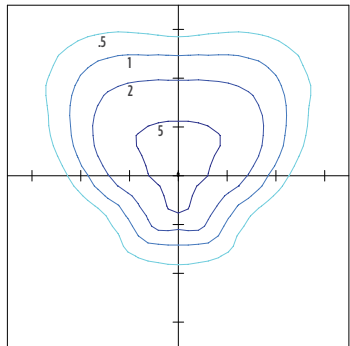
■ Vertical Plane ■ Horizontal Cone

### MRM-LED-30L-SIL-FT-40-70CRI

Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,424
Watts	232
Efficacy	140
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

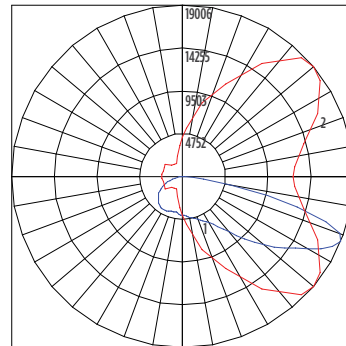
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3952	12%
Medium (30-60°)	15505	48%
High (60-80°)	12279	38%
Very High (80-90°)	688	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32424</b>	<b>100%</b>

ISO Footcandle



25' Mounting Height / 25' Grid Spacing  
 ■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

Polar Curve



■ Vertical Plane ■ Horizontal Cone



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

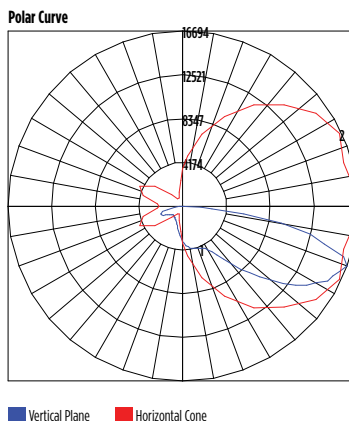
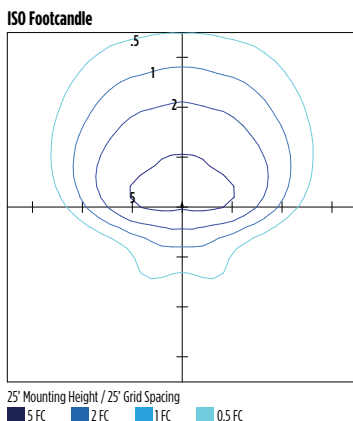
 Have questions? Call us at (800) 436-7800

## PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-4-40-70CRI

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,141
Watts	213
Efficacy	151
IES Type	Type IV - Very Short
BUG Rating	B3-U0-G5

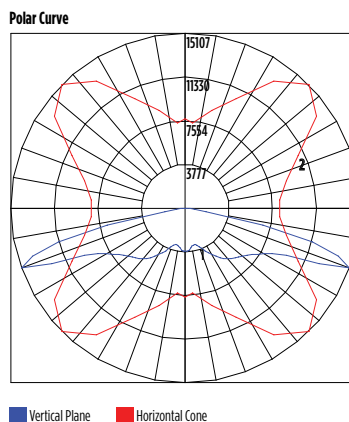
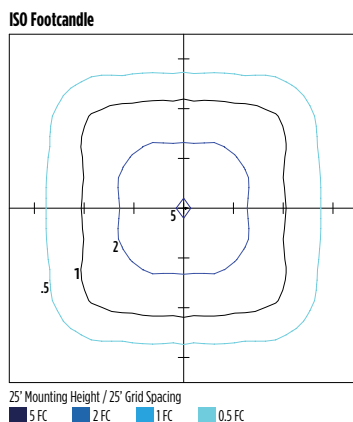
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3119	10%
Medium (30-60°)	13569	42%
High (60-80°)	13649	42%
Very High (80-90°)	1804	6%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32141</b>	<b>100%</b>



### MRM-LED-30L-SIL-5W-40-70CRI

Luminaire Data	
Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,267
Watts	232
Efficacy	135
IES Type	Type VS - Short
BUG Rating	B5-U0-G3

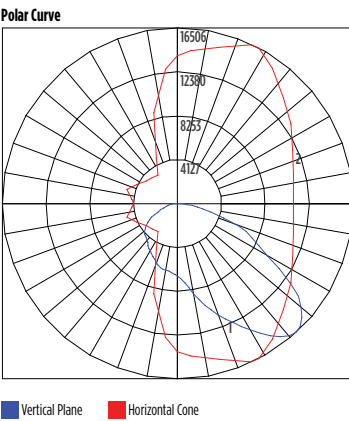
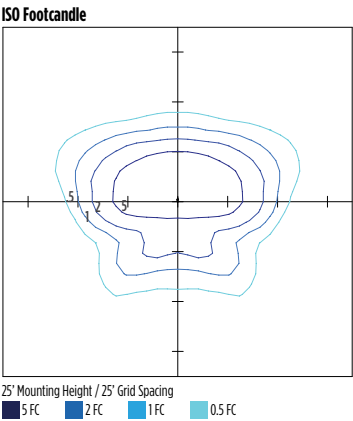
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	3138	10%
Medium (30-60°)	13193	42%
High (60-80°)	14641	47%
Very High (80-90°)	296	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>31267</b>	<b>100%</b>



### MRM-LED-30L-SIL-FTA-40-70CRI

Luminaire Data	
Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,566
Watts	232
Efficacy	140
IES Type	Type VS - Short
BUG Rating	B4-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6986	21%
Medium (30-60°)	19172	59%
High (60-80°)	5875	18%
Very High (80-90°)	534	2%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32566</b>	<b>100%</b>



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

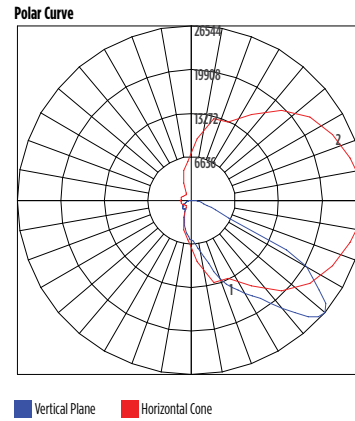
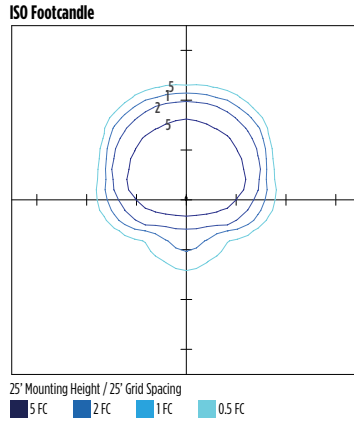
## PHOTOMETRICS (CONT)

[Back to Quick Links](#)

### MRM-LED-30L-SIL-AM-40-70CRI

Luminaire Data	
Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,960
Watts	232
Efficacy	142
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

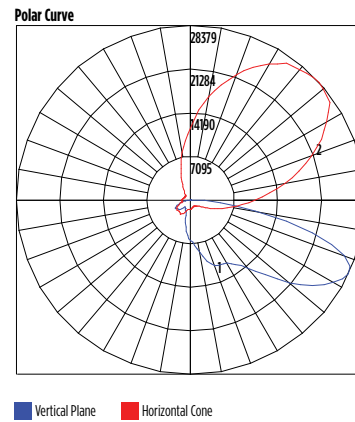
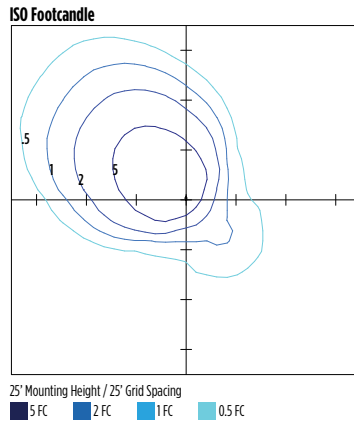
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	6363	19%
Medium (30-60°)	22026	67%
High (60-80°)	4192	13%
Very High (80-90°)	379	1%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32960</b>	<b>100%</b>



### MRM-LED-30L-SIL-LC-40-70CRI

Luminaire Data	
Left Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

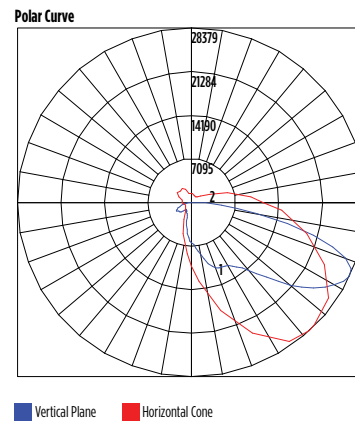
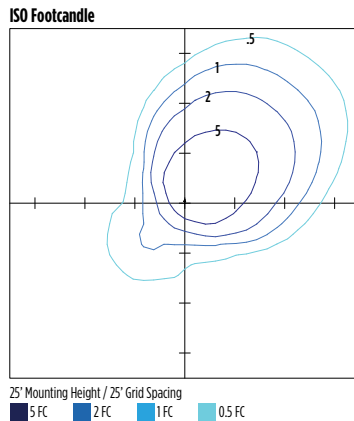
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>



### MRM-LED-30L-SIL-RC-40-70CRI

Luminaire Data	
Right Corner Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,498
Watts	213
Efficacy	153
IES Type	N/A
BUG Rating	B3-U0-G5

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	5083	16%
Medium (30-60°)	14808	46%
High (60-80°)	11603	36%
Very High (80-90°)	1005	3%
Uplight (90-180°)	0	0%
<b>Total Flux</b>	<b>32498</b>	<b>100%</b>

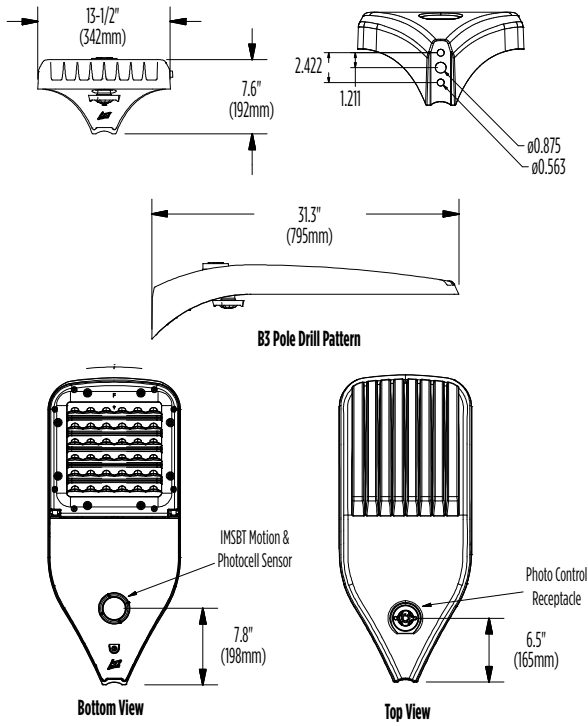








# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## PRODUCT DIMENSIONS



Luminaire EPA Chart					
Tilt Degree		0°	15°	30°	45°
	Single	0.5	1.0	1.5	1.9
	D180°	1.0	1.5	1.5	1.9
	D90°	0.8	1.8	1.9	2.3
	T90°	1.0	4.0	2.5	2.8
	TN120°	1.0	2.9	3.3	3.9
	Q90°	1.0	4.0	2.5	2.8

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## CONTROLS

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBT](#)



LEVITON App



Apple



Android

### AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



AirLink Blue App



Apple

### Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OMS	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
<b>On Event</b>	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
<b>Off Event</b>	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
<b>On Light Level</b>	The light level that the fixtures will turn on to when ON EVENT occurs.
<b>Dim Light Level</b>	The light level that the fixtures will dim down to when no motion is detected.
<b>Delay to Dim</b>	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
<b>Delay to Off</b>	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
<b>Sensitivity</b>	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.



# Steel Poles

## Square Straight



### QUICK LINKS

## FEATURES & SPECIFICATIONS

### Pole Shaft

- Straight poles are 4", 5", or 6" square.
- Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi.
- On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length.

### Hand-Hole

- Standard hand-hole location is 12" above pole base.
- Poles 22' and above have a 3x6 reinforced hand hole.

### Base

- Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi.
- Two-piece square base cover is optional.

### Anchor Bolts

- Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional.
- Anchor Bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 PSI.

### Ground Lug

- Ground lug is standard.

### Duplex Receptacle

- Weatherproof duplex receptacle is optional.

### Ground Fault Circuit Interrupter

- Self-testing Ground fault circuit interrupter is optional.

### Finishes

- Every pole is provided with the DuraGrip Protection System and a 5-year limited warranty:
- When the top-of-the line DuraGrip Plus Protection System is selected, in addition to the DuraGrip Protection System, a non-porous, automotive-grade corrosion coating is applied to the lower portion of the pole interior sealing and further protecting it from corrosion. This option extends the limited warranty to 7 years.

### Determining The Luminaire/Pole Combination For Your Application:

- Select luminaire from luminaire ordering information.
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart

- Select Pole Height
- Select MPH to match wind speed in the application area (See windspeed maps).
- Confirm pole EPA equal to or exceeding value of luminaire/bracket EPA
- Consult factory for special wind load requirements and banner brackets.

### Pole Vibration Damper

- A pole vibration damper is recommended in open terrain areas of the country where low steady state winds are common.
- Non-tapered poles and lightly loaded poles are more susceptible to destructive vibration if a damper is not installed.

### Listings

- UL Listed
- BAA/TAA Compliant

## ORDERING GUIDE

TYPICAL ORDER EXAMPLE: 4SQ B3 S11G 24 S PLP DGP						
Pole Series	Mounting Method	Material	Height <sup>2</sup>	Mounting Configuration	Pole Finish	Options
<b>4SQ</b> - 4" x 4" Square Straight Pole (New Build) <b>5SQ</b> - 5" x 5" Square Straight Pole (New Build) <b>6SQ</b> - 6" x 6" Square Straight Pole (New Build) <b>4SQU</b> - 4" x 4" Square Straight Pole (Retrofit) <b>5SQU</b> - 5" x 5" Square Straight Pole (Retrofit) <b>6SQU</b> - 6" x 6" Square Straight Pole (Retrofit)	<b>Bolt-On Mount<sup>1</sup></b> - See pole selection guide for patterns and fixture matches <b>B5</b> - 5" Traditional Drilling Pattern <b>B3 - 3" Reduced Pattern</b> <b>B2</b> - 2" Low Profile Drilling Pattern <b>B2R</b> - Raised 2" Low Profile Drilling Pattern ( <b>LAL4 ONLY</b> )  <b>T</b> - Tenon Mount - See pole selection guide for tenon and fixture/bracket matches  <b>I</b> - No Mounting Holes <sup>1</sup>	<b>S11G</b> - 11 Ga. Steel (4SQ/4SQU and 5SQ/5SQU Only)  <b>S07G</b> - 07 Ga. Steel	8' 10' 12' 13' 14' 15' 16' 17' 17'6" 18' 20' 22' 22'6" 23' 24' 25' 26' 27' 28' 30' 32' 35' 39'	<b>S</b> - Single/Parallel <b>D180</b> - Double <b>D90</b> - Double <b>DN90</b> - Double <b>T90</b> - Triple <b>TN120</b> - Triple <b>Q90</b> - Quad <b>QN90</b> - Quad  <b>N</b> - Tenon Mount (Standard Tenon size is 2-3/8" O.D.) <sup>8</sup> <b>(Blank)</b> - Use with I for Mounting Method	<b>BRZ</b> - Bronze <b>BLK</b> - Black <b>PLP</b> - Platinum Plus <b>WHT</b> - White <b>SVG</b> - Satin Verde Green <b>GPT</b> - Graphite <b>MSV</b> - Metallic Silver <b>BZA</b> - Alternate Bronze <b>GMG</b> - Gun Metal Gray	<b>GA</b> - Galvanized Anchor Bolts <b>SF</b> - Single Flood <sup>3</sup> <b>DF</b> - Double Flood <sup>3</sup> <b>DGP</b> - DuraGrip <sup>4</sup> Plus <b>LAB</b> - Less Anchor Bolts <b>CRXX</b> - Conduit Raceway <sup>4</sup>



**Need more information?**  
[Click here for our glossary.](#)

**Have additional questions?**  
 Call us at (800) 436-7800



### ACCESSORY ORDERING INFORMATION

Part Number	Description
122559CLR	4BC - 4" Square Base Cover
122561CLR	5BC - 5" Square Base Cover
122563CLR	6BC - 6" Square Base Cover
132488CLR	5BC - 5' Square Universal Base Cover
131252CLR	6BC - 6' Square Universal Base Cover
122566CLR	ER2 - Weatherproof Duplex Receptacle
122567CLR	GFI - Ground Fault Circuit Interrupter
132336	MH5 - mounting Hole Plugs for use with 5" traditional drill pattern (3 set of 3 plugs)
681126	MH3 - mounting Hole Plugs for use with 3" reduced drill pattern (3 set of 3 plugs)
725841	MH2 - Mounting Hole Plugs for use with 2" reduced drill pattern (3 sets of 3 plugs)
172539	Vibration Damper - 4" Square Pole (bolt-on mount only)
172538	Vibration Damper - 5" Square Pole (bolt-on mount only)
178361	Vibration Damper - 6" Square Pole (bolt-on mount only)

### ANCHOR BOLT KIT ORDERING INFORMATION

Part Number	Description
AB KIT 122584	4SQ S11G/S07G Anchor Bolts (Steel Plated)
AB KIT 122609	4SQ S11G/S07G Anchor Bolts (Galvanized)
AB KIT 1225850	5SQ S11G Anchor Bolts (Steel Plated)
AB KIT 122610	5SQ S11G Anchor Bolts (Galvanized)
AB KIT 122586	5SQ S07G Anchor Bolts (Steel Plated)
AB KIT 122611	5SQ S07G Anchor Bolts (Galvanized)
AB KIT 122612	6SQ S07G Anchor Bolts (Galvanized)

1 - See Area Light Brackets - 3" Reduced Drill Pattern and Area Light Brackets - 5" Traditional Drill Pattern Spec Sheets.

2 - Pole heights will have +/- 1/2" tolerance.

3 - See Flood Lighting Brackets section for choice of FBO brackets.

4 - CR selection must indicate required height and side of pole mounting location. Mounting template required at time of order.

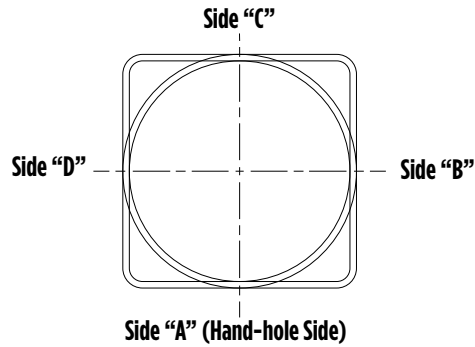
# Steel Poles Square Straight

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## DRILLING LOCATIONS

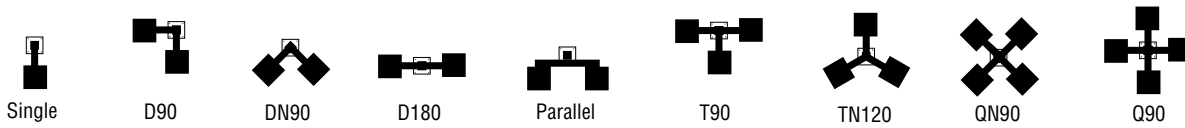
Sides	A	B	C	D
Hand-hole	X			
Single	X			
D180		X		X
D90	X			X
DN90 <sup>1</sup>				
T90	X	X		X
TN120 <sup>2</sup>				
Q90	X	X	X	X
QN90 <sup>3</sup>				
Single FBO	X			
Double FBO		X		X



- 1 - Two locations will be 45° to the left and right of Side A.
- 2 - Other two locations will be 120° to the left and right of Side A.
- 3 - Two locations will be 45° to the left and right of Side A and two locations will be 135° to the left and right of Side A.

Consult factory for custom variations. Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, except on 20' poles. Maximum height for SF and DF pole preparations on 20' poles is 13' from the base.

## FIXTURE CONFIGURATIONS



# Steel Poles Square Straight

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## BOLT CIRCLE

### STANDARD BASEPLATE

4" (102mm) square  
10-1/8" (257mm) sq.



11" (279mm) Dia. Bolt Circle

5" (127mm) square  
10-1/8" (257mm) sq.



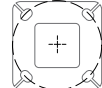
11" (279mm) Dia. Bolt Circle

5" (127mm) square  
10-1/8" (257mm) sq.



11" (279mm) Dia. Bolt Circle

6" (152mm) square  
12" (305mm) sq.



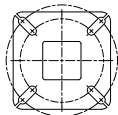
12" (305mm) Dia. Bolt Circle

Bolt Circle Designator	B	C	D	J
Bolt Circle	8"-11" Slotted (203mm-279mm)	9"-11" Slotted (229mm-279mm)	9"-11" Slotted (229mm-279mm)	12" Slotted (305mm)
Anchor Bolt Size	3/4" x 24" (19mm x 609mm)	3/4" x 24" (19mm x 609mm)	1" x 30" (25mm x 762mm)	1" x 30" (25mm x 762mm)
Anchor Bolt Projection	3-1/4" (83mm)	3-1/4" (83mm)	4" (102mm)	4" (102mm)
Base Plate Opening for Wireway Entry	3-3/4" (92mm)	4-3/4" (121mm)	4-5/8" (117mm)	5-5/8" (143mm)
Base Plate Dimensions	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 1" thk. (257mm x 25mm)	12" sq. x 1-1/8" thk. (305mm x 29mm)
Pole Gauge	11	11	7	7

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

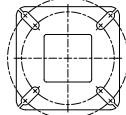
### UNIVERSAL BASEPLATE

4" (102mm) square  
10.5" (267mm) sq.



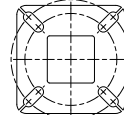
4SQ

5" (127mm) square  
11.125" (283mm) sq.



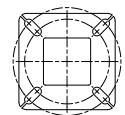
5SQ

5" (127mm) square  
11.75" (298mm) sq.



5SQ

6" (152mm) square  
12-1/2" (318mm) sq.



14" (356mm) Dia. Bolt Circle

Bolt Circle Designator	E	F	G	H
Bolt Circle	9"-12" Slotted	10"-13" Slotted	10"-13" Slotted	11"-14" Slotted (279mm-356mm)
Anchor Bolt Size	3/4" x 24" (19mm x 609 mm)	3/4" x 24" (19mm x 609 mm)	1" x 30" (25mm x 762mm)	1" x 30" (25mm x 762mm)
Anchor Bolt Projection	3-1/4" (83 mm)	3-1/4" (83 mm)	4" (102 mm)	4" (102mm)
Base Plate Opening for Wireway Entry	3-3/4" (92mm)	4-3/4" (121mm)	4-5/8" (130 mm)	5-5/8" (143mm)
Base Plate Dimensions	10-1/2" sq. x 3/4" thk. (267 mm x 19 mm)	11-1/8" sq. x 3/4" thk. (283 mm x 19 mm)	11-3/4" sq. x 1" thk. (298 mm x 25 mm)	12-1/2" sq. x 1-1/8" thk. (318mm x 29mm)
Pole Gauge	11	11	7	7

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the appropriate anchor bolt template.

1- Full Galvanized option is 1" x 30" straight headed anchor bolt. Contact factory for questions



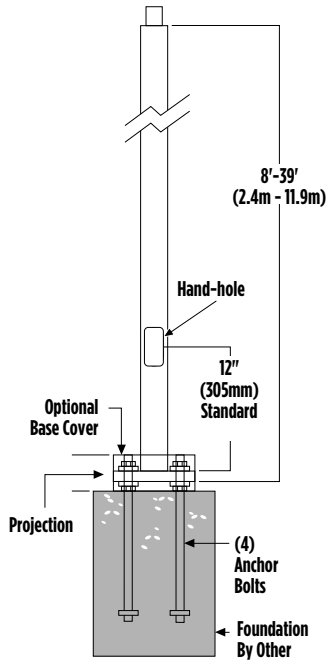
# Steel Poles Square Straight

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## PRODUCT DIMENSIONS

SQT –  
N= 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon



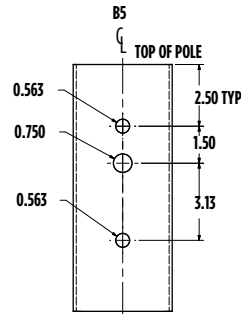
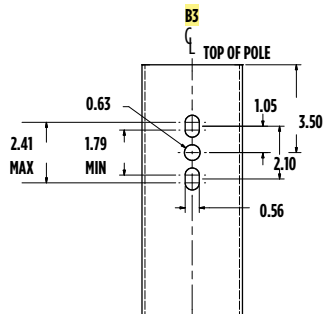
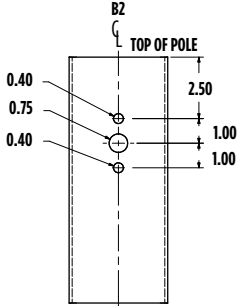
SF –  
Single Flood  
Pole Preparation



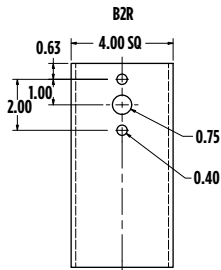
### SHIPPING WEIGHTS

4" (102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4" (102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5" (127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5" (127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6" (152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 24") (19mm x 609mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 30") (25mm x 762mm)	30 lbs. (14kg)/set

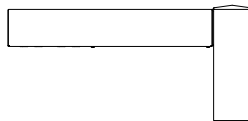
### Bolt-On Mount 2-Bolt Pattern



**ONLY FOR USE WITH LAL4 PRODUCT**  
BZR- Raised 2" low profile drilling pattern



SIDE VIEW



TOP VIEW



# Steel Poles Square Straight

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## WIND SPEED

### EPA Information

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.

CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.

POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	BOLT CIRCLE			EPA								
			Designator	Dia. (in)	Anchor bolt Dia {in}	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
4" x 11-ga x 12'	12	11	B	8" - 11"	0.75	13.9	12.5	11.3	9.2	7.6	6.3	5.2	4.3	3.6
4" x 11-ga x 14'	14	11	B	8" - 11"	0.75	10.7	9.5	8.5	6.8	5.4	4.4	3.5	2.7	2.1
4" x 11-ga x 16'	16	11	B	8" - 11"	0.75	8.2	7.2	6.4	4.9	3.8	2.9	2.1	1.5	1.0
4" x 11-ga x 18'	18	11	B	8" - 11"	0.75	6.3	5.4	4.7	3.4	2.4	1.6	1.0	0.4	n/a
4" x 11-ga x 20'	20	11	B	8" - 11"	0.75	4.6	3.9	3.2	2.1	1.2	0.6	n/a	n/a	n/a
4" x 11-ga x 22'	22	11	B	8" - 11"	0.75	7.6	6.6	5.7	4.2	3.0	2.0	1.2	0.5	n/a
4" x 11-ga x 24'	24	11	B	8" - 11"	0.75	6.0	5.1	4.3	2.9	1.8	0.9	n/a	n/a	n/a
4" x 11-ga x 26'	26	11	B	8" - 11"	0.75	4.6	3.7	3.0	1.7	0.7	n/a	n/a	n/a	n/a
4" x 7-ga x 14'	14	7	B	8" - 11"	0.75	18.3	16.4	14.9	12.2	10.2	8.5	7.1	5.9	5.0
4" x 7-ga x 16'	16	7	B	8" - 11"	0.75	14.7	13.2	11.8	9.6	7.8	6.3	5.2	4.2	3.4
4" x 7-ga x 18'	18	7	B	8" - 11"	0.75	11.9	10.5	9.3	7.4	5.9	4.6	3.6	2.8	2.1
4" x 7-ga x 20'	20	7	B	8" - 11"	0.75	9.6	8.4	7.4	5.7	4.3	3.2	2.3	1.6	0.9
4" x 7-ga x 22'	22	7	B	8" - 11"	0.75	7.7	6.6	5.7	4.2	3.0	2.0	1.2	0.5	n/a
4" x 7-ga x 24'	24	7	B	8" - 11"	0.75	6.0	5.1	4.3	2.9	1.8	0.9	n/a	n/a	n/a
4" x 7-ga x 26'	26	7	B	8" - 11"	0.75	4.6	3.7	3.0	1.7	0.7	n/a	n/a	n/a	n/a
4" x 7-ga x 28' <sup>2</sup>	28	7	B	8" - 11"	0.75	3.3	2.5	1.8	0.7	n/a	n/a	n/a	n/a	n/a
4" x 7-ga x 30' <sup>2</sup>	30	7	B	8" - 11"	0.75	2.2	1.4	0.8	n/a	n/a	n/a	n/a	n/a	n/a
5" x 11-ga x 14'	14	11	C	9" - 11"	0.75	17.4	15.7	14.1	11.5	9.3	7.7	6.3	5.2	4.2
5" x 11-ga x 16'	16	11	C	9" - 11"	0.75	13.8	12.3	10.9	8.7	6.9	5.5	4.3	3.3	2.5
5" x 11-ga x 18'	18	11	C	9" - 11"	0.75	10.8	9.6	8.4	6.5	4.9	3.7	2.6	1.8	1.1
5" x 11-ga x 20'	20	11	C	9" - 11"	0.75	8.5	7.3	6.3	4.6	3.2	2.1	1.2	0.5	n/a
5" x 11-ga x 22'	22	11	C	9" - 11"	0.75	10.9	9.5	8.3	6.2	4.5	3.2	2.1	1.2	0.5
5" x 11-ga x 24'	24	11	C	9" - 11"	0.75	8.8	7.5	6.4	4.5	3.0	1.8	0.8	n/a	n/a
5" x 11-ga x 26'	26	11	C	9" - 11"	0.75	6.8	5.7	4.6	3.0	1.6	0.6	n/a	n/a	n/a
5" x 11-ga x 28'	28	11	C	9" - 11"	0.75	5.2	4.1	3.2	1.6	0.4	n/a	n/a	n/a	n/a
5" x 11-ga x 30'	30	11	C	9" - 11"	0.75	3.6	2.7	1.8	0.4	n/a	n/a	n/a	n/a	n/a
5" x 7-ga x 20'	20	7	D	9" - 11"	1.00	21.6	19.3	17.3	14.0	11.3	9.2	7.4	6.0	4.8
5" x 7-ga x 22'	22	7	D	9" - 11"	1.00	20.7	18.6	16.6	13.3	10.7	8.5	6.8	5.4	4.2
5" x 7-ga x 24'	24	7	D	9" - 11"	1.00	17.7	15.6	13.8	10.8	8.5	6.6	5.0	3.7	2.6
5" x 7-ga x 26'	26	7	D	9" - 11"	1.00	14.9	13.1	11.4	8.8	6.6	4.9	3.5	2.3	1.3
5" x 7-ga x 28'	28	7	D	9" - 11"	1.00	12.5	10.9	9.4	6.9	4.9	3.4	2.1	1.0	n/a
5" x 7-ga x 30'	30	7	D	9" - 11"	1.00	10.3	8.9	7.5	5.2	3.4	2.0	0.8	n/a	n/a
5" x 7-ga x 35'	35	7	D	9" - 11"	1.00	6.0	4.8	3.6	1.8	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 24'	24	7	J	12"	1.00	18.6	16.4	14.3	11.2	8.6	6.5	4.8	3.4	2.2
6" x 7-ga x 26'	26	7	J	12"	1.00	15.6	13.4	11.7	8.8	6.5	4.6	3.0	1.8	0.7
6" x 7-ga x 28'	28	7	J	12"	1.00	12.9	10.9	9.3	6.7	4.6	2.8	1.5	n/a	n/a
6" x 7-ga x 30'	30	7	J	12"	1.00	10.4	8.8	7.3	4.8	2.9	1.3	n/a	n/a	n/a
6" x 7-ga x 32'	32	7	J	12"	1.00	8.3	6.8	5.5	3.1	1.3	n/a	n/a	n/a	n/a
6" x 7-ga x 34'	34	7	J	12"	1.00	6.5	5.0	3.7	1.6	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 35'	35	7	J	12"	1.00	5.5	4.2	2.9	0.9	n/a	n/a	n/a	n/a	n/a
6" x 7-ga x 39'	39	7	J	12"	1.00	2.3	1.0	n/a	n/a	n/a	n/a	n/a	n/a	n/a

# Steel Poles Square Straight

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## WIND SPEED

POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	BOLT CIRCLE			EPA								
			Designator	Dia. (in)	Anchor Bolt Dia (in)	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
5" x 11-ga x 14'	14	11	F	11"	0.75	17.6	15.8	14.2	11.5	9.4	7.7	6.3	5.2	4.3
5" x 11-ga x 14'	14	11	F	13"	0.75	17.6	15.8	14.2	11.5	9.4	7.7	6.3	5.2	4.3
5" x 11-ga x 16'	16	11	F	11"	0.75	13.9	12.2	11.0	8.8	7.0	5.5	4.3	3.4	2.5
5" x 11-ga x 16'	16	11	F	13"	0.75	13.9	12.2	11.0	8.8	7.0	5.5	4.3	3.4	2.5
5" x 11-ga x 18'	18	11	F	11"	0.75	11.0	9.6	8.4	6.5	5.0	3.7	2.7	1.8	1.1
5" x 11-ga x 18'	18	11	F	13"	0.75	11.0	9.6	8.4	6.5	5.0	3.7	2.7	1.8	1.1
5" x 11-ga x 20'	20	11	F	11"	0.75	8.6	7.4	6.4	4.6	3.3	2.2	1.3	0.5	-
5" x 11-ga x 20'	20	11	F	13"	0.75	8.6	7.4	6.4	4.6	3.3	2.2	1.3	0.5	-
5" x 11-ga x 22'	22	11	F	11"	0.75	12.7	11.1	9.6	7.4	5.6	4.1	3.0	2.0	1.1
5" x 11-ga x 22'	22	11	F	12"	0.75	10.3	8.9	7.7	5.7	4.1	2.8	1.8	0.9	-
5" x 11-ga x 22'	22	11	F	13"	0.75	8.6	7.4	6.4	4.6	3.1	2.0	1.1	-	-
5" x 11-ga x 24'	24	11	F	11"	0.75	10.2	8.9	7.6	5.6	4.0	2.6	1.6	0.7	-
5" x 11-ga x 24'	24	11	F	12"	0.75	8.0	6.9	5.8	4.0	2.6	1.5	0.5	-	-
5" x 11-ga x 24'	24	11	F	13"	0.75	6.7	5.5	4.6	3.0	1.7	0.7	-	-	-
5" x 11-ga x 26'	26	11	F	11"	0.75	8.1	6.9	5.8	4.0	2.5	1.3	-	-	-
5" x 11-ga x 26'	26	11	F	12"	0.75	6.2	5.1	4.1	2.6	1.3	-	-	-	-
5" x 11-ga x 26'	26	11	F	13"	0.75	5.0	4.0	3.1	1.6	0.5	-	-	-	-
5" x 11-ga x 28'	28	11	F	11"	0.75	6.3	5.2	4.3	2.5	1.1	-	-	-	-
5" x 11-ga x 28'	28	11	F	12"	0.75	4.6	3.6	2.7	1.2	-	-	-	-	-
5" x 11-ga x 28'	28	11	F	13"	0.75	3.4	2.5	1.7	-	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	11"	0.75	4.7	3.7	2.8	1.2	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	12"	0.75	3.1	2.2	1.4	-	-	-	-	-	-
5" x 11-ga x 30'	30	11	F	13"	0.75	2.0	1.2	0.5	-	-	-	-	-	-
5" x 7-ga x 20'	20	7	G	11"	0.75	19.0	17.0	15.0	12.2	9.7	7.8	6.2	5.0	3.8
5" x 7-ga x 20'	20	7	G	12"	0.75	21.4	19.1	17.1	13.8	11.2	9.1	7.3	5.9	4.7
5" x 7-ga x 20'	20	7	G	13"	0.75	21.4	19.2	17.2	13.9	11.3	9.2	7.4	6.0	4.8
5" x 7-ga x 20'	20	7	G	11"	1	21.7	19.4	17.4	14.0	11.4	9.3	7.5	6.0	4.8
5" x 7-ga x 20'	20	7	G	13"	1	21.7	19.4	17.4	14.0	11.4	9.3	7.5	6.0	4.8
5" x 7-ga x 22'	22	7	G	11"	0.75	16.0	14.1	12.5	9.8	7.6	5.9	4.4	3.3	2.3
5" x 7-ga x 22'	22	7	G	12"	0.75	17.7	15.9	14.2	11.2	8.7	7.0	5.4	4.1	3.0
5" x 7-ga x 22'	22	7	G	13"	0.75	19.9	17.3	15.6	12.6	10.0	8.0	6.3	5.0	3.8
5" x 7-ga x 22'	22	7	G	11"	1	21.0	18.7	16.7	13.4	10.6	8.5	6.8	5.4	4.2
5" x 7-ga x 22'	22	7	G	12"	1	23.4	20.6	18.4	15.0	12.2	9.9	8.0	6.4	5.1
5" x 7-ga x 22'	22	7	G	13"	1	21.3	18.8	17.0	13.7	11.0	8.8	7.0	5.6	4.3
5" x 7-ga x 24'	24	7	G	11"	0.75	13.3	11.6	10.0	7.7	5.7	4.2	2.9	1.9	1.0
5" x 7-ga x 24'	24	7	G	12"	0.75	15.0	13.0	11.6	8.9	6.8	5.1	3.8	2.6	1.7
5" x 7-ga x 24'	24	7	G	13"	0.75	16.6	14.6	12.9	10.2	8.0	6.1	4.6	3.3	2.3
5" x 7-ga x 24'	24	7	G	11"	1	17.5	15.7	13.9	10.9	8.6	6.7	5.0	3.7	2.7
5" x 7-ga x 24'	24	7	G	12"	1	20.0	17.4	15.4	12.3	9.9	7.8	6.0	4.7	3.5
5" x 7-ga x 24'	24	7	G	13"	1	18.1	16.0	14.2	11.0	8.7	6.7	5.3	3.9	2.8
5" x 7-ga x 26'	26	7	G	11"	0.75	10.9	9.3	8.0	5.9	4.1	2.7	1.6	0.6	-
5" x 7-ga x 26'	26	7	G	12"	0.75	12.4	10.9	9.5	7.0	5.1	3.6	2.3	1.3	-
5" x 7-ga x 26'	26	7	G	13"	0.75	14.0	12.3	10.7	8.1	6.0	4.4	3.1	2.0	1.0
5" x 7-ga x 26'	26	7	G	11"	1	15.0	13.2	11.5	8.8	6.7	4.9	3.5	2.3	1.3

# Steel Poles Square Straight

Type: \_\_\_\_\_

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## WIND SPEED

POLE <sup>1</sup>	Mtg. Height Length (ft)	Wall Thick (ga)	BOLT CIRCLE			EPA								
			Designator	Dia. (in)	Anchor Bolt Dia (in)	110 MPH	115 MPH	120 MPH	130 MPH	140 MPH	150 MPH	160 MPH	170 MPH	180 MPH
5" x 7-ga x 26'	26	7	G	12"	1	17.0	14.8	13.0	10.2	7.9	6.0	4.4	3.1	2.1
5" x 7-ga x 26'	26	7	G	13"	1	15.3	13.5	11.8	9.0	6.8	5.0	3.6	2.5	1.4
5" x 7-ga x 28'	28	7	G	11"	0.75	8.9	7.4	6.3	4.3	2.7	1.4	-	-	-
5" x 7-ga x 28'	28	7	G	12"	0.75	10.2	8.8	7.5	5.3	3.5	2.1	1.0	-	-
5" x 7-ga x 28'	28	7	G	13"	0.75	11.8	10.2	8.8	6.4	4.5	3.0	1.7	0.7	-
5" x 7-ga x 28'	28	7	G	11"	1	12.5	10.9	9.5	7.0	5.0	3.3	2.1	1.0	-
5" x 7-ga x 28'	28	7	G	12"	1	14.2	12.4	11.0	8.2	6.0	4.3	3.0	1.7	0.8
5" x 7-ga x 28'	28	7	G	13"	1	12.9	11.0	9.7	7.2	5.2	3.6	2.2	1.1	-
5" x 7-ga x 30'	30	7	G	11"	0.75	7.0	5.8	4.7	2.8	1.3	-	-	-	-
5" x 7-ga x 30'	30	7	G	12"	0.75	8.4	7.0	5.8	3.8	2.2	0.9	-	-	-
5" x 7-ga x 30'	30	7	G	13"	0.75	9.7	8.2	7.0	4.8	3.0	1.6	0.5	-	-
5" x 7-ga x 30'	30	7	G	11"	1	10.4	8.8	7.6	5.3	3.4	2.0	0.8	-	-
5" x 7-ga x 30'	30	7	G	12"	1	12.0	10.3	9.0	6.4	4.4	2.9	1.6	0.5	-
5" x 7-ga x 30'	30	7	G	13"	1	10.6	9.1	7.7	5.5	3.6	2.1	1.0	-	-
5" x 7-ga x 35'	35	7	G	11"	0.75	3.2	2.2	1.2	-	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	12"	0.75	4.4	3.2	2.2	0.5	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	13"	0.75	5.5	4.2	3.1	1.3	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	11"	1	6.0	4.8	3.6	1.8	-	-	-	-	-
5" x 7-ga x 35'	35	7	G	12"	1	7.3	6.0	4.8	2.7	1.1	-	-	-	-
5" x 7-ga x 35'	35	7	G	13"	1	6.3	5.0	3.8	1.9	-	-	-	-	-
6" x 7-ga x 24'	24	7	H	11"	1	16.5	14.4	12.6	9.6	7.2	5.3	3.8	2.5	1.4
6" x 7-ga x 24'	24	7	H	12-1/2"	1	19.8	17.5	15.4	12.0	9.2	7.0	5.3	3.8	2.7
6" x 7-ga x 24'	24	7	H	14"	1	23.0	20.5	18.0	14.3	11.2	8.9	6.9	5.3	3.8
6" x 7-ga x 26'	26	7	H	11"	1	13.7	11.8	10.2	7.5	5.3	3.6	2.1	1.0	-
6" x 7-ga x 26'	26	7	H	12-1/2"	1	16.5	14.6	12.6	9.6	7.0	5.2	3.6	2.2	1.1
6" x 7-ga x 26'	26	7	H	14"	1	19.6	17.3	15.2	11.7	8.9	6.7	5.0	3.5	2.2
6" x 7-ga x 28'	28	7	H	11"	1	11.0	9.3	7.8	5.5	3.5	1.9	0.6	-	-
6" x 7-ga x 28'	28	7	H	12-1/2"	1	13.8	12.0	10.2	7.5	5.2	3.4	1.9	0.7	-
6" x 7-ga x 28'	28	7	H	14"	1	16.4	14.5	12.5	9.4	6.9	4.7	3.2	1.8	0.7
6" x 7-ga x 30'	30	7	H	11"	1	9.0	7.3	6.0	3.6	1.9	0.5	-	-	-
6" x 7-ga x 30'	30	7	H	12-1/2"	1	11.4	9.6	8.0	5.5	3.4	1.7	-	-	-
6" x 7-ga x 30'	30	7	H	14"	1	14.0	12.0	10.0	7.2	5.0	3.2	1.6	-	-
6" x 7-ga x 32'	32	7	H	11"	1	7.0	5.5	4.2	2.0	-	-	-	-	-
6" x 7-ga x 32'	32	7	H	12-1/2"	1	9.2	7.6	6.0	3.8	1.8	-	-	-	-
6" x 7-ga x 32'	32	7	H	14"	1	11.4	9.7	8.0	5.4	3.2	1.6	-	-	-
6" x 7-ga x 34'	34	7	H	11"	1	5.1	3.7	2.5	0.6	-	-	-	-	-
6" x 7-ga x 34'	34	7	H	12-1/2"	1	7.2	5.6	4.4	2.2	-	-	-	-	-
6" x 7-ga x 34'	34	7	H	14"	1	9.3	7.6	6.2	3.6	1.7	-	-	-	-
6" x 7-ga x 35'	35	7	H	11"	1	4.2	3.0	1.8	-	-	-	-	-	-
6" x 7-ga x 35'	35	7	H	12-1/2"	1	6.2	4.8	3.6	1.4	-	-	-	-	-
6" x 7-ga x 35'	35	7	H	14"	1	8.2	6.6	5.2	2.9	1.0	-	-	-	-
6" x 7-ga x 39'	39	7	H	11"	1	1.0	-	-	-	-	-	-	-	-
6" x 7-ga x 39'	39	7	H	12-1/2"	1	3.0	1.6	0.5	-	-	-	-	-	-
6" x 7-ga x 39'	39	7	H	14"	1	4.6	3.3	2.0	-	-	-	-	-	-