AGENDA

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
***MARCH 29, 2022* IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

NOTES: [*1*] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPEICIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

(1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) Approval of minutes for the *March 15, 2022* Planning and Zoning Commission meeting.

(3) **P2022-011 (HENRY LEE)**
Consider a request by Dylan Adame, PE of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of a *Final Plat* for Lot 1, Block A, Stream 549 Addition being a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

(4) **MIS2022-006 (ANGELICA GAMEZ)**
Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of Suresh Shridharani of Harlan Properties, Inc. for the approval of a *Miscellaneous Case* for a *Treescape Plan* for a 145.102-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137 and Tract 1 of the J. H. Robenett Survey, Abstract No. 182, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, situated on the east side of Dowell Road south of the intersection of Dowell Road and SH-276, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(5) **Z2022-009 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these

cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is April 12, 2022.

(6) **Z2022-013 (ANGELICA GAMEZ)**
Hold a public hearing to discuss and consider a request by Rodolfo Cardenas of CARES Home Builder, Inc. for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 985A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive, and take any action necessary.

(7) **Z2022-014 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a *Zoning Change* from an Agricultural (AG) District to Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

(8) **Z2022-015 (BETHANY ROSS)**
Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a *Zoning Change* from an Agricultural (AG) District to Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

(9) **SP2022-009 (BETHANY ROSS)**
Discuss and consider a request by Jeff Kilburg of Apex Design Build for the approval of a *Site Plan* for a *Multi-Tenant Medical Office Building* on a 1.2531-acre parcel of land identified as Lot 5, Block B, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated at the northeast corner of the intersection of Rockwall Parkway and Summer Lee Drive, and take any action necessary.

(10) **SP2022-010 (HENRY LEE)**
Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Kip Estep for the approval of a *Site Plan* for an *Office Building* in conjunction with an existing medical manufacturing company on a 1.617-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [*SH-205*], and take any action necessary.

(11) **SP2022-012 (HENRY LEE)**
Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a *Site Plan* for two (2) *Restaurant/Retail Buildings* on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [*SH-205*], and take any action necessary.

(12) **SP2022-013 (BETHANY ROSS)**
Discuss and consider a request by Cameron Slown, PE of Teague, Nall, and Perkins, Inc. on behalf of Randall Noe of Rockwall Rental Properties, LP for the approval of a *Site Plan* for eight (8) *Office Buildings* on a 2.768-acre parcel of land identified as Lot 13, Block 1, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6535, 6545, 6595 & 6605 Alliance Drive and 182, 194, 202 & 214 Jeff Boyd Road, and take any action necessary.

(13) **SP2022-014 (HENRY LEE)**
Discuss and consider a request by Chistophe Guignard of KRISS USA, Inc. on behalf of Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a *Site Plan* for an *Office/Manufacturing Facility* on a 16.44-acre tract of land being identified as Lots 7 & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) and Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of FM-549 and SH-276, and take any action necessary.

(14) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2022-005: Replat for Lots 3 & 4, Block A, Cox Acres Addition **(APPROVED)**

- P2022-006: Replat for Lots 13 & 14 of the Rockwall Business Park East Addition **(APPROVED)**
- P2022-007: Replat for Lot 3, Block A, Allen Anderson Addition **(APPROVED)**
- P2022-008: Preliminary Plat for the Marina Village Subdivision **(APPROVED)**
- Z2022-006: Zoning Change (PD-73 to LI) for the REDC **(APPROVED; 1ST READING)**
- Z2022-007: Specific Use Permit (SUP) for *Residential Infill* at 514 Yvonne Drive **(APPROVED; 1ST READING)**
- Z2022-008: Specific Use Permit (SUP) for *Residential Infill* at 7106 Odell Drive **(APPROVED; 1ST READING)**
- Z2022-009: Specific Use Permit (SUP) for *Restaurant, Less than 2,000 SF, with Drive-Through or Drive-In* **(POSTPONED TO THE APRIL 4, 2022 CITY COUNCIL MEETING)**
- Z2022-010: Zoning Change (AG to PD) for Vallis Greene **(TABLED TO THE APRIL 4, 2022 CITY COUNCIL MEETING)**
- Z2022-011: Zoning Change (AG to GR) for the Boys and Girls Club **(APPROVED; 1ST READING)**
- Z2022-012: Text Amendment for the Airport Overlay (AP OV) District **(APPROVED; 1ST READING)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on *March 25, 2022* at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
***MARCH 15, 2022* IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

NOTES ABOUT PUBLIC PARTICIPATION = RED

NOTES: [*1*] ADDITIONAL CASE INFORMATION FOR THIS MEETING CAN BE FOUND AT HTTP://WWW.ROCKWALL.COM/MEETINGS.ASP, AND [*2*] TO PROVIDE INPUT ON A ZONING OR SPEICIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

I. CALL TO ORDER

Vice-Chairman Welch called the meeting to order at 6:00 PM. Commissioners present were John Womble, Derek Deckard, and Mark Moeller. Absent from the meeting were Commissioners Sedric Thomas, Jean Conway, and Chairman Eric Chodun. Staff members present were Director of Planning and Zoning Ryan Miller, Planners Henry Lee and Bethany Ross, Planning Coordinator Angelica Gamez, Civil Engineer Sarah Johnston, and City Engineer Amy Williams. Absent from the meeting was Assistant City Engineer Jeremy White.

II. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.

III. OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

Vice-Chairman Welch explained how open forum is conducted and asked if anyone wished to speak to come forward at this time.

Ryan Joyce
767 Justin Road
Rockwall, TX 75087

Mr. Joyce came forward and announced that on April 1st and 2nd there will be a Rockwall County 4H Youth Livestock Show and Sale.

Vice-Chairman Welch asked if anyone else wished to speak; there being no one coming forward, Vice-Chairman Welch closed the open forum.

IV. CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

2. Approval of minutes for the *February 15, 2022* Planning and Zoning Commission meeting.

3. **P2022-005** **(BETHANY ROSS)**
Consider a request by Humberto Johnson of the Skorburg Company on behalf of Glen and Rosie Cox for the approval of a *Replat* of Lots 3 & 4, Block A, Cox Acres Addition being a 17.51-acre parcel of land identified as Lot 1, Block A, Cox Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, addressed as 1800 E. Quail Run Road, and take any action necessary.

4. **P2022-006** **(ANGELICA GAMEZ)**
Consider a request by Dnyanada Nevgi of the SRC Land Building and Real Estate, LLC on behalf of Rajesh Malviya of Buffalo Country Properties, LLC for the approval of a *Replat* for Lots 13 & 14 of the Rockwall Business Park East Addition being a 6.280-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated on the southside of Ralph Hall Parkway west of the intersection of Ralph Hall Parkway and S. Goliad Street [*SH-205*], and take any action necessary.

5. **P2022-007** **(HENRY LEE)**
Consider a request by Priya Acharya of Wier & Associates, Inc. on behalf of Ross Wood of Frost Bank for the approval of a *Replat* for Lot 3, Block A, Allen Anderson Addition being a 1.198-acre parcel of land identified as Lot 2, Block A, Allen Anderson Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, located at the southwest corner of the intersection of Horizon Road and Rockwall Parkway, and take any action necessary.

6. **P2022-008** **(HENRY LEE)**

Consider a request by William Johnson of LTL Family Holdings, LLC for the approval of a *Preliminary Plat* for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

7. **SP2022-007** (HENRY LEE)
Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development (US), Inc. for the approval of a *Site Plan* for Phase 2 of the Gideon Grove Subdivision being a 30.36-acre tract of land identified as a portion of Tract 1-01 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 84 (PD-84) for Single-Family 7 (SF-7) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located at the northwest corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

8. **SP2022-008** (BETHANY ROSS)
Consider a request by John M. Lucio of JAL Architect Group, Inc. on behalf of Guy Holbert of EPE's/Penske for the approval of an *Amended Site Plan* to add *Outside Storage* to an existing *Trucking Company* being a 4.060-acre parcel of land identified as Lot 1R, Block 1, Texas Star Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2890 S. Goliad Street [*SH-205*], and take any action necessary.

Commissioner Deckard made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 4-0 with Commissioners Thomas, Conway, and Chodun absent.

V. PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

9. **Z2022-006** (RYAN MILLER)
Hold a public hearing to discuss and consider a request by Matt Wavering of the Rockwall Economic Development Corporation for the approval of a *Zoning Change* from Planned Development District 73 (PD-73) to a Light Industrial (LI) District for a 8.008-acre parcel of land identified as Lot 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) for Commercial (C) District land uses, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Corporate Crossing and SH-276, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief background in regards to the request. The applicants are requesting to change the subject property to a Light Industrial District. Currently, there is a regional detention system that was established at the corner of the property which leads to a remainder to the north and the west. Those remainder tracts can be incorporated into the vacant land adjacent to those to create larger parcels. The easiest way to do that is to change the zoning to be consistent to the adjacent parcels. The subject property is located within the Technology District and is currently designated for Commercial Retail District land uses. This will necessitate a change to the Future Land Use Map of Technology and Employment Center but it is not a far departure from the land use map. Mr. Miller advised that this was a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. On February 25, staff mailed out 102 notices to property owners and occupants within 500-feet of the subject property. Mr. Miller then advised that the applicant and staff were present and available to answer questions.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard made a motion to approve Z2022-006. Commissioner Womble seconded the motion which passed by a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

10. **Z2022-007** (ANGELICA GAMEZ)
Hold a public hearing to discuss and consider a request by Juan Aguilar on behalf of Jose A. Contreras of Black Toro Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 1096 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 514 Yvonne Drive, and take any action necessary.

Planning Coordinator Angelica Gamez provided a brief summary in regards to the request. The applicant is requesting approval of a Specific Use Permit (SUP) for Residential Infill for the purpose of constructing a single-family home in Lake Rockwall Estates. As you know Lake Rockwall Estates is an established subdivision due to it being more than 90% developed, consists of 5 or more lots, and has been in existence for more than 10 years. The applicant's requests meets all of the zoning requirements for Planned Development District 75 with the exception of the garage orientation. The proposed garage will be approximately 2 feet behind the front façade of the home. However, staff should note that these requests have been approved in previous cases. Since this is a zoning case, staff mailed out 133 notices to property owners and occupants within 500-feet of the subject property. At the time this report was drafted staff had not received any notices in regards to this case. Ms. Gamez then advised the Commission that the applicants and staff were present and available to answer any questions.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Womble made a motion to approve Z2022-007 with staff recommendations. Commissioner Deckard seconded the motion with a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

11. **Z2022-008** (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Valerie Valdez of DDS Group on behalf of Blanca Canales of JCK Custom Homes, LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.3990-acre parcel of land identified as Lot 7, Block A, Heritage Heights Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 7106 Odell Avenue, and take any action necessary.

Planner Bethany Ross provided a brief summary and background in regards to the request. The applicant is requesting approval of an SUP for Residential Infill in an Established Subdivision. The proposed single-family home meets all of the zoning requirements and is in compliance with all requirements as stipulated in the Unified Development Code (UDC). The proposed home will be constructed in stucco and not brick like the surrounding homes but it is similar in color scheme. Due to this being a zoning case, staff mailed out 49 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all Homeowner Associations (HOAs) within 1,500-feet of the subject property. At the time this report was drafted, staff had received two (2) notices in favor of the applicant's request. Mrs. Ross then advised that the applicant and staff were present and available to answer questions.

John Clasendaya
2921 Brushcreek Street
Grand Prairie, TX 75052

The applicant came forward and provided additional details in regards to the request.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Moeller made a motion to approve Z2022-008 with staff recommendations. Commissioner Womble seconded the motion which passed by a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

12. **Z2022-009** (HENRY LEE)

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. In September of 2020, there was a similar request for this property for a restaurant but was withdrawn at City Council and denied at Planning and Zoning Commission by a vote of 6-0. The applicant is requesting approval for a restaurant with three (3) drive-through lanes. The applicant has indicated that landscape screening will be incorporated into the site. The site has the ability to potentially generate high volumes of traffic. This is a discretionary decision for the City Council. Mr. Lee explained the residential screening needed for the subject property. Staff has requested a letter from the applicant explaining business operations and hours of operations but has not received anything at the moment outlining the information. Should the Planning and Zoning Commission choose to recommend approval of this request, staff has included conditions of approval for it to allow a traffic impact analysis, site plan, and require additional landscaping at the intersection of S. Goliad and W. Bourn. Mr. Lee advised that this is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission. Staff mailed out 109 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all Homeowner Associations (HOAs) within 1,500-feet of the subject property. At the time this report was drafted, staff had received 14 notices from 13 property owners in opposition to the applicant's request.

Kevin Mattson
15110 N. Dallas Parkway, Suite 440
Dallas, TX 75248

The applicant came forward and provided additional details in regards to the request.

Vice-Chairman Welch asked what the hours of operation will be.
Commissioner Deckard expressed his issues and concerns with the site plan and its accessibility.
Commissioner Womble asked the need to exit out from the residential street.
Vice-Chairman Welch asked how many customers a day would be served.

Noah Williams
2355 Thomas Avenue
Dallas, TX 75201

Mr. Williams (representative) came forward and provided additional details in regards to the request.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak to come forward at this time.

Allen Anderson
1208 S. Lakeshore
Rockwall, TX 75087

Mr. Anderson came forward and wanted to clarify on the existing drives on the property.

Larry and Susie Thompson
901 S. Alamo
Rockwall, TX 75087

Mr. and Mrs. Thomas came forward and expressed their concerns with the neon building, traffic, and the size of the wall. Mrs. Thomas also asked what the process was for a request such as this.

Mr. Miller added clarification of the request.

Vice- Chairman Welch asked if anyone else wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Moeller indicated he liked the product but his concerns are due to traffic in this location.
Commissioner Womble also indicated that he liked the product but this was a problematic location.
Commissioner Deckard asked if he was open to table the item and have the applicant try out a different site plan.

Commissioner Deckard made a motion to table case Z2022-009 until the March 29th meeting. Commissioner Womble seconded the motion to tale which passed by a vote of 3-1 with Commissioner Moeller dissenting.

13. **Z2022-010** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 93.97-acre tract of land identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting to change the zoning on the property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. The concept plan shows that it will consist of 182 lots with nine (9) 100' x 130' lots, twenty-nine (29) 82' x 120' lots, forty-five (45) 72' x 115' lots, twenty-two (22) 72' x 110' lots, and seventy-seven (77) 62' x 110' lots. The density proposed by the applicant is 1.94 units per gross acre. The applicant is indicating that the houses will be 90% masonry with the ability to go up to 80% cementuous fiber board. There will be a mix of garage orientations with 50% five (5) foot recess 5-feet behind the front façade and will be forward facing. Also, there will be a 50% mix of j-swing traditional swing garages. However, this is one area of non-conformance in the subdivision. Staff mailed out 78 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all Homeowner Associations (HOAs) within 1,500-feet of the subject property. At the time this report was drafted, staff had received three (3) property owner notifications in opposition, one (1) email in opposition, and one (1) online form in favor of the applicant's request. Mr. Miller then advised that the applicant and staff were present and available to answer questions.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak to come forward at this time.

Edward Howard
902 Rio Vista Lane
Rockwall, TX 75087

Mr. Howard came forward and expressed his concerns regarding debris and the loss of a view. He added that he's concerned about the lot being within the airport flight path and his desire for more open space.

Vice-Chairman Welch asked the applicant to come forward.

Ryan Joyce
767 Justin Road
Rockwall, TX 75087

Mr. Joyce came forward and provided a PowerPoint presentation in regards to the request.

Commissioner Womble asked about the applicant's need for the garages to be front facing. He also asked if these would be custom homes or if a developer would be in charge of the construction of the homes.
Commissioner Moeller asked if there was a plan to modify the 60-foot lots in the development.

Vice-Chairman Welch then continued with the public hearing.

Amy Reeg
1414 Dhaka Drive

Rockwall, TX 75087

Mrs. Reeg came forward and expressed her concerns in regards to traffic as well as her being in opposition to the request.

Bob Wacker
309 Featherstone Drive
Rockwall, TX 75087

Mr. Wacker came forward and expressed his opposition in regards to the request.

Vice- Chairman Welch asked if anyone else wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard expressed his being in favor of the request.
Mr. Joyce came down and gave further explanation in regards to the comments made by the public.

Commissioner Deckard made a motion to approve Z2022-010. Commissioner Womble seconded the motion which passed by a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

14. **Z2022-011** **(RYAN MILLER)**
Hold a public hearing to discuss and consider a City initiated request for the approval of a *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (205 BY-OV) District, located at the southwest corner of the intersection of FM-1141 and N. John King Boulevard, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary and background in regards to the request. In August 2021, a representative of Master Plan came and submitted a request to change the zoning on the property from an Agricultural (AG) District to a Light Industrial (LI) District. At the time of that case, they submitted a site plan showing an assemble use being situated directly adjacent to the Runway Protection Zone (RPZ) of the Ralph Hall Municipal Airport. Specifically, the Boys and Girls Club was looking at getting a piece of property there for development. This was generally outside the protection zone but could potentially be an issue for the airport in the future. After contacting the owner, the City came up with a solution to facilitate a property swap between the City and the owner. This would allow the City to secure a portion of its protection zone which is something the FAA deemed favorable around other municipal airports. It would then give the Boys and Girls Club a different piece of property away from the airport and potentially a safer location. It was voted on during City Council where they allocated the 380 Agreement and, as part of that agreement, the City was to rezone the subject property to a Commercial designation to facilitate the swap. However, Staff was notified by several residents of the Caruth Organization an opposition to the Commercial zoning and not to the Boys and Girls Club use. Staff then agreed that changing the zoning to General Retail would be more appropriate zoning for this location. In order to change the zoning, staff contacted the property owner who expressed via email that they were amenable to the change. Therefore, the request tonight is to change the zoning from an Agricultural (AG) District to a General Retail (GR) District. Staff mailed out 62 notices to property owners and occupants within 500-feet of the subject property. Staff also notified all Homeowner Associations (HOAs) within 1,500-feet of the subject property. At the time this report was drafted, staff has received two (2) property owner notifications in opposition, two (2) emails in opposition, and two (2) responses from the online SUP form in opposition and three (3) emails opposed to the Commercial zoning in the request.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak to come forward at this time.

Donna Dorman
1093 Shady Lane Drive
Rockwall, TX 75087

Mrs. Dorman came forward and expressed her being in favor of the zoning change request.

Amy Reeg
1414 Dhaka Drive
Rockwall, TX 75087

Mrs. Reed came forward and expressed her being in opposition of the request.

Vice- Chairman Welch asked if anyone else wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Moeller made a motion to approve Z2022-011. Commissioner Deckard seconded the motion which passed by a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

15. **Z2022-012** **(RYAN MILLER)**
Hold a public hearing to discuss and consider approval of a *Text Amendment* to Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of incorporating Airport Overlay (AP OV) District, and take any action necessary.

Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. In 2014, it was planned to incorporate an Airport Overlay District. The Planning and Zoning Commission at that time reviewed the text amendment and unanimously recommended approval. Ultimately, the City Council chose not to act on the text amendment. What the Airport Overlay District does is it sets up certain requirements for development around the airport. For the most part, it prohibits development in the Runway Protection Zones (RPZ). Anything else within the area is considered to be in the Airport Influence Zone which does have land use restrictions. Specifically, it prohibits the development of assembly type uses such as churches, daycares, and schools in and around the airport. Staff mailed out 28 notices to property owners and occupants within 500-feet of the subject property. Mr. Miller then advised that Staff was available for questions.

Vice- Chairman Welch opened the public hearing and asked if anyone wished to speak to come forward at this time

Clark Staggs
1601 Seascape
Rockwall, TX 75087

Mr. Staggs came forward and requested that staff table the item until it has been seen by the Airport Advisory Board.

Mr. Miller indicated that this was not an operational change and staff did receive guidance by the FAA.

Zach Pummill
1245 Ridge Road West
Rockwall, TX 75087

Mr. Pummill came forward and explained that the addition of the district would take up 2/3 of his land and no longer make it usable for his purpose of expanding his church. He asked if there were any other solutions to where he would not have to give up so much of his land.

David Bunin
2561 Daybreak Drive
Rockwall, TX 75032

Mr. Bunin came forward and expressed his being in favor of the request.

Robert Dillinder
1651 Airport Drive
Rockwall, TX 75087

Mr. Dillinder came forward and stated he had no issue with the request but asked that the City focus on where they would be 10-15 years from now.

Bill Bricker
505 Westway Drive
Rockwall, TX 75087

Mr. Bricker came forward and expressed his bring in favor of the request

Wilson Ware
2440 Shorecrest Drive
Rockwall, TX 75087

Mr. Ware came forward and expressed his being in favor of the request.

Vice- Chairman Welch asked if anyone else wished to speak; there being no one indicating such, Vice-Chairman Welch closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Deckard asked what would have happened to the structure if it was already built within the RPZ.
Commissioner Moeller asked if we could petition the FAA for modifications of the RPZ.

Commissioner Womble made a motion to approve Z2022-012 with staff recommendations. Commissioner Deckard seconded the motion which passed by a vote of 4-0.

Vice-Chairman Welch advised that this item will go before City Council on March 21, 2022.

VI. ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

16. **MIS2022-004** **(HENRY LEE)**
Discuss and consider a request by James Best for the approval of a *Miscellaneous Case* for a *Special Exception* to allow the construction of a front yard fence for a single-family home on a 2.60-acre parcel of land identified as Lot 1, Block A, Best Estate Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 54 Shadydale Lane, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of a variance for the purpose of constructing a front yard fence on the subject property. The proposed elevations show that the proposed fence will be constructed of concrete masonry units finished with stucco. Mr. Lee then advised that front yard fences are a discretionary decision for the Planning and Zoning Commission.

Eugene Termini
1851 S. FM 549
Rockwall, TX 75032

Mr. Termini came forward and provided additional details in regards to the request.

Commissioner Womble made a motion to approve MIS2022-004. Commissioner Moeller seconded the motion which passed by a vote of 4-0.

17. **SP2022-004** (BETHANY ROSS)
Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Kevin Lefere of Airport Road, LLC for the approval of a *Site Plan* for an *Office Building* on a 0.47-acre parcel of land identified as Lot 4, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1501 Airport Road, and take any action necessary.

Planner Bethany Lee provided a brief summary in regards to the request. The applicant submitted an application requesting the approval of a site plan for a 7,766 square-foot medical office building. The site plan generally conforms to the General Commercial District Standards of the UDC with the exception of the primary and secondary articulation. The applicant made changes as recommended by the Architectural Review Board as well as providing compensatory measures. As a condition of approval, the applicant must provide a photometric plan, lighting cut sheets and a parking agreement to meet all the parking requirements indicated in the UDC. Staff should note that the request for exception is a discretionary decision by the Planning and Zoning Commission and a super majority vote is needed.

Commissioner Deckard made a motion to approve SP2022-004 with the condition that the applicant gets an agreement with the neighboring property to meet parking requirements. Commissioner Welch seconded the motion which passed by a vote of 4-0.

18. **SP2022-005** (HENRY LEE)
Discuss and consider a request by Jeremy Nelson, PE of Kirkman Engineering on behalf of Phil Wagner of the Rockwall Economic Development Corporation for the approval of a *Site Plan* for an *Office/Warehouse/Manufacturing Facility* on a 3.81-acre parcel of land identified as Lot 4, Block B, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of Innovation Drive and SH-276, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting the approval of an office warehouse/manufacturing facility. Based on the applicant's site plan, treescape plan, photometric plan, and building elevations, it generally conforms to the requirements in the District Development Standards within the UDC for Light Industrial District. However, the applicant is requesting an exception to allow tilt wall construction as well as requesting variances for the primary and secondary articulation which is not uncommon for these large industrial buildings.

Commissioner Womble made a motion to approve SP2022-005. Commissioner Deckard seconded the motion which passed by a vote of 4-0.

19. **SP2022-006** (HENRY LEE)
Discuss and consider a request by Luis Chico of Creativo Designs on behalf of Hector Rodriguez for the approval of a *Site Plan* for a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In* (*i.e. Pollo Regio*) on a 1.03-acre parcel of land identified as Lot 1, block A, Grandy's Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 726 E. IH-30, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of an amended site plan to renovate the existing 3,764 square-foot restaurant with drive-through to establish a Pollo Regio. Based on the proposed building elevations, the applicant is requesting a variance to the building materials as they are using more than 50% stucco on the northern western elevation as well as a variance to the roof standards.

Commissioner Womble made a motion to approve SP2022-006 with staff recommendations. Commissioner Moeller seconded the motion which passed by a vote of 4-0.

VII. DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

20. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2022-003: Final Plat for the Nelson Lake Subdivision *[APPROVED]*
- Z2022-001: PD Development Plan for the Harbor District Condominiums *[APPROVED; 1ST READING]*
- Z2022-002: PD Development Plan for the Sunset Ridge Residences *[APPROVED; 1ST READING]*
- Z2022-003: SUP for a *Restaurant with Drive-Through or Drive-In* in Planned Development District 70 (PD-70) *[APPROVED; 1ST READING]*

- Z2022-004: SUP for a *Guest Quarters/Secondary Living Unit* for 704 Jackson Street *[APPROVED; 1ST READING]*
- Z2022-005: SUP for a *Residential Infill Adjacent to an Established Subdivision* 503 S. Clark Street *[APPROVED; 1ST READING]*
- MIS2022-001: Alternative Tree Mitigation Settlement Agreement for 1775 Airport Road *[WITHDRAWN]*

Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VIII. ADJOURNMENT

Vice-Chairman Welch adjourned the meeting at 8:38PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this ____ day of _____ ____, 2022.

_____
Jerry Welch, Vice-Chairman

Attest:

_____
Angelica Gamez, Planning and Zoning Coordinator

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 29, 2022
APPLICANT:	Dylan Adame; *Kimley-Horn and Associates, Inc.*
CASE NUMBER:	P2022-011; *Final Plat for Lot 1, Block A, Stream 549 Addition*

SUMMARY

Consider a request by Dylan Adame, PE of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of a *Final Plat* for Lot 1, Block A, Stream 549 Addition being a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

PLAT INFORMATION

☑ The applicant is requesting the approval of a *Final Plat* for a 43.237-acre parcel of land (*i.e. Tract 11, of the J. Lockhart Survey, Abstract No. 134*) for the purpose of establishing the easements necessary to facilitate the development of the subject property. Prior to the applicant's submittal for this final plat, a site plan for the subject property was approved by the Planning and Zoning Commission for a ~301,120 SF *warehouse/distribution facility* [*Case No. SP2021-024*].

☑ The City Council approved *Ordinance No. 85-69* [*Case No. A1985-002*] annexing the subject property on December 3, 1985. At the time of annexation, the subject property was zoned Agricultural (AG) District. On July 6, 2021, the City Council approved *Ordinance No. 21-27* [*Case No. Z2021-018*] changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District for the purpose of developing the subject property. On September 14, 2021, the Planning and Zoning Commission approved a site plan [*Case No. SP2021-024*] to allow a ~301,120 SF *warehouse/distribution facility* on the subject property.

☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Final Plat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

☑ Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Final Plat* for *Lot 1, Block A, Stream 549 Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;

(2) Any construction resulting from the approval of this *Final Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	P2022-011	CASE MANAGER:	Henry Lee
PROJECT NAME:	Lot 1, Block A, STREAM 549 Addition	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	1351 CORPORATE CROSSING	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Consider a request by Dylan Adame, PE of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of a Final Plat for Lot 1, Block A, Stream 549 Addition being a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/25/2022	Approved w/ Comments

03/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Stream 549 Addition being a 43.237-acre tract of land identified as Tract 11 of the J. Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-011) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.

M.5 Correct the Title Block to the following:

Final Plat
Lot 1, Block A,
Stream 549 Addition
43.237 Acres Situated in
Tract 11 of the John Lockhart Survey, Abstract No. 134
City of Rockwall, Rockwall County, Texas

M.6 Indicate the Fire Lanes and label them as “24’ Fire Lane, Public Access, and utility Easement.”

M.7 Please indicate the centerline for Capitol Boulevard.

M.8 Please indicate any proposed corner clips.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior approval. The Planning and Zoning Commission Meeting for this case will be held on March 29, 2022.

1.10 Although this agenda item may be on the consent agenda, staff recommends that a representative be present for all meetings.

1.11 The projected City Council Meeting date for this case will be April 4, 2022.

1.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Needs Review

03/23/2022: - Must include the fire lane and access easement.
- Must include the floodplain cross sections and information labels (x-section number and fully developed WSEL)
- Need to show/define Floodplain/Drainage Easement - to be drawn per Figure 3.38 (pg 120) of Standards of Design and Construction.
- Remove Note #6 from signature page of plat
- Label the Erosion Hazard Setback as "Drainage easement and erosion hazard setback limits"
- Delete note 6 from page 3 of 4.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	03/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved

03/22/2022: Fire lane shall be included on the plat

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/22/2022	Approved w/ Comments

03/22/2022: Assigned address is *1351 CORPORATE CROSSING, ROCKWALL, TX 75032*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Henry Lee	03/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	03/25/2022	N/A

No Comments

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-011

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ■ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1515 Corporate Crossing				
SUBDIVISION	Stream 549 Addition	LOT	1	BLOCK	A
GENERAL LOCATION	West of intersection of Corporate Crossing and Capital Blvd				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	LI	CURRENT USE	Undeveloped		
PROPOSED ZONING		PROPOSED USE	Warehouse		
ACREAGE	43.237	LOTS [CURRENT]	N/A	LOTS [PROPOSED]	1

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Stream 1515 Corporate Crossing, LP	■ APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Grayson Hughes	CONTACT PERSON	Dylan Adame, P.E.
ADDRESS	2001 Ross Avenue	ADDRESS	13455 Noel Road
	Suite 400		Suite 700
CITY, STATE & ZIP	Dallas, Texas 75201	CITY, STATE & ZIP	Dallas, TX 75240
PHONE	214-208-0519	PHONE	972-776-1769
E-MAIL	grayson.hughes@streamrealty.com	E-MAIL	dylan.adame@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chris Jackson [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 1,164.74 *, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 17th *DAY OF* March *, 20* 22 *. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 *DAY OF* March *, 20* 22

OWNER'S SIGNATURE Chris Jackson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Margarita Ruiz

NOTARY PUBLIC STATE OF TEXAS
MARGARITA RUIZ
Notary ID #131449217
My Commission Expires
February 13, 2026

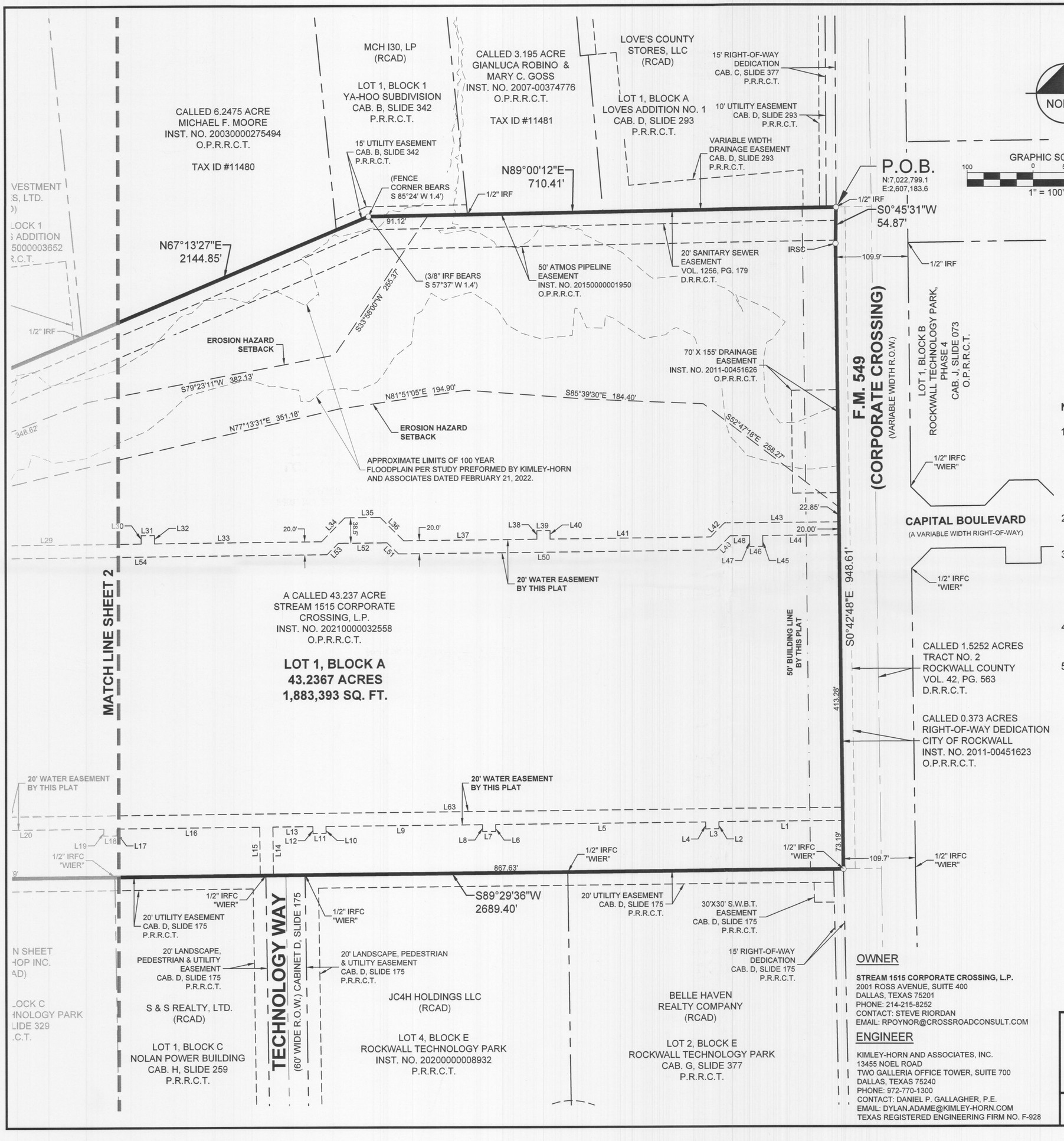
MY COMMISSION EXPIRES Feb. 13, 2026



City of Rockwall

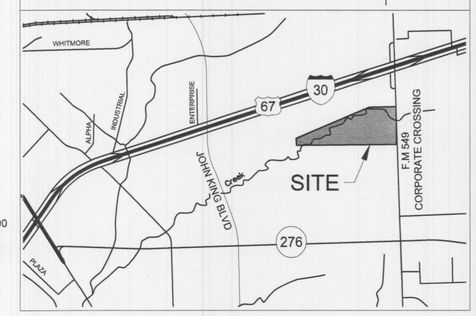
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP

N.T.S.



LEGEND:

RCAD	= ROCKWALL CENTRAL APPRAISAL DISTRICT
P.O.B.	= POINT OF BEGINNING
IRSC	= 5/8" IRON ROD W/ "KHA" CAP SET
IRFC	= IRON ROD W/CAP FOUND
IRF	= IRON ROD FOUND
IPF	= IRON PIPE FOUND
XF	= "X" CUT IN CONCRETE FOUND
O.P.R.R.C.T.	= OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
D.E.	= DRAINAGE EASEMENT
E.E.	= ELECTRIC EASEMENT
F.L.A.U.E.	= FIRE LANE, ACCESS AND UTILITY EASEMENT
S.S.E.	= SANITARY SEWER EASEMENT
W.E.	= WATER EASEMENT

NOTES:

1. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed of record, and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Rockwall. Selling a portion of this property by metes and bounds, except as shown on an approved, filed, and accepted conveyance plat, final plat, or replat is a violation of the city ordinance and State law.
2. All Property Corners are 5/8-inch iron rod with plastic cap stamped "KHA" found unless otherwise noted here.
3. The Bearings and Coordinates shown hereon are grid values of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983 (2011).

   REFERENCE DATUM: City of Rockwall Geodetic Control Monument 6
4. Property owner(s) shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements, if any.
5. See line table on sheet 2 of 4.

FINAL PLAT
STREAM 549 ADDITION
LOT 1, BLOCK A
43.237 ACRES SITUATED IN THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. F2022-___

OWNER

STREAM 1515 CORPORATE CROSSING, L.P.
2001 ROSS AVENUE, SUITE 400
DALLAS, TEXAS 75201
PHONE: 214-215-8252
CONTACT: STEVE RIORDAN
EMAIL: RPOYNOR@CROSSROADCONSULT.COM

ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: DANIEL P. GALLAGHER, P.E.
EMAIL: DYLAN.ADAME@KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM NO. F-928

Kimley»Horn
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240
FIRM # 10115500
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DWP	DJD	MARCH 2022	068213100	1 OF 4

DWG NAME: K:\DAL_SURVEY\068213100-ROCKWALL HITT\DWG\068213100-ROCKWALL HITT_FP.DWG PLOTTED BY: PATRICK.DAVID 3/18/2022 12:54 PM LAST SAVED: 3/18/2022 9:37 AM

LINE TABLE		
NO.	BEARING	LENGTH
L1	S89°29'36"W	188.30'
L2	S00°30'24"E	10.50'
L3	S89°29'36"W	20.00'
L4	N00°30'24"W	10.50'
L5	S89°29'36"W	319.00'
L6	S00°30'24"E	10.50'
L7	S89°29'36"W	20.00'
L8	N00°30'24"W	10.50'
L9	S89°29'36"W	238.65'
L10	S00°30'24"E	10.50'
L11	S89°29'36"W	20.00'
L12	N00°30'24"W	10.50'

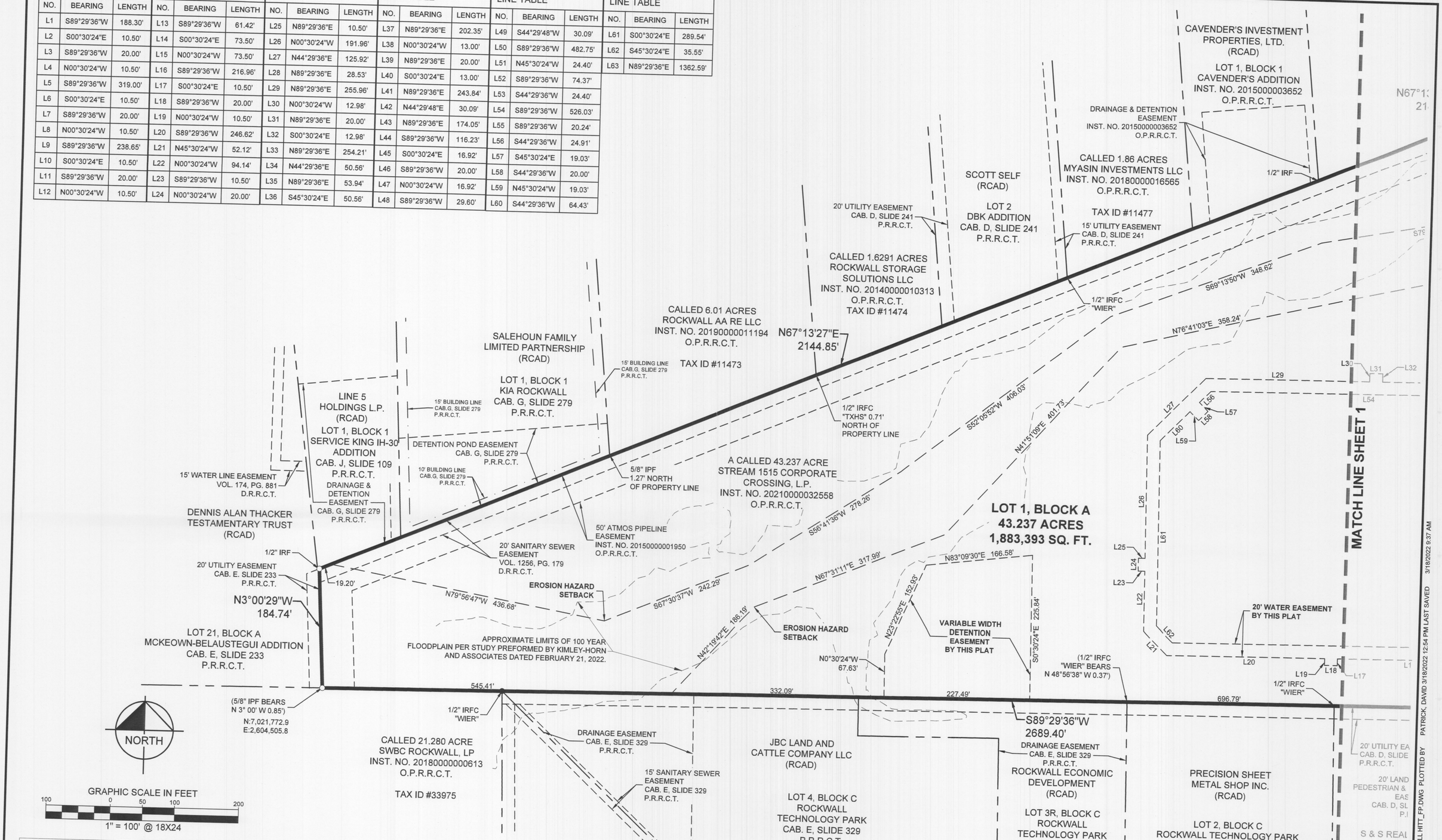
LINE TABLE		
NO.	BEARING	LENGTH
L13	S89°29'36"W	61.42'
L14	S00°30'24"E	73.50'
L15	N00°30'24"W	73.50'
L16	S89°29'36"W	216.96'
L17	S00°30'24"E	10.50'
L18	S89°29'36"W	20.00'
L19	N00°30'24"W	10.50'
L20	S89°29'36"W	246.62'
L21	N45°30'24"W	52.12'
L22	N00°30'24"W	94.14'
L23	S89°29'36"W	10.50'
L24	N00°30'24"W	20.00'

LINE TABLE		
NO.	BEARING	LENGTH
L25	N89°29'36"E	10.50'
L26	N00°30'24"W	191.96'
L27	N44°29'36"E	125.92'
L28	N89°29'36"E	28.53'
L29	N89°29'36"E	255.96'
L30	N00°30'24"W	12.98'
L31	N89°29'36"E	20.00'
L32	S00°30'24"E	12.98'
L33	N89°29'36"E	254.21'
L34	N44°29'36"E	50.56'
L35	N89°29'36"E	53.94'
L36	S45°30'24"E	50.56'

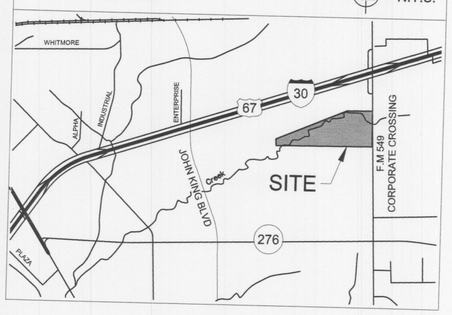
LINE TABLE		
NO.	BEARING	LENGTH
L37	N89°29'36"E	202.35'
L38	N00°30'24"W	13.00'
L39	N89°29'36"E	20.00'
L40	S00°30'24"E	13.00'
L41	N89°29'36"E	243.84'
L42	N44°29'48"E	30.09'
L43	N89°29'36"E	174.05'
L44	S89°29'36"W	116.23'
L45	S00°30'24"E	16.92'
L46	S89°29'36"W	20.00'
L47	N00°30'24"W	16.92'
L48	S89°29'36"W	29.60'

LINE TABLE		
NO.	BEARING	LENGTH
L49	S44°29'48"W	30.09'
L50	S89°29'36"W	482.75'
L51	N45°30'24"W	24.40'
L52	S89°29'36"W	74.37'
L53	S44°29'36"W	24.40'
L54	S89°29'36"W	526.03'
L55	S89°29'36"W	20.24'
L56	S44°29'36"W	24.91'
L57	S45°30'24"E	19.03'
L58	S44°29'36"W	20.00'
L59	N45°30'24"W	19.03'
L60	S44°29'36"W	64.43'

LINE TABLE		
NO.	BEARING	LENGTH
L61	S00°30'24"E	289.54'
L62	S45°30'24"E	35.55'
L63	N89°29'36"E	1362.59'



VICINITY MAP



LEGEND:

RCAD	= ROCKWALL CENTRAL APPRAISAL DISTRICT
P.O.B.	= POINT OF BEGINNING
IRSC	= 5/8" IRON ROD W/ "KHA" CAP SET
IRFC	= IRON ROD W/CAP FOUND
IRF	= IRON ROD FOUND
IPF	= IRON PIPE FOUND
XF	= "X" CUT IN CONCRETE FOUND
O.P.R.R.C.T.	= OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
D.E.	= DRAINAGE EASEMENT
E.E.	= ELECTRIC EASEMENT
F.L.A.U.E.	= FIRE LANE, ACCESS AND UTILITY EASEMENT
S.S.E.	= SANITARY SEWER EASEMENT
W.E.	= WATER EASEMENT

FINAL PLAT
STREAM 549 ADDITION
LOT 1, BLOCK A
43.237 ACRES SITUATED IN THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. F2022-___

OWNER

STREAM 1515 CORPORATE CROSSING, L.P.
2001 ROSS AVENUE, SUITE 400
DALLAS, TEXAS 75201
PHONE: 214-215-8252
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OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS STREAM 1515 CORPORATE CROSSING, L.P. is the owner of a tract of land situated in the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a part of a called 44.5 acre tract described as the "Second Tract" in the Warranty Deed from H.M. Gray to F.D. Hitt, recorded in Volume 42, Page 569 of the Deed Records of Rockwall County, Texas, and conveyed to the Hitt Family Limited Partnership by deed recorded in Volume 1875, Page 238 of the Deed Records of Rockwall County, Texas, and subsequently conveyed to **STREAM 1515 CORPORATE CROSSING, L.P.** by Special Warranty Deed recorded in Instrument No. 20210000032558, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found in the west right-of-way line of F.M. 549 (Corporate Crossing - a variable width right-of-way) the northwest corner of a called 0.373 acre tract of land described as a Right-of Way Dedication in the Warranty Deed to the City of Rockwall recorded in Instrument No. 2011-00451623, Official Public Records, Rockwall County, Texas;

THENCE with said west right-of-way line, the following courses and distances:

South 0°45'31" West, a distance of 54.87 feet to a 5/8-inch iron rod with plastic cap stamped "KHA" set for corner;

South 0°42'48" East, a distance of 948.61 feet to a 1/2-inch iron rod with plastic cap stamped "Wier & Associates" found at the southwest corner of said 0.373 acre tract;

THENCE South 89°29'36" West, passing at a distance of 15.00 feet the northeast corner of Lot 2 Block E of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 377, Plat Records, Rockwall County, Texas; with the common line of said 44.5 acre tract and the following tracts of land; said Lot 2, Block E; Lot 4, Block E, of Rockwall Technology Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20200000008932, Plat Records, Rockwall County, Texas; the north terminus line of Technology Way (a 60-foot right-of-way), as shown on plat recorded under Cabinet D, Slide 175, Plat Records, Rockwall County, Texas; Lot 1, Block C, of Nolan Power Building, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet H, Slide 259, Plat Records, Rockwall County, Texas; Lots 2, 3R, and 4, Block C, of Rockwall Technology Park, an addition to the City of Rockwall, Texas; according to the plat thereof recorded in Cabinet E, Slide 329, Plat Records, Rockwall County; Texas; and a called 21.280 acre tract of land described in the Special Warranty Deed to SWBC Rockwall, LP, recorded in Instrument No. 20180000000613, Official Public Records, Rockwall County, for a total distance of 2689.40 feet to the southwest corner of said 44.5 acre tract of land;

THENCE North 3°00'29" West, a distance of 184.74 feet to a 1/2-inch iron rod found in the south line of Lot 1, Block 1, of Service King IH-30 Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet J, Slide 109, Plat Records, Rockwall County, Texas;

THENCE North 67°13'27" East, with the common line of said 44.5 acre tract and the following tracts of land; Lot 1, Block 1 of said Service King IH-30 addition; Lot 1, Block 1, of Kia Rockwall, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet G, Slide 279, Plat Records, Rockwall County, Texas; a called 6.01 acre tract of land described in the Special Warranty Deed to Rockwall AA RE LLC, recorded in Instrument No. 20190000011194, Official Public Records, Rockwall County, Texas; a called 1.6291 acre tract of land described in the Warranty Deed with Vendor's Lien to Rockwall Storage Solutions, LLC, recorded in Instrument No. 20140000010313, Official Public Records, Rockwall County, Texas; Lot 2, DBK Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D, Slide 241, Plat Records, Rockwall County, Texas; a called 1.86 acre tract of land described in the Warranty Deed to Myasin Investments, LLC, recorded in Instrument No. 20180000016565, Official Public Records, Rockwall County, Texas; Lot 1, Block 1, Cavender's Addition, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2015000003652, Official Public Records, Rockwall County, Texas; a called 6.2475 acre tract of land described in the Warranty Deed to Michael F. Moore, recorded in Instrument No. 20030000275494, Official Public Records, Rockwall County, Texas; and Lot 1, Block 1, YA-HOO Subdivision, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 342, Plat Records, Rockwall County, Texas; for a total distance of 2144.85 feet to an angle point in the common line of said 44.5 acre tract of land and said YA-HOO Subdivision, from which a fence corner bears South 85°24' West, 1.4 feet and a 3/8-inch iron rod bears South 57°37'00" West, 1.4 feet;

THENCE North 89°00'12" East, with the common line of said 44.5 acre tract and the following tracts of land; said Lot 1, Block 1, YA-HOO Subdivision; a called 3.195 acre tract of land described in the Warranty Deed in lieu of foreclosure, to Ginaluca Robino and Mary C. Goss, recorded in Instrument No. 2007-00374776, Official Public Records, Rockwall County, Texas, and Lot 1, Block A of said Love's Addition No. 1, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet C, Slide 377, Plat Records, Rockwall County, Texas; passing at a distance of 695.41 feet the southeast corner of Lot 1, Block A of said Loves Addition, for a total distance of 710.41 feet to the **POINT OF BEGINNING** and containing 43.237 acres or 1,883,393 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS

COUNTY OF ROCKWALL

We, **STREAM 1515 CORPORATE CROSSING, L.P.**, the undersigned owner of the land shown on this plat, and designated herein as the **STREAM 549 ADDITION** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed, except those created by separate instrument, which are governed by the terms of such separate instruments. We further certify that all other parties who have a mortgage or lien interest in the **STREAM 549 ADDITION** have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same, except those created by separate instrument, which are governed by the terms of such separate instruments. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements created hereby.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of the easement strips created hereby; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. The owners of the land dedicated by this plat reserve the right to use and enjoy the surface of all easement areas for all purposes that do not interfere with the use of said easement areas for utilities; including but not limited to the right to place surfacing materials over and across the easement areas and to use the same for parking areas, driveways, walkways, sidewalks, landscaping and/or lighting.
7. The location of easements shown hereon that are granted by separate instrument are approximate and such easements and their location are governed by the terms, provisions and conditions of the separate instrument.
8. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself.

Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

STREAM 1515 CORPORATE CROSSING, L.P., a Texas limited partnership

By: Stream 1515 Corporate Crossing GP, L.L.C., a Texas limited liability company, its General Partner

By:_____
Name:_____
Title:_____

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____ 2022.

_____
Notary Public in and for the State of _____

FINAL PLAT
STREAM 549 ADDITION
LOT 1, BLOCK A
43.237 ACRES SITUATED IN THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. F2022-____

OWNER

STREAM 1515 CORPORATE CROSSING, L.P.
2001 ROSS AVENUE, SUITE 400
DALLAS, TEXAS 75201
PHONE: 214-215-8252
CONTACT: STEVE RIORDAN
EMAIL: RPOYNOR@CROSSROADCONSULT.COM

ENGINEER

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TWO GALLERIA OFFICE TOWER, SUITE 700
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SURVEYOR'S STATEMENT

I, David J. De Weirdt, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Engineers and Land Surveyors.

Dated this the ___day of _____, 2022.

DAVID J. De WEIRDT
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5066
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH. (972) 770-1300
david.deweirdt@kimley-horn.com

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared David J. De Weirdt, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of _____ 2022.

_____
Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

_____ _____
Planning & Zoning Commission, Chairman Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

_____ _____ _____
Mayor, City of Rockwall City Secretary City Engineer

OWNER

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ENGINEER

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FINAL PLAT
STREAM 549 ADDITION
LOT 1, BLOCK A
43.237 ACRES SITUATED IN THE JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NO. F2022-___

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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Angelica Gamez
DATE:	March 29, 2022
SUBJECT:	MIS2022-006; *Treescape Plan for Emerson Farms*

The applicant, Chase Finch of Corwin Engineering, Inc., is requesting the approval of a *Treescape Plan*. The subject property is located on a 145.02-acre tract of land (*i.e. Tracts 1 of the J. Lockhart Survey, Abstract No. 137 and Tract 1 of the J.H. Robenett Survey, Abstract No. 182*), which is generally located on the east side of Dowell Road south of the intersection of Dowell Road and SH-276. The property is zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses.

Planned Development District 76 (PD-76) was approved by City Council on November 17, 2014 [*Case No. Z2014-030*] and allows the development of 107 single-family residential lots. Under this Planned Development District ordinance, each lot is required to plant two (2), three (3) inch caliper trees with an additional two (2), three (3) inch caliper trees being required for all corner lots. In addition, the applicant is required to provide trees within the detention areas of the development. These additional trees were depicted on the PD site plan, which was approved by the Planning and Zoning Commission on August 27, 2019 [*Case No. SP2019-034*]. On March 18, 2022, the applicant submitted a request for a *Treescape Plan* for the development. The *Treescape Plan* indicates that there is a total of 2,658 inches (*i.e. 187 trees*) of trees within the development. The applicant is proposing to remove a total of 768 inches (*i.e. 97 trees*), which are primarily secondary protected trees (*i.e. Hackberry trees*). Based on this plan the total tree mitigation balance after tree removal would be 768 caliper inches. As stated above the applicant is proposing to mitigate for the removed trees by planting two (2), three (3) inch caliper trees per lot with an additional two (2), three (3) inch caliper trees being required on corner lots. This equates to 756-caliper inches being provided on the residential lots (*i.e. 88 lots with two [2], three [3] inch caliper trees and 19 lots with four [4], three [3] inch caliper trees*). In addition, the approved site plan (*Case No. SP2019-034*) shows that 49, three (3) inch caliper trees or 147 caliper inches of tree will be planted within the detention ponds. The total number of caliper inches of tree to be planted within the lots and the detention area (*i.e. 903 caliper inches of trees*) will exceed the mitigation balance of 756-caliper inches and the tree mitigation is considered to be satisfied.

The Planning and Zoning Commission is charged with approving, approving with conditions, or denying the proposed *Treescape Plan*. Should the Planning and Zoning Commission have any questions concerning the applicants request, staff will be available at the meeting on *March 29, 2022*.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1] IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2] A $1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	East of Dowell Road and 2700' south of Hwy. 276				
SUBDIVISION	Emerson Farms	LOT		BLOCK	
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING		CURRENT USE			
PROPOSED ZONING	145.102	PROPOSED USE			
ACREAGE		LOTS [CURRENT]		LOTS [PROPOSED]	108

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Harlan Properties, Inc.	☐ APPLICANT	Corwin Engineering, Inc.
CONTACT PERSON	Suresh Shridharani	CONTACT PERSON	Chase Finch
ADDRESS	2404 Texas Drive, Ste. 103	ADDRESS	200 W. Belmont, Ste. E
CITY, STATE & ZIP	Irving, Texas 75062	CITY, STATE & ZIP	Allen, Tx 75013
PHONE	972-659-0655 ext. 110	PHONE	972-396-1200
E-MAIL	sureshns@aol.com	E-MAIL	cfinch@corwinengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **SURESH SHRIDHARANI** [OWNER], THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 3-17-22 DAY OF _____ 20__. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

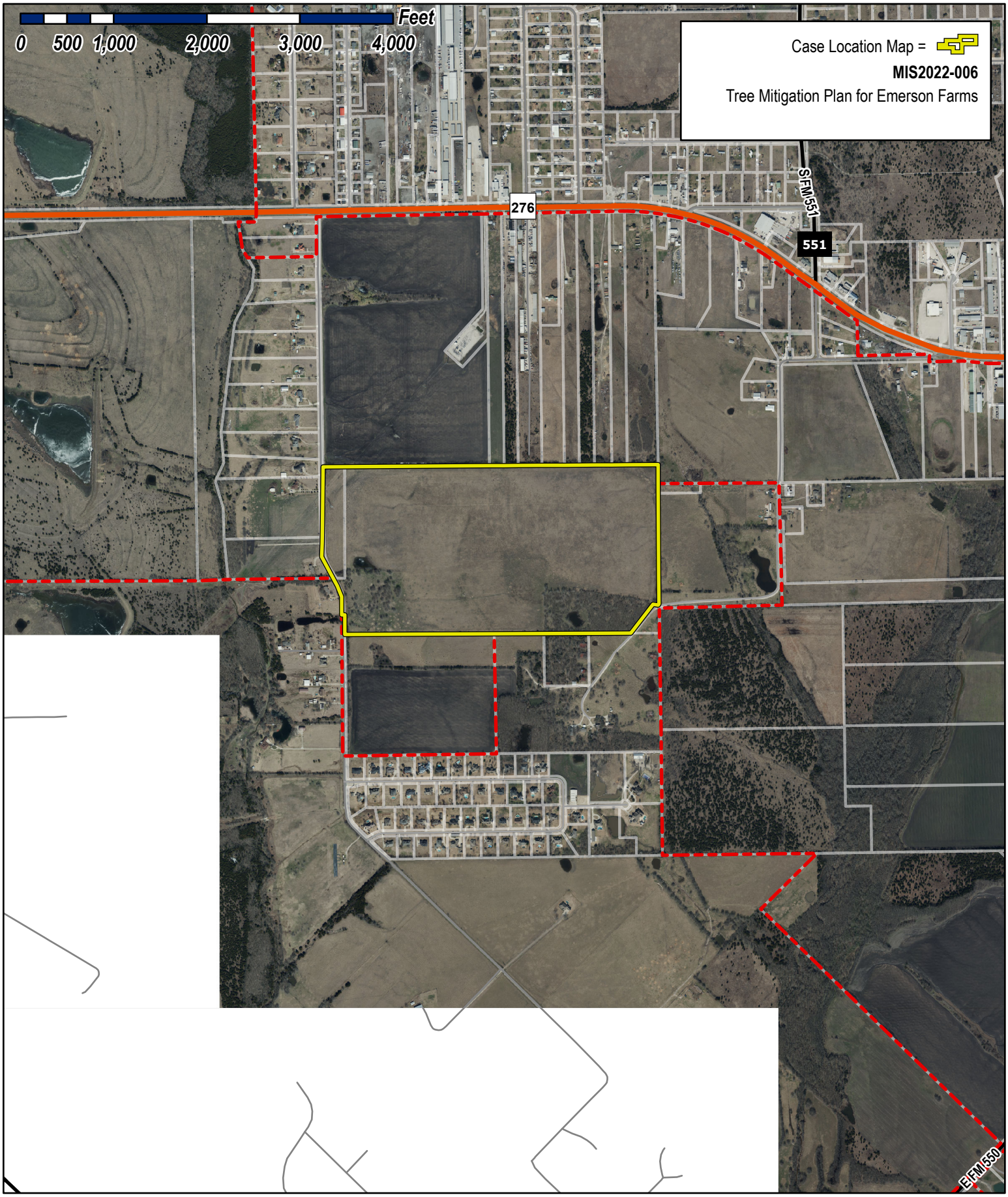
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF March 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

ALANA BAILEY
Notary Public, State of Texas
Comm. Expires 11-13-2024
Notary ID 2752195

MY COMMISSION EXPIRES

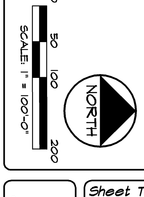


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Sheet Number: TS1 of TS3 Sheets

Sheet Title:

Tree Survey & Mitigation Plan

STATE OF TEXAS
JOE D. GRUBBS
1716
REGISTERED
PROFESSIONAL
LAND SURVEYOR
06-03-19

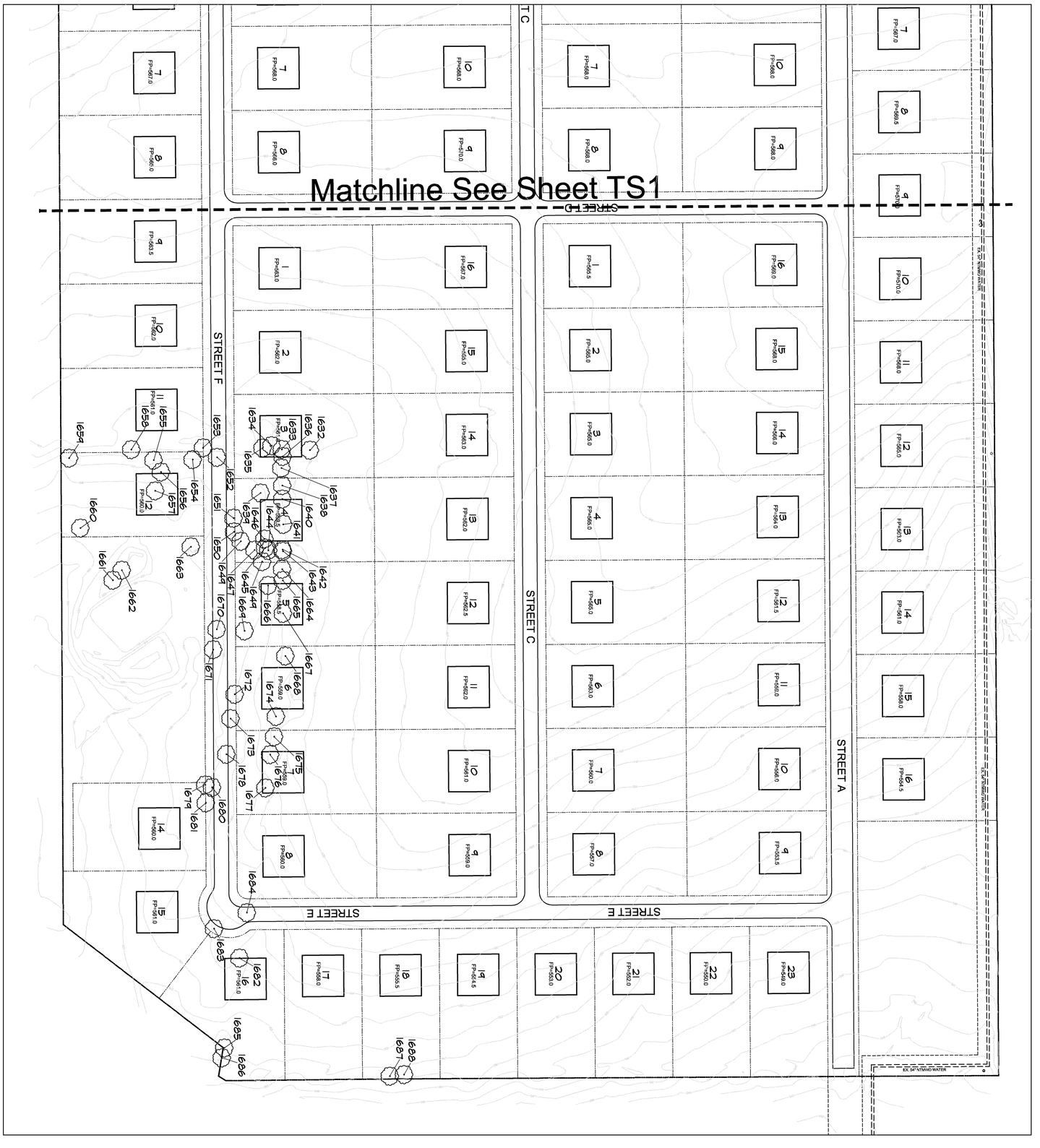
Emerson Tract

Rockwall Texas

Issued For: CONSTRUCTION
Job No. 19115
Scale 1" = 100'-0"
Drawn By: JDG
Date 06-03-2019

#	Revisions:	Date:

Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020



0 50 100 200
SCALE: 1" = 100'-0"

NORTH

Sheet Number: TS2 of TS3 Sheets

Sheet Title:

Tree Survey & Mitigation Plan

STATE OF TEXAS
JOE D. GRUBBS
1716
REGISTERED
PROFESSIONAL
LANDSCAPE ARCHITECT
06-03-19

Emerson Tract

Rockwall Texas

Issued For: CONSTRUCTION
Job No. 19115
Scale 1" = 100'-0"
Drawn By: JDG
Date 06-03-2019

#	Revisions:	Date:

Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1501	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1502	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1503	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1504	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1505	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1506	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1507	AMERICAN ELM	18 M.T.	GOOD	REMOVED	100%	18.0	
1508	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1509	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1510	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1511	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1512	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1513	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1514	HACKBERRY	15 M.T.	GOOD	PRESERVED	0%	0	
1515	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1516	HACKBERRY	15	POOR	REMOVED	0%	0	SLIT TRUNK
1517	HACKBERRY	12	POOR	REMOVED	0%	0	MAJOR DAMAGE
1518	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1519	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1520	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1521	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1522	HACKBERRY	16	GOOD	REMOVED	50%	8.0	
1523	HACKBERRY	17 M.T.	GOOD	PRESERVED	0%	0	
1524	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1525	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1526	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1527	HACKBERRY	26	GOOD	REMOVED	50%	13.0	
1528	HACKBERRY	23 M.T.	GOOD	REMOVED	50%	11.5	
1529	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1530	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1531	HACKBERRY	24 M.T.	GOOD	PRESERVED	0%	0	
1532	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1533	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1534	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1535	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1536	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1537	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1538	CEDAR ELM	14	GOOD	PRESERVED	0%	0	
1539	HACKBERRY	14 M.T.	GOOD	REMOVED	50%	7.0	
1540	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1541	HACKBERRY	18 M.T.	GOOD	REMOVED	50%	9.0	
1542	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1543	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1544	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1545	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1546	HACKBERRY	19 M.T.	GOOD	REMOVED	50%	9.5	
1547	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1548	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1549	HACKBERRY	16 M.T.	GOOD	PRESERVED	0%	0	
1550	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1551	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1552	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1553	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1554	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1555	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1556	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1557	AMERICAN ELM	22 M.T.	GOOD	REMOVED	100%	22.0	
1558	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1559	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1560	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1561	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1562	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1563	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
			TOTAL COLUMN MITIGATION REQUIRED			357	

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1564	HACKBERRY	23 M.T.	GOOD	REMOVED	50%	11.5	
1565	HAWTHORN	8 M.T.	GOOD	REMOVED	100%	8.0	
1566	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1567	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1568	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1569	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
1570	HACKBERRY	12 M.T.	GOOD	PRESERVED	0%	0	
1571	CEDAR ELM	11	GOOD	PRESERVED	0%	0	
1572	HACKBERRY	12 M.T.	GOOD	PRESERVED	0%	0	
1573	HAWTHORN	5	GOOD	PRESERVED	0%	0	
1574	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1575	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1576	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1577	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1578	HACKBERRY	14 M.T.	GOOD	REMOVED	50%	7.0	
1579	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1580	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1581	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1582	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1583	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
1584	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1585	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1586	HACKBERRY	15 M.T.	POOR	PRESERVED	0%	0	1/2 TOP GONE
1587	HACKBERRY	17	GOOD	PRESERVED	0%	0	
1588	HACKBERRY	13	GOOD	PREDERVED	0%	0	
1589	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1590	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1591	HAWTHORN	6	GOOD	PRESERVED	0%	0	
1592	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1593	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1594	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1595	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1596	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1597	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1598	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1599	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1600	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1601	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1602	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1603	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1604	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1605	HACKBERRY	22 M.T.	POOR	REMOVED	0%	0	MAJOR DAMAGE
1606	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1607	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1608	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1609	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1610	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1611	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1612	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1613	HACKBERRY	11	POOR	REMOVED	0%	0	MAJOR DAMAGE
1614	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1615	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1616	HACKBERRY	15	GOOD	PRESERVED	0%	0	
1617	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1618	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1619	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1620	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1621	HACKBERRY	11	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1622	HACKBERRY	15 M.T.	GOOD	PRESERVED	0%	0	
1623	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1624	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1625	HACKBERRY	13	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1626	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
			TOTAL COLUMN MITIGATION REQUIRED			129.5	

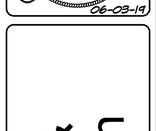
TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE CONDITION	PRESERVED OR REMOVED	MITIGATION PERCENTAGE	MITIGATION REQUIRED	NOTES
1627	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1628	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1629	HACKBERRY	18	GOOD	PRESERVED	0%	0	
1630	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1631	HACKBERRY	21 M.T.	GOOD	PRESERVED	0%	0	
1632	HACKBERRY	23 M.T.	GOOD	PRESERVED	0%	0	
1633	HACKBERRY	16 M.T.	GOOD	REMOVED	50%	8.0	
1634	HACKBERRY	12	POOR	REMOVED	0%	0	TRUNK DAMAGE
1635	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1636	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1637	HACKBERRY	19 M.T.	GOOD	PRESERVED	0%	0	
1638	HACKBERRY	18	POOR	PRESERVED	0%	0	TRUNK DAMAGE
1639	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1640	HACKBERRY	18	GOOD	REMOVED	50%	9.0	
1641	HACKBERRY	20	GOOD	REMOVED	50%	10.0	
1642	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1643	HACKBERRY	22	GOOD	PRESERVED	0%	0	
1644	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1645	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1646	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1647	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1648	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1649	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1650	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1651	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1652	HACKBERRY	15	POOR	REMOVED	0%	0	TOP GONE
1653	HACKBERRY	23	GOOD	REMOVED	50%	11.5	
1654	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1655	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1656	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1657	HACKBERRY	21	GOOD	REMOVED	50%	10.5	
1658	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1659	HACKBERRY	13	GOOD	PRESERVED	0%	0	
1660	HACKBERRY	18	POOR	PRESERVED	0%	0	SPLIT TRUNK
1661	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1662	HACKBERRY	19	GOOD	PRESERVED	0%	0	
1663	HACKBERRY	20	GOOD	PRESERVED	0%	0	
1664	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1665	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1666	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1667	HACKBERRY	26 M.T.	POOR	REMOVED	0%	0	TRUNK DAMAGE
1668	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1669	HACKBERRY	16	GOOD	PRESERVED	0%	0	
1670	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1671	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1672	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1673	HACKBERRY	13	GOOD	REMOVED	50%	6.5	
1674	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1675	HACKBERRY	14	GOOD	PRESERVED	0%	0	
1676	HACKBERRY	14	GOOD	REMOVED	50%	7.0	
1677	HACKBERRY	17	GOOD	REMOVED	50%	8.5	
1678	HACKBERRY	15 M.T.	GOOD	REMOVED	50%	7.5	
1679	HACKBERRY	12	POOR	REMOVED	0%	0	TRUNK DAMAGE
1680	HACKBERRY	15 M.T.	GOOD	REMOVED	50%	7.5	
1681	HACKBERRY	15	GOOD	REMOVED	50%	7.5	
1682	HACKBERRY	11	GOOD	REMOVED	50%	5.5	
1683	HACKBERRY	11	POOR	REMOVED	0%	0	TRUNK DAMAGE
1684	HACKBERRY	12	GOOD	REMOVED	50%	6.0	
1685	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1686	HACKBERRY	12	GOOD	PRESERVED	0%	0	
1687	HACKBERRY	11	GOOD	PRESERVED	0%	0	
1688	HACKBERRY	13 M.T.	GOOD	PRESERVED	0%	0	
			TOTAL COLUMN MITIGATION REQUIRED			281.5	

TOTAL MITIGATION INCHES REQUIRED	768.0

Emerson Tract

Rockwall Texas

Sheet Title:
Tree Survey & Mitigation Plan



#	Revisions:	Date:

Issued For: CONSTRUCTION
Job No. 19115
Scale N.T.S.
Drawn By: JDG
Date 06-03-2019

Sheet Number: TS3 of TS3 Sheets

Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020

CONSTRUCTION PLANS

LANDSCAPE & SCREENING

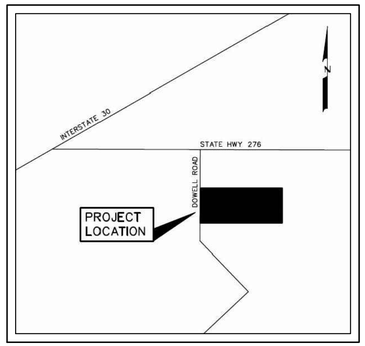
~Emerson Farms~

City of Rockwall

Rockwall County, Texas

GENERAL CONSTRUCTION NOTES

1. IT IS NOT THE INTENT OF THESE CONSTRUCTION NOTES TO COVER ALL DETAILS AND/OR SPECIFICATION REQUIREMENTS OF THE **CITY OF ROCKWALL**. ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE **CITY OF ROCKWALL**'S STANDARD SPECIFICATIONS, GENERAL DESIGN STANDARDS, ORDINANCES, RULES, POLICIES, REQUIREMENTS AND REGULATIONS, AS WELL AS ANY OTHER APPLICABLE STATE AND/OR FEDERAL RULES, REGULATIONS AND/OR REQUIREMENTS, AS THEY EXIST OR MAY BE AMENDED. ENGINEERING DRAWINGS SHALL GOVERN FOR CONSTRUCTION OF ALL CIVIL IMPROVEMENTS.
2. THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINES, NO LATERAL OR SERVICES SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL FRANCHISE AND **CITY OF ROCKWALL** UTILITIES PRIOR TO CONSTRUCTION.
3. ANY CONTRACTOR / SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, AND PLANTS. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE **CITY OF ROCKWALL**.
4. ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL MEET OR EXCEED ALL REQUIREMENTS OF THE **CITY OF ROCKWALL**. ALL SUBMITTALS MUST BE ORIGINALS WITH SIGNATURES WHERE APPLICABLE; FACSIMILES OR EMAILS SHALL BE FOLLOWED UP WITH ORIGINALS.
5. ALL TESTING SHALL BE DONE BY AN APPROVED LABORATORY AT THE EXPENSE OF THE CONTRACTOR. THE **CITY OF ROCKWALL** WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
6. THE DEVELOPER OR HIS/HER DESIGNEE SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL HANDBOOK. ALL REFERENCE FOR USING TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) STANDARDS AND CONSTRUCTION DETAILS SHALL BE THE LATEST REVISIONS AND/OR AMENDMENTS THEREOF. THE **CITY OF ROCKWALL** USES RAISED PAVEMENT MARKINGS (BUTTONS) FOR STRIPING AND THERMOPLASTIC MARKINGS IN LIEU OF PAINT. THE MINIMUM SIGN SIZE SHALL BE THE STANDARD SIZE IN THE MANUAL. DETAILS ARE AVAILABLE UPON REQUEST FOR THE TYPE OF BUTTON PATTERNS AND POSTS AND CONNECTIONS REQUIRED FOR THE SIGNS.
7. THE CONTRACTOR SHALL MAKE EVERY EFFORT NOT TO IMPEDE TRAFFIC ON EXISTING STREETS, ALLEYS, OR FIRELANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRELANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE **CITY OF ROCKWALL**. IF THE CLOSURE ELIMINATES THE SECOND POINT OF ACCESS TO EXISTING BUILDINGS WITH A CERTIFICATE OF OCCUPANCY, THEN THE ACCESS MAY NOT BE CLOSED FOR MORE THAN FORTY-EIGHT (48) HOURS AND WILL REQUIRE FIRE MARSHAL APPROVAL IN EITHER CASE. UNLESS OTHERWISE SPECIFIED BY THE **CITY OF ROCKWALL**, ALL OTHER STREETS OR ALLEYS MAY NOT BE CLOSED FOR MORE THAN SEVENTY-TWO (72) HOURS.



LOCATION MAP
NOT TO SCALE

SHEET INDEX

L1-L4	LANDSCAPE PLANS
L5	LANDSCAPE DETAILS

OWNER / DEVELOPER: HARLAN PROPERTIES, INC
2404 TEXAS DRIVE
ST. 103
IRVING, TEXAS 75062

CIVIL ENGINEER: CORWIN ENGINEERING, INC
200 W. BELMONT DRIVE
ALLEN, TEXAS 75013
PH. (972) 396-1200
CONTACT: WARREN CORWIN, P.E.

LANDSCAPE ARCHITECT: STUDIO 13 DESIGN GROUP, PLLC.
386 WEST MAIN STREET
LEWISVILLE, TEXAS 75057
PH. (469) 635-1900
CONTACT: LEONARD REEVES, ASLA, LI

LANDSCAPE NOTES:

1. A TREE PERMIT IS REQUIRED FOR ALL REMOVAL OF ALL TREES, PROTECTED AND UNPROTECTED.
2. PLANT MATERIAL SHALL BE MEASURED AND SIZED ACCORDING TO THE LATEST EDITION OF THE TEXAS NURSERY & LANDSCAPE ASSOCIATION (TNLA) SPECIFICATIONS, GRADES AND STANDARDS.
3. ALL PLANT SUBSTITUTIONS ARE SUBJECT TO **CITY OF ROCKWALL** APPROVAL AND MUST BE SPECIFIED ON THE APPROVED LANDSCAPE PLAN.
4. GROUND COVERS USED IN LIEU OF TURF GRASS MUST PROVIDE COMPLETE COVERAGE WITHIN ONE (1) YEAR OF PLANTING AND MAINTAIN ADEQUATE COVERAGE AS APPROVED BY THE **CITY OF ROCKWALL**.
5. TREES MUST BE PLANTED FOUR FEET (4') OR GREATER FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND/OR OTHER STRUCTURES. THE **CITY OF ROCKWALL** HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
6. TREE PITS SHALL HAVE ROUGHENED SIDES AND BE TWO TO THREE TIMES WIDER THAN THE ROOT BALL OF THE TREE IN ORDER TO FACILITATE HEALTHY ROOT GROWTH.
7. TREES SHALL NOT BE PLANTED DEEPER THAN THE BASE OF THE "TRUNK FLARE".
8. THE TREE PIT SHALL BE BACKFILLED WITH NATIVE TOPSOIL FREE OF ROCK AND OTHER DEBRIS.
9. BURLAP, TWINE AND WIRE BASKETS SHALL BE LOOSENED AND PULLED BACK FROM THE TRUNK OF TREE AS MUCH AS POSSIBLE.
10. TREES SHALL NOT BE WATERED TO EXCESS THAT RESULTS IN SOIL SATURATION. IF SOIL BECOMES SATURATED, THE WATERING SCHEDULE SHALL BE ADJUSTED TO ALLOW FOR DRAINAGE AND ABSORPTION OF THE EXCESS WATER.
11. A 3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
12. NO PERSON(S) OR ENTITY MAY USE IMPROPER OR MALICIOUS MAINTENANCE OR PRUNING TECHNIQUES WHICH WOULD LIKELY LEAD TO THE DEATH OF THE TREE. IMPROPER OR MALICIOUS TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, TOPPING OR OTHER UNSYMMETRICAL TRIMMING OF TREES, TRIMMING TREES WITH A BACKHOE, OR USE OF FIRE OR POISON TO CAUSE THE DEATH OF A TREE.
13. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TO A DEPTH OF 8" MINIMUM.
14. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD OR OTHER MULCH.
15. TREES OVERHANGING WALKS AND PARKING SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET. TREES OVERHANGING PUBLIC STREET PAVEMENT DRIVE AISLES AND FIRE LANES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 14 FEET.
16. A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL INTERSECTIONS. SHRUBS ARE NOT TO EXCEED 30 INCHES IN HEIGHT. TREES SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF 7 FEET AT TIME OF PLANTING.
17. TREES PLANTED ON A SLOPE SHALL HAVE THE SOIL STAIN AT THE AVERAGE GRADE OF SLOPE.
18. NO SHRUBS SHALL BE PERMITTED WITHIN AREAS LESS THAN 3 FEET IN WIDTH. ALL BEDS LESS THAN 3 FEET IN WIDTH SHALL BE GRASS, GROUNDCOVER OR SOME TYPE OF FIXED PAVING.
19. THE OWNER, TENANT, AND/OR THEIR AGENTS, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE, ESTABLISHMENT, AND PERMANENCE OF PLANT MATERIAL. ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, AND OTHER ACTIVITIES NECESSARY FOR THE MAINTENANCE OF LANDSCAPED AREAS.
20. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY WITHIN 30 DAYS UNLESS OTHERWISE APPROVED IN WRITING BY THE **CITY OF ROCKWALL**.
21. LANDSCAPE AND OPEN AREAS SHALL BE KEPT FREE OFF TRASH, LITTER AND WEEDS.
22. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM.
23. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON RIGHT-OF-WAY, SIDEWALKS OR EASEMENTS TO THE EXTENT THAT THE VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
24. NO PLANTING AREAS SHALL EXCEED 3:1 SLOPE. 3' HORIZONTAL TO 1' VERTICAL.
25. EARTHEN BERMS SHALL NOT INCLUDE CONSTRUCTION DEBRIS. CONTRACTOR MUST CORRECT SLIPPAGE OR DAMAGE TO THE SMOOTH FINISH GRADE OF THE BERM PRIOR TO ACCEPTANCE.
26. ALL WALKWAYS SHALL MEET A.D.A. AND T.A.S. REQUIREMENTS.
27. CONTACT **CITY OF ROCKWALL'S** PLANNING DEPARTMENT AT FOR LANDSCAPE INSPECTION. NOTE LANDSCAPE INSTALLATION MUST COMPLY WITH APPROVED LANDSCAPE PLANS PRIOR FINAL ACCEPTANCE BY THE **CITY OF ROCKWALL** AND/OR OBTAINING A CERTIFICATE OF OCCUPANCY.
28. FINAL INSPECTION AND APPROVAL OF SCREENING WALLS, IRRIGATION AND LANDSCAPE IS SUBJECT TO ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, TO BE ACCESSIBLE, ADJUSTED TO GRADE AND TO THE **CITY OF ROCKWALL'S** PUBLIC WORKS DEPARTMENT STANDARDS.
29. PRIOR TO CALLING FOR A LANDSCAPE INSPECTION, CONTRACTOR IS RESPONSIBLE FOR MARKING ALL MANHOLES, VALVES, WATER METERS, CLEANOUTS AND OTHER UTILITY APPURTENANCES WITH FLAGGING FOR FIELD VERIFICATION BY THE PUBLIC WORKS DEPARTMENT.

Submittal May 8, 2020

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

Plotted by: ###### Plot Date: 9/22/2021 3:10 PM

Drawing: W:\Shared With Me\shared\Projects\HAR002 – Emerson\DWG\HAR002-LS.dwg Saved By: Station13 Save Time: 9/22/2021 3:08 PM

Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Detention area: 27,163 sqft./750= 37 Required plantings
Provided:
72 Texas Sage
18 Loropetulum
Total: 90

BEGIN 6'-0" WOOD FENCE
WOOD FENCE BY BUILDER

ENTRY MONUMENT

ENTRY MONUMENT

STORM SEWER

BOSTON DRIVE

MATCHLINE A
SHEET HS2, L1, IR1

MATCHLINE A
SHEET HS2, L1, IR1

LANDSCAPE LEGEND

- BC — BALD CYPRESS / TAXODIUM DISTICHUM (4" CALIPER)
- LO — LIVE OAK / QUERCUS VIRGINIANA (4" CALIPER)
- TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS (7 GALLON)
- CHINESE FRINGE FLOWER / LOROPETALUM CHINENSE (7 GALLON)
- DWARF INDIAN HAWTHORN / RHAPHIOLEPIS INDICA (5 GALLON)
- MEXICAN FEATHER GRASS / STIPA TENNUISSIMA (1 GALLON, PLANTS SPACED 12" O.C.)
- ANNUAL COLOR (4" POT, PLANTS SPACED 12" O.C.)
- COMMON BERMUDA GRASS (SOLID SOD)
- NATIVE AMERICAN SEEN NATIVE TRAIL MIX ITEM NUMBER #1811
- COMMON BERMUDA HYDROMULCH (MINIMUM 100% COVERAGE @ 70% DENSITY)

STUDIO 13 DESIGN GROUP
Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT LEONARD W. REEVES 1977 STATE OF TEXAS
May 8, 2020

NORTH
20 10 0 20
1" = 20' - 0"
Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

LANDSCAPE AND SCREENING
Landscape Plans
Emerson Farms
City of Rockwall, Rockwall County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	Revised Per Owner Comments	LWR	9-4-2019

PROJECT
HAR002

SHEET
L1 of 5

Plotted by: ##### Plot Date: 9/22/2021 3:10 PM
Drawing: W:\Shared With Me\shared\Projects\HAR002 - Emerson\DWG\HAR002-LS.dwg Saved By: Station13 Save Time: 9/22/2021 3:08 PM

Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Detention area: 68,060 sqft./750= 90 Required plantings
Provided:
54 Texas Sage
54 Loropetulum
Total: 108

STORM SEWER

STORM SEWER

BEACON DRIVE

BRAHMA DRIVE

MATCHLINE D
SHEET HS3, L2, IR21

MATCHLINE D
SHEET HS4, L3, IR3

END MASONRY COLUMN AT ROW LINE

END MASONRY COLUMN AT ROW LINE

6'-0" HEIGHT ORNAMENTAL METAL FENCE

6'-6" MASONRY COLUMN

6'-0" HEIGHT WOOD FENCE BY DEVELOPER

6'-0" HEIGHT WOOD FENCE. WOOD FENCE BY BUILDER

LO

BC

Y

NORTH

20 10 0 20

1" = 20' - 0"

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One Inch

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT
LEONARD W. REEVES
1977
STATE OF TEXAS

May 8,2020

LANDSCAPE AND SCREENING

Landscape Plans

Emerson Farms

City of Rockwall, Rockwall County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
0			

PROJECT
HAR002

SHEET
L2 of 5

Plotted by: ##### Plot Date: 9/22/2021 3:10 PM

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4

5

6

7

STORM SEWER

BRAHMA DRIVE

6'-6" MASONRY COLUMN

6'-6" MASONRY COLUMN

Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Required: Planting conditions met by preserved natural landscape

EXISTING TREE LINE

12

14

6'-0" HEIGHT ORNAMENTAL METAL FENCE

6'-0" HEIGHT WOOD FENCE. WOOD FENCE BY BUILDER

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

6'-6" MASONRY COLUMN

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT
LEONARD W. REEVES
1977
STATE OF TEXAS

May 8, 2020

NORTH

20 10 0 20

1" = 20' - 0"

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One Inch

LANDSCAPE AND SCREENING

Landscape Plans

Emerson Farms

City of Rockwall, Rockwall County, Texas

#	PLAN REVIEW REVISIONS	BY	DATE
1	Revised Per Owner Comments	LWR	9-4-2019

PROJECT
HAR002

SHEET
L3 of 5

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

6'-0" HEIGHT WOOD FENCE BY DEVELOPER

6'-6" MASONRY COLUMN

6'-0" HEIGHT ORNAMENTAL METAL FENCE

STORM SEWER

6'-6" MASONRY COLUMN

BOSTON DRIVE

THOREAU DRIVE

CENTERLINE OF WOOD FENCE TO BE 1'-0" OFF PROPERTY LINE

16

10

9

23

Note: Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by Subsection 05.03(D) (i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.

Detention area: 68,271 sqft./750= 91 Required plantings
Provided:
53 Texas Sage
61 Loropetulum
Total: 114

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT LEONARD W. REEVES 1977 STATE OF TEXAS

May 8, 2020

NORTH

20 10 0 20

1" = 20' - 0"

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One Inch

LANDSCAPE AND SCREENING

Landscape Plans

Emerson Farms

City of Rockwall, Rockwall County, Texas

#	BY	DATE
1	LWR	9-4-2019

PLAN REVIEW REVISIONS

1 Revised Per Owner Comments

PROJECT
HAR002

SHEET
L4 of 5

Plotted by: ##### Plot Date: 9/22/2021 3:11 PM

Drawing: W:\Shared With Me\shared\Projects\HAR002 - Emerson\DWG\HAR002-LS.dwg Saved By: Station13 Save Time: 9/22/2021 3:08 PM

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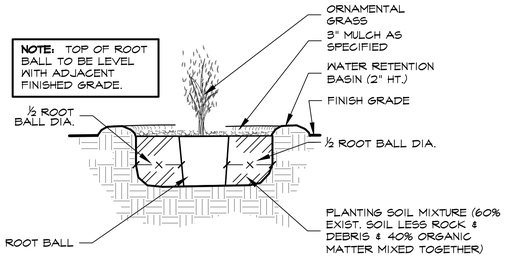
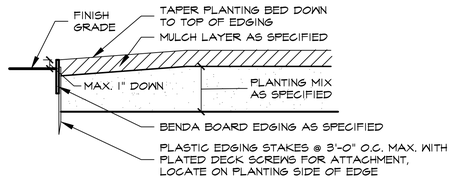
PLANT LIST

SYMBOL	COMMON/BOTANICAL NAME	SIZE	SPACING	QUANTITY	REMARKS
LO	LIVE OAK / QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	6	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
BC	BALD CYPRESS / TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	43	6' MINIMUM SPREAD; MINIMUM 12' HEIGHT; FULL ROUNDED HEAD 6' MINIMUM BRANCHING HEIGHT; NURSERY GROWN,
V	CHASTE TREE / VITEX AGNUS-CASTUS	2" CALIPER	AS SHOWN	43	5' MINIMUM SPREAD; MINIMUM 8' HEIGHT; FULL ROUNDED HEAD 3 CANE MINUMUM, NURSERY GROWN,
	TEXAS SAGE / LEUCOPHYLLUM FRUTESCENS	7 GALLON	AS SHOWN	191	FULL PLANTS
	CHINESE FRINGE FLOWER / LOROPETALUM CHINENSE	7 GALLON	AS SHOWN	145	FULL PLANTS
	DWARF INDIAN HAWTHORN / RAPHIOLEPIS INDICA	7 GALLON	AS SHOWN	34	FULL PLANTS
	MEXICAN FEATHER GRASS / STIPA TENNUISSIMA	1 GALLON	12" O.C.	184	FULL PLANTS
	ANNUAL COLOR - TBD	4" FLATS	12" O.C.	150	FULL PLANTS



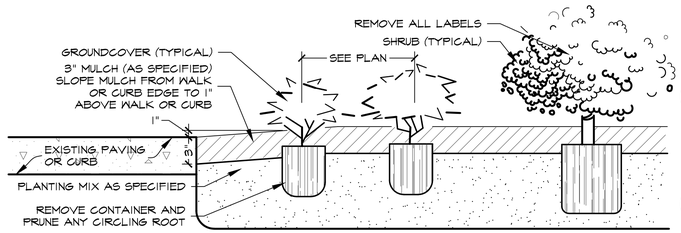
1 L5 POCKET PLANTING ORNAMENTAL GRASS DETAIL

NOT TO SCALE



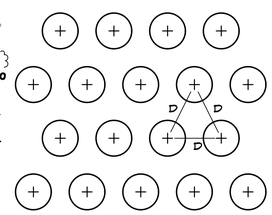
3 L5 TYPICAL BED EDGING DETAIL

NOT TO SCALE

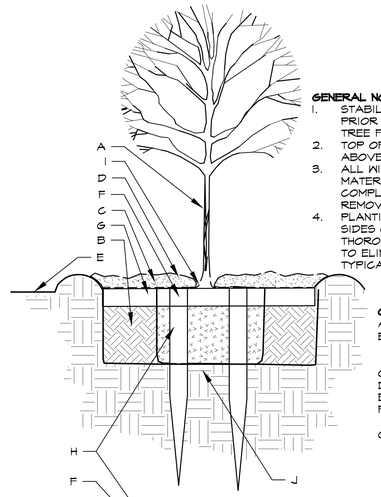


2 L5 SHRUB AND GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



TRIANGULARLY SPACE ALL GROUND COVERS. D = GROUNDCOVER OR SHRUB SPACING AS NOTED.



SECTION

PLAN VIEW

GENERAL NOTES:

1. STABILIZE SOIL BELOW ROOT BALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL SHALL 1" TO 2" ABOVE FINISHED GRADE.
3. ALL WIRE ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED COMPLETELY FROM ROOTBALL AND REMOVE TOP 1/3 OF BURLAP
4. PLANTING PITS SHALL BE SQUARE, SIDES OF PITS SHALL BE THOROUGHLY SCARIFIED/ROUGHENED TO ELIMINATE FLARED AS SHOWN IN TYPICAL DETAIL

CONSTRUCTION NOTES:

A. TREE
B. LOOSEN NATIVE BACKFILL (NO SOIL AMENDMENTS IN CONTRACT)
C. WATER RETENTION BASIN
D. 3" DEPTH MULCH AS SPECIFIED
E. FINISH GRADE
F. 2 1/2 DRYWALL SCREW (UNFINISHED)
G. 2" X 2" X 4" CROSS MEMBER (UNTREATED LUMBER). **NOTE:** CROSS MEMBERS TO BE ORIENTED PARALLEL TO NORTH / SOUTH BEARINGS AND SHALL BE PROPORTIONAL IN LENGTH TO ROOT BALL (4' MIN).
H. 2" X 2" X 4' STAKE WITH 18" MIN. TAPER (UNTREATED LUMBER)
I. REMOVE TOP 1/3 OF BURLAP SURROUNDING ROOTBALL AFTER INSTALLATION (TO PREVENT "WICKING" OF MOISTURE) X, DIMENSION EQUAL TO "Y" Y, DIMENSION EQUAL TO "X"
J. ROOTBALL SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.

4 L5 TREE PLANTING

NOT TO SCALE

STUDIO 13 DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

REGISTERED LANDSCAPE ARCHITECT LEONARD W. REEVES 1977 STATE OF TEXAS

May 8, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

LANDSCAPE AND SCREENING

Landscape Details

Emerson Farms

City of Rockwall, Rockwall County, Texas

#	BY	DATE
1	LWR	9-4-2019

PLAN REVIEW REVISIONS

1 Revised Per Owner Comments

PROJECT
HAR002

SHEET
L5 of 5

Plotted by: ###### Plot Date: 9/22/2021 3:11 PM

Drawing: W:\Shared With Me\shared\Projects\HAR002 - Emerson\DWG\HAR002-L5.dwg Saved By: Station13 Save Time: 9/22/2021 3:08 PM

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Henry Lee, *Planner*
DATE:	March 29, 2022
SUBJECT:	Z2022-009; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In at 902 & 906 S. Goliad Street*

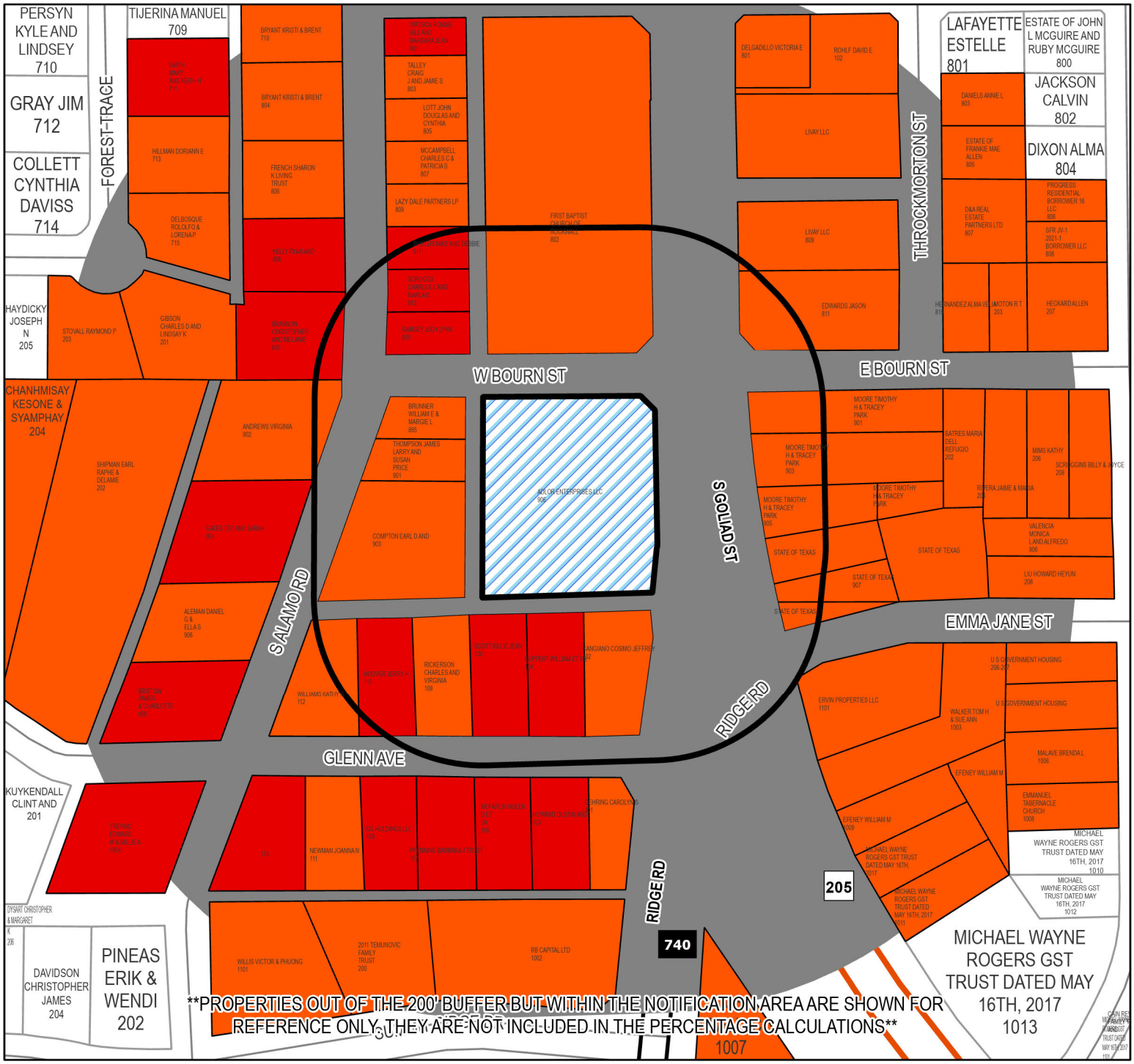
On March 15, 2022, the Planning and Zoning Commission approved a motion to table *Case No. Z2022-009* to the March 29, 2022 Planning and Zoning Commission meeting by a vote of 3-1, with Commissioner Moeller dissenting and Commissioners Chodun, Thomas, and Conway absent. The purpose of the motion was to allow the applicant additional time to address staff's comments and address issues raised by staff and the Planning and Zoning Commission during the March 15, 2022 meeting. On March 24, 2022, the applicant informed staff that they had failed to address staff's comments on the concept plan and would like to request the case be postponed a second time to the April 12, 2022 meeting. According to Subsection 02.03(C)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a) public hearing may be continued by the Planning and Zoning Commission or City Council … (t)he continuation of a public hearing shall be to a specific time and date no later than 30-days from the first or most recent public hearing … [and] (t)he announcement of a continuation at a public hearing shall be sufficient notice and no additional notice is required." In this case, if the extension is approved the applicant will remain within 30-days of their advertised public hearing, however another extension beyond the April 12th meeting will not be permitted.

Staff should note that since the March 15, 2022 Planning and Zoning Commission meeting staff has received an additional eleven (11) notices within the 500-foot notification buffer in opposition to the applicant's request. This brings the total of responses received to 24 notices in opposition to the applicant's request. Staff has updated the original case memo to reflect the additional notices and provided a *For and Against Map* showing the properties indicating their opposition. With regard to this request the Planning and Zoning Commission has the following options: [*1*] deny the request to table the public hearing and move forward with the case, or [*2*] approve the request to table the public hearing. Should the Planning and Zoning Commission have questions about the applicant's request staff will be present at the *March 29, 2022* meeting.

City of Rockwall

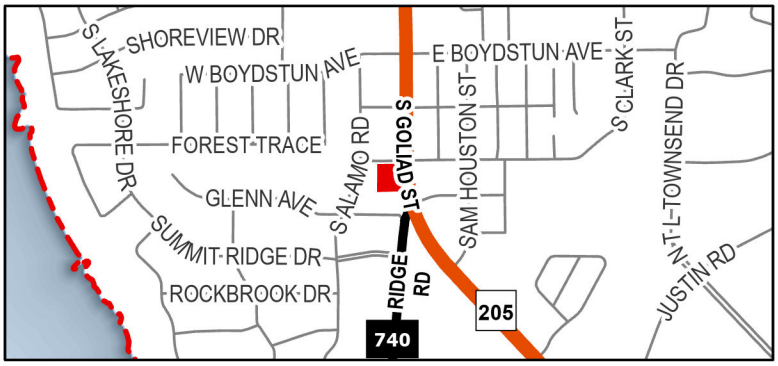
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2022-009 SUP for 906 S. Goliad Street

- Subject Property
- AGAINST (1.015 Acres) 14.78 %
- NO REPLY (2.615 Acres) 38.06 %
- ROW (3.24 Acres) 47.16 %
- FOR (0 Acres) 0 %



Legend

Date Created: 3/25/2022

For Questions on this Case Call (972) 771-7745

From: Dusty Howard
To: Planning
Subject: Case No. Z2022-009
Date: Friday, March 18, 2022 4:20:20 PM

Dear Planning Dept of Rockwall,
In response to the Rezoning request of 906 S. Goliad...

I am strongly opposed to the request for the reasons listed below:

Please do NOT allow for the Rezoning of 906 S. Goliad. This property is too close to the 205-Ridge intersection and would cause even more problems. We live at 103 Glenn Ave and witness MVCs on a regular basis at that intersection. Also by placing a restaurant in that location it would increase commercial traffic in a residential area where children play in the streets on a daily basis. Traffic would increase down the previously quiet residential streets of Summit Ridge, Bourn St, Glenn Ave, and Alamo Rd. Due to the location of the property on Ridge Rd and 205, the traffic in that exact area is frequently congested and alternate routes would be used through the residential streets to get to that location. This would not be beneficial to our quiet neighborhood streets. The traffic at that intersection is already an issue. Having a restaurant with a drive-through would also add unwanted noise and light pollution in the surrounding residential area. Please leave this property Zoned as residential.

Thanks,
Dusty Howard
103 Glenn Ave, Rockwall, TX 75087

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2022-009: SUP for Restaurant at 906 S. Goliad Street.

I am **OPPOSED** to the Fast food/drink restaurant being proposed at the above address and I ask that this be denied **with prejudice** for the following reasons:

1. THIS HAS ALREADY BEEN DECIDED. Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street. P & Z recommended denying this exact SUP and City Council unanimously rejected it for the obvious reasons that it is not a good place for a drive-through food/drink restaurant. Nothing has changed since about the property or the neighborhood since this was decided that now makes it conducive for one of these locations.

2. DENSITY. There is already a high density of drive thru dining and coffee facilities in the Rockwall area that are appropriately located around shopping centers, highway corridors and commercial areas. There is no need for one in the established residential part of town.

3. TRAFFIC. The proposed drive-thru location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to virtually impossible turn left into this traffic to go northbound.

Putting a busy fast food/drink restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave the fast food/drink restaurant. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydstun and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the fast food/drink restaurant facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

4. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Fast food/drink restaurant owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

5. EARLY/LATE OPERATING HOURS. Seven Brew Drive Thru Coffee is a food/drink restaurant is known for its long operating hours. These locations are typically open from 5:30 a.m. to 10:00 p.m. The bright lights, noises, and traffic will violate the residents right to quiet enjoyment of their homes.

6. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: **"How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals"** published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late

night restaurants such as Fast food/drink restaurant. This restaurant will only invite these kinds of people into our neighborhood.

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Fast food/drink restaurant property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Fast food/drink restaurants in the DFW area. Every other Fast food/drink restaurant in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

110 Glenn Ave
Rockwall, TX
75087

Gamez, Angelica

From: Scott and Michelle McNary <themcnarys@yahoo.com>
Sent: Wednesday, March 23, 2022 9:47 AM
To: Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Jorif, Clarence; Johannesen, Trace
Subject: Case No: Z2022-000

Good morning!

I'm writing to you in regards to the SUP for Restaurant at 906 S. Goliad Street.

I live at 113 Glenn Ave. We moved here in 2006. We love the neighborhood, the mature trees, our neighbors. Our house is small and when my husband and I purchased it, it was just the 2 of us. We now have twin boys and have honestly outgrown our house, but because of our love for our house, it's location, and our neighbors, we have decided to stay put.

Please, please, please take a moment to consider the reasons that follow as to why putting a drive through restaurant in this location would be detrimental to our neighborhood.

1 - CRIME: Fast food restaurants increase crime. In the article https://www.newsweek.com/fast-food-drive-thru-bank-arrest-felony-lane-sting-fbi-restaurants-security-1376132 published 2 years ago it details how crime increases around such operations.

2 - PROPERTY VALUE: No one will want to live near this restaurant. The noise, traffic, light and sound pollutions and increased crime will make it difficult to rent properties or to sell homes.

3 - INCREASE IN TRASH - Fast food restaurants produce trash and bring in rodents and bugs. There is cups, bags, paper, lids, straws. Because this establishment will back RIGHT UP to property lines and fences, it doesn't take a scientist to figure out where that wind blown trash will end up.

4 - TRAFFIC - The proposed drive-thru locations is right where 205 and Ridge Road splits. The area is already congested on its best days. There are many cars in the southbound right lane preparing to split off from 205 to Ridge. It will be extremely difficult to pull out into the lanes of traffic and will be virtually impossible to make a left hand turn. Living here as long as we have, we have heard countless accidents as they happen and have seen the traffic build up in our neighborhood to avoid the accidents. Adding yet another business in this already congested area is only going to increase this likelihood.

5 - RESIDENTIAL AREA: The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one simply does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes their right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant placing placing at this location will increase the risk of the city and the restaurant owner in an adverse position with neighborhood residents, heightening the risk of litigation from residents who seek to enforce these rights.

6 - HOURS OF OPERATION: The Seven Brews Drive Thru Coffee has operating hours from 5:30 am to 10:00 pm. The lights, noises, traffic, will violate the rights of the residents to enjoy the quiet of their homes.

7 - DENSITY - Rockwall has a lot of drive thru coffee and dining facilities. They are all appropriately located near shopping centers, off the highways, and in commercially zoned areas. We don't need one in a neighborhood.

8 - THIS HAS ALREADY BEEN DECLINED - A few years ago, this same situation came up at the same location. Our street showed up at your city council meeting to protest this and you heard our pleas. Nothing has changed about this property or the neighborhood around it since then.

We love our neighborhood. Please don't change it for something that won't add value to its charm. Adding this drive thru will only take away.

Thank you for taking the time to hear what we think are valid points as to reject the proposal for this restaurant.

Sincerely,

Scott, Michelle, Wes and Sam McNary

Lee, Henry

From: Ryan Kelly <rkelly120881@gmail.com>
Sent: Tuesday, March 15, 2022 11:50 AM
To: Planning
Subject: Case No. Z2022-009: SUP for Restaurant at 906 S. Goliad Street.

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

I am **OPPOSED** to the Fast food/drink restaurant being proposed at the above address and I ask that this be denied with prejudice for the following reasons:

1. **THIS HAS ALREADY BEEN DECIDED**. Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street. P & Z recommended denying this exact SUP and City Council unanimously rejected it for the obvious reasons that it is not a good place for a drive-through food/drink restaurant. Nothing has changed since about the property or the neighborhood since this was decided that now makes it conducive for one of these locations.

2. **DENSITY**. There is already a high density of drive thru dining and coffee facilities in the Rockwall area that are appropriately located around shopping centers, highway corridors and commercial areas. There is no need for one in the established residential part of town.

3. **TRAFFIC**. The proposed drive-thru location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to virtually impossible turn left into this traffic to go northbound.
Putting a busy fast food/drink restaurant at this location will result in: a. an increase in car accidents, injuries and fatalities; b. an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; c. a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave the fast food/drink restaurant. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydstun and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the fast food/drink restaurant facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

4. **RESIDENTIAL AREA**. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.
Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and fast food/drink restaurant owner in an adverse position

with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

5. **EARLY/LATE OPERATING HOURS**. Seven Brew Drive Thru Coffee is a food/drink restaurant known for its long operating hours. These locations are typically open from 5:30

a.m. to 10:00 p.m. The bright lights, noises, and traffic will violate the residents right to quiet enjoyment of their homes.

6. **INCREASE IN CRIME**. Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Fast food/drink restaurants. This restaurant will only invite these kinds of people into our neighborhood.

7. **INCREASE IN TRASH**. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Fast food/drink restaurant property and into people's yards. The smell will also carry into the neighborhood making for an unpleasant bbq, walk, or any outdoor activity.

8. **LOWER PROPERTY VALUE**. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. **DOES THIS ADD VALUE TO ROCKWALL?** This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in a residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Fast food/ drink restaurants in the DFW area. Every other Fast food/drink restaurant in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,
Ryan & Lacey Kelly
808 S Alamo Rd Rockwall TX 75087

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Lee, Henry

From: Chris <ccbran@gmail.com>
Sent: Monday, March 21, 2022 1:37 PM
To: Planning
Cc: Melanie
Subject: Case No. Z2022-009 SUP

To Whom It May Concern,

We are opposed to Case No. Z2022-009 SUP for a Restaurant with a Drive-Through/Drive-In.

My wife and I are opposed to this permit. A 'drive-through/drive-in' restaurant will invariably create more unnecessary traffic through an already developed and established neighborhood. Trying to get on Goliad/Ridge Rd from West Bourn Street (or vice versa) is already unbearable, especially since there is no traffic light there. There is no way that area could support a parade of cars throughout the day without making South Alamo Road a main thoroughfare for the business. As a homeowner with a family, I'm opposed to the zoning change for anything that will greatly increase traffic throughout our neighborhood and create more traffic congestion at the Ridge Rd and Goliad intersection. In addition, it is my understanding, that if the zoning change is approved for that lot, there will be no future safeguard for our neighborhood in the event a future restaurant is erected, with even more adverse effects (later hours, noise, pollution, traffic, lines of cars), similar to our arguments opposing Taco Bell's permit.

Sincerely,

Chris & Melanie Brannon
810 S. Alamo Rd
Rockwall, TX 75087

(469) 951-9233

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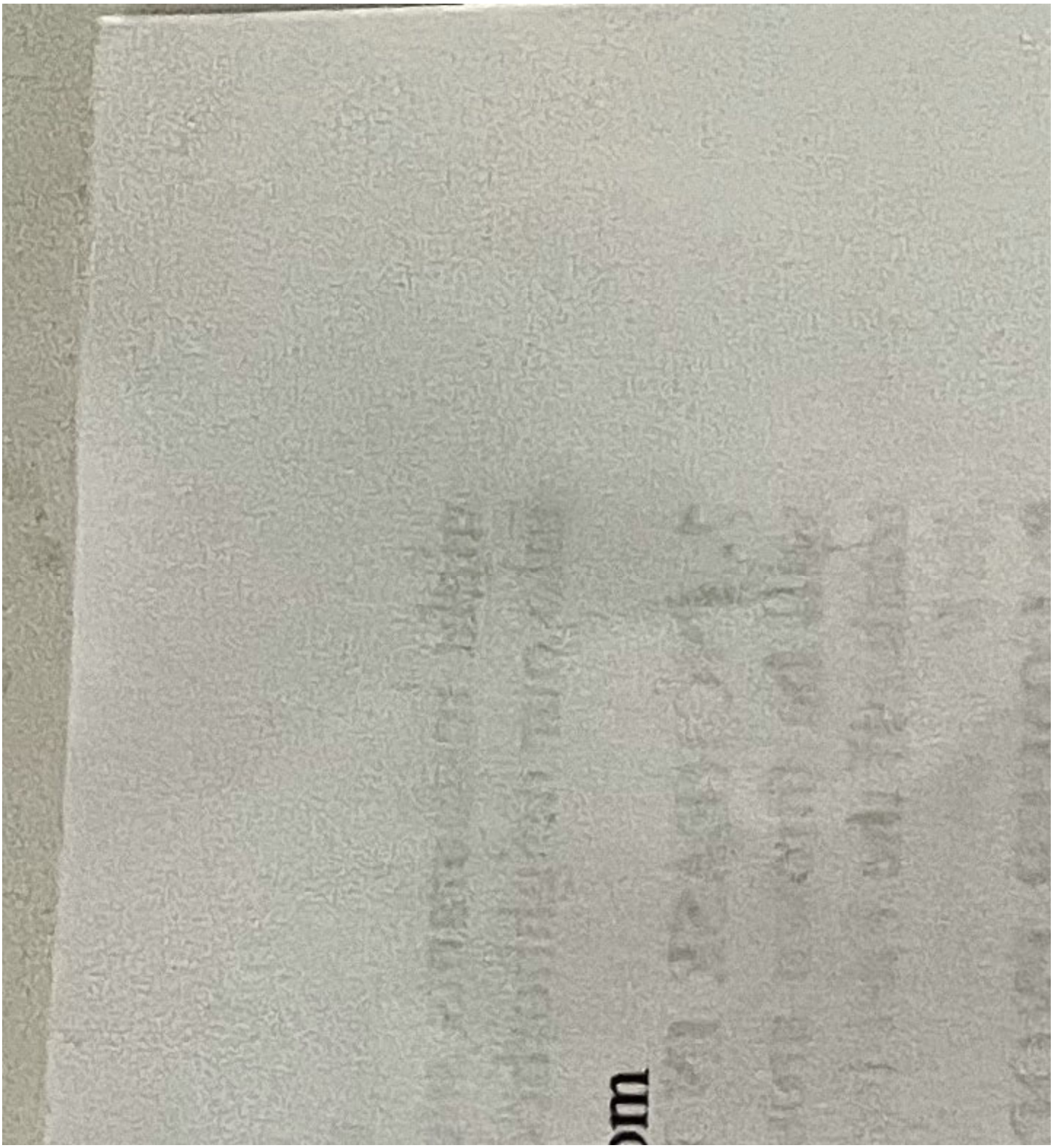
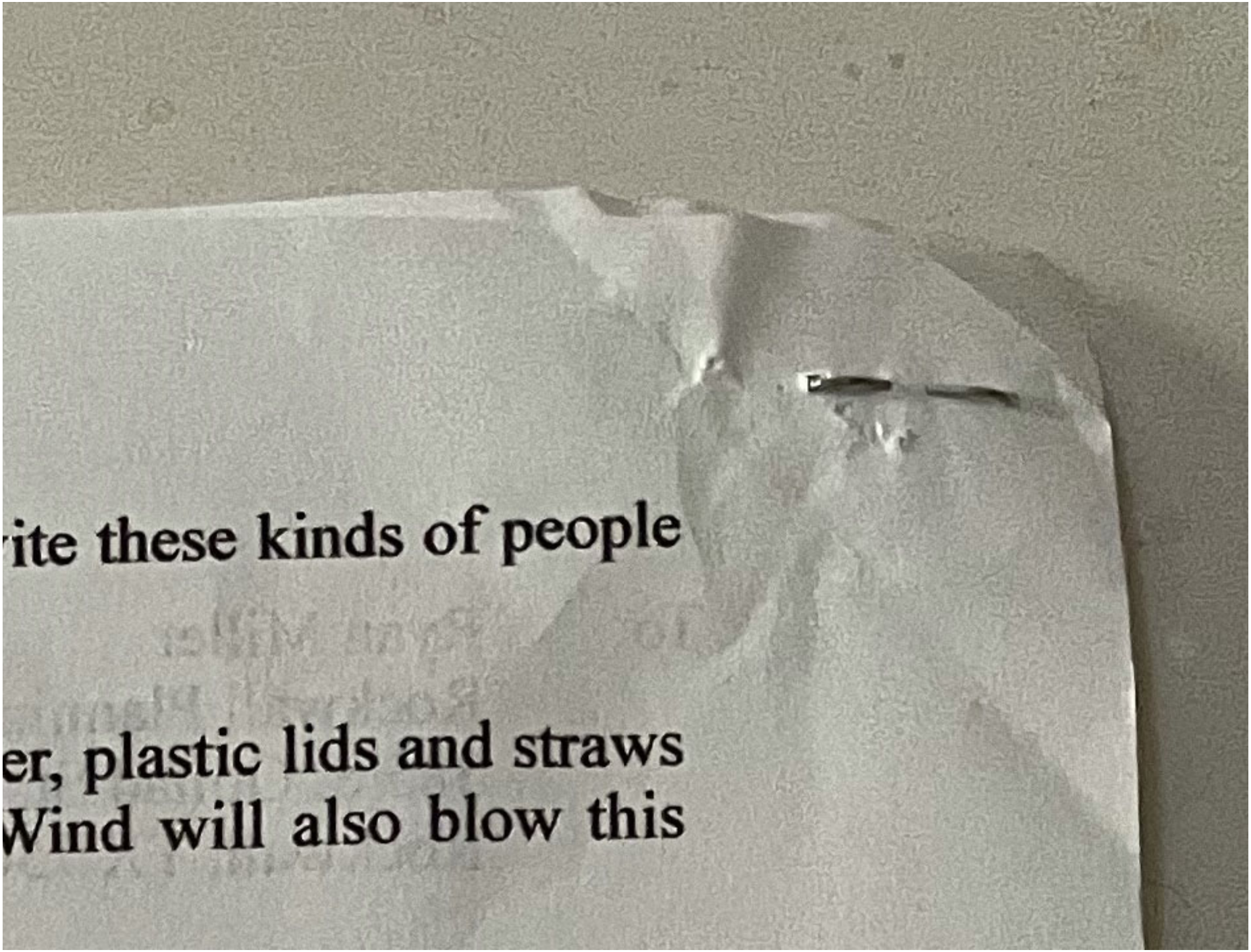
Lee, Henry

From: sarah bigham <sarah.bigham@outlook.com>
Sent: Wednesday, March 23, 2022 7:55 PM
To: Planning
Subject: Case z2022-009




ite these kinds of people
er, plastic lids and straws
Wind will also blow this

Sent from my iPhone

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below: would cause too much traffic on a residential street.

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Name: Charlotte Bristow

Address: 908 S. Alamo Rd, Rockwall, Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From:	Dawn Scroggs <dawn@canddcommercial.com>
Sent:	Wednesday, March 23, 2022 2:05 PM
To:	Daniels, Bennie; johnhohenshelt@rjockwall.com; Fowler, Kevin; clarence.jorif@rockwall.com; Johannesen, Trace
Cc:	Planning
Subject:	CASE NO Z2022-000: SUP FOR RESTAURANT at 906 S. GOLIAD

TO PLANNING AND ZONING COMMITTEE:

WE STRONGLY OBJECT ONCE AGAIN TO ANY DRIVE THROUGH IN THIS LOCATION.

As a homeowner at 913 S Alamo, I am sending my opposition once again to allow any drive through at this location. We as homeowners are objecting for the same reasons as 2 years ago for the following:

Traffic, crime, light pollution, noise, late night operations, disruption of a peaceful neighborhood that was well established.
WE ALL BOUGHT ON THIS STREET BECAUSE IT IS A QUIET AND PEACEFUL NEIGHBORHOOD.

Why do we have to be constantly fighting the planning and zoning on this location when we have voiced these same concerns
before and it was voted down by the majority. The zoning needs to remain the same and the P and Z should know and do what is in our best interest of the citizens (not the interest of one man who desperately wants to sell his property at our cost!)

Please vote this down once and for all.

Sincerely,

Dawn Scroggs
Vice President
C & D Commercial Services
p: 972.475.2271
a: 5030 Dexham Rd., Ste. 102, Rowlett, TX 75088
w: canddservicesinc.com e: Dawn@canddcommercial.com
Sweeping | Striping | Pressure Washing | Concrete | and More

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PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

This is definitely not a site for a restaurant and/or coffee shop. It is one of the most congested traffic areas in Rockwall. The intersection where the 205 & Ridge Road merge down heading North. Additionally homes behind are zero lot lines and traffice would be diverted to Alamo Rd - a narrow residential street. NO!!

Name: Millie Trevino

Address: 1004 S. Alamo Rd, Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

* Additionally there are already numerous coffee shops in Rockwall - w/ Starbucks Peets, Panera, etc, etc. 1404

To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: Case No. Z2022-009: SUP for Restaurant at 906 S. Goliad Street.

I am **OPPOSED** to the Fast food/drink restaurant being proposed at the above address and I ask that this be denied **with prejudice** for the following reasons:

1. THIS HAS ALREADY BEEN DECIDED. Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street. P & Z recommended denying this exact SUP and City Council unanimously rejected it for the obvious reasons that it is not a good place for a drive-through food/drink restaurant. Nothing has changed since about the property or the neighborhood since this was decided that now makes it conducive for one of these locations.

2. DENSITY. There is already a high density of drive thru dining and coffee facilities in the Rockwall area that are appropriately located around shopping centers, highway corridors and commercial areas. There is no need for one in the established residential part of town.

3. TRAFFIC. The proposed drive-thru location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to virtually impossible turn left into this traffic to go northbound.

Putting a busy fast food/drink restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave the fast food/drink restaurant. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydstun and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the fast food/drink restaurant facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

4. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Fast food/drink restaurant owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

5. EARLY/LATE OPERATING HOURS. Seven Brew Drive Thru Coffee is a food/drink restaurant is known for its long operating hours. These locations are typically open from 5:30

a.m. to 10:00 p.m. The bright lights, noises, and traffic will violate the residents right to quiet enjoyment of their homes.

6. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: **"How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals"** published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Fast food/drink restaurant. This restaurant will only invite these kinds of people into our neighborhood.

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Fast food/drink restaurant property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Fast food/drink restaurants in the DFW area. Every other Fast food/drink restaurant in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

/s/ Justin Scroggs
1512 S. Alamo
Rockwall, TX 75087

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 15, 2022
APPLICANT:	Jack Kurz, *RSDGP, LLC*
CASE NUMBER:	Z2022-009; *Specific Use Permit for a Restaurant, 2,000 SF or Less, with a Drive-Through at 902 & 906 S. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 10 (SF-10) District according to the 1983 zoning map. The subject property retained the Single-Family 10 (SF-10) District zoning designation until September 6, 2005 when the City Council approved Planned Development District 62 (PD-62) by adopting *Ordinance No. 05-42* [*Case No. Z2005-031*]. This Planned Development District re-designated the subject property for General Retail (GR) District land uses. In addition, the Planned Development District also re-designated the 0.7329-acre tract of land directly west of the subject property for Zero Lot Line (ZL-5) District land uses. At the time of the zoning change, situated on the 0.7329-acre tract of land was an existing 2,773 SF single-family home that was constructed in 1980. This tract of land, along with the subject property, were platted into Lots 1-3, Block A (*i.e. the 0.7329-acre tract of land*) and Lot 1, Block B (*i.e. the subject property*), Jack Canup Addition (*Case No. P2006-040*), which was filed with Rockwall County on April 11, 2007. The two (2) undeveloped lots west of the subject property (*i.e. Lots 1 & 2, Block A*) were developed with single-family homes in 2016. The subject property was vacant at the time the area was rezoned to Planned Development District 62 (PD-62), and has remained vacant since.

Staff is obligated to note that on September 21, 2020 the City Council granted a request to withdraw a Specific Use Permit (SUP) [*Case No. Z2020-035*] requesting to establish a *Restaurant, 2,000 SF or More, with Drive-Through or Drive-In* on the subject property. This request came after the Planning and Zoning Commission unanimously denied the case by a vote of 6-0, with Commissioner Conway absent.

PURPOSE

The applicant -- *Jack Kurz of RSDGP, LLC* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or Less with a Drive-Through/Drive-In* to allow the development of a drive-through restaurant (*i.e. 7 Brew*) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 & 906 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W, Bourn Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway is a 1.8046-acre parcel of land (*i.e. Lot 14, Block M, Sanger Addition*) that serves as an overflow parking lot for the First Baptist Church of Rockwall. The parking lot is zoned General Retail (GR) District. West of this land use, and northwest of the subject property, are eight (8) single-family homes (*i.e. Lots 6-13, Block M, Sanger Addition*) that are zoned Zero Lot Line (ZL-5) District.

South: Directly south of the subject property is a 15-foot undeveloped alleyway. Beyond this are 13 single-family residential lots (*i.e. Lots 1-6, Block 1 and Lots 1-7, Block 2, L&W Addition*) with 12 single-family homes situated on them. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the beginning of the S. Goliad Street [*SH-205*]/Ridge Road [*FM-740*] split, where a portion of S. Goliad Street proceeds south and a portion of the street splits and turns into Ridge Road. Ridge Road is identified as a M4D (*i.e. major collector, four [4] land, divided roadway*) and S. Goliad Street is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. Lots 1-5, Block A, Canup Addition*) that have two (2) buildings situated on them (*i.e. Mattress Depot and Rockwall Floor Covering*). These five (5) parcels of land are zoned Commercial (C) District.

West: Directly west of the subject property is a 20-foot alleyway that is partially developed. Beyond this are three (3) single-family, residential lots (*i.e. Lots 1-3, Block A, Jack Canup Addition*) with three (3) single-family homes situated on them. These properties are zoned Planned Development District 62 (PD-62) for Zero Lot Line (ZL-5) District land uses. Beyond these parcels of land is S. Alamo Street, which is designated as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family residential lots (*i.e. Lots 1-4, Block A and Lots 1-2, Block B, John Spong Subdivision #1*) with five (5) single-family homes situated on them. These lots are followed by the Lake Meadows Subdivision, which consists of 26 residential lots that were established in 1968. All of these properties are zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan depicting the layout of a 510 SF restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented so that the three (3) drive-through lanes will face onto S. Goliad Street. The applicant has stated that there will be no point of order, rather employees will take the orders from the drive-through lines (*i.e. similar to Chick-fil-A*). The *food delivery/payment window* will be oriented toward the residential properties adjacent to the southern property line. To provide landscape screening for the residential adjacencies the applicant has indicates a masonry screening wall with canopy trees adjacent to the residential alleyway located on the west property line. Landscape screening is also being depicted around the dumpster enclosure to screen it from S. Goliad Street [*SH-205*] and the adjacent residential properties.

Ingress and egress for the property will be provided via a driveway off of S. Goliad Street [*SH-205*] and a driveway off of W. Bourn Street. Staff should note that the subject property currently has a driveway off of S. Goliad Street that is located in approximately the center of the subject property. The parking requirement for a *Limited-Service Restaurant* (*i.e. a restaurant that does not provide indoor ordering, seating, and dining*) is one (1) parking space per 250 SF of floor area. In this case, the parking requirement for the proposed restaurant would be three (3) parking spaces. The concept plan shows the provision of 21 parking spaces and is over parked by 19 spaces per the parking requirements.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant with 2,000 SF or Less with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a General Retail (GR) District is tied to the fact that this zoning designation is typically located directly adjacent to or in close proximity to single-family residentially zoned districts. According to the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide *limited* retail and service uses for one (1) or more neighborhoods … [*it*] is not a major

commercial/retail district and should try to avoid intensive commercial land uses that carry large volumes of retail traffic." Based on the potential ability of the *Restaurant with 2,000 SF or Less with a Drive-Through or Drive-In* land use to generate higher traffic volumes, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may *not* be appropriate on all properties zoned General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

(1) Drive-through lanes shall not have access to a local residential street.
(2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
(3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements; however, the proposed concept plan does not provide landscape screening adjacent to drive-through lanes and the business is making use of W. Bourn Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. These non-conformities should be considered as part of this request due to the close proximity of the adjacent residential homes. According to the *Screening from Residential* standards contained in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential…land use…that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." In this case, the subject property is directly adjacent to residentially zoned and used property on the southern and western boundaries and would be required to meet the *Screening from Residential* standards along the entire length of the southern and western property lines.

According to the City's *Engineering Standards of Design Manual*, the proposed driveway along W. Bourn Street does not meet the minimum driveway spacing requirements. The applicant's plan shows this driveway being located just east of the existing residential alley way. The *Engineering Standards of Design Manual* requires that first driveway on W. Bourn Street be 200-feet off of S. Goliad Street [*SH-205*] and the spacing between driveways on W. Bourn Street be 100-feet. In this case the proposed driveway does not meet either of these driveway spacing requirements. This is an important consideration due to the intensity of the proposed land use and the number of trips per day generated by a drive-through restaurant with three (3) drive-through lanes.

STAFF ANALYSIS

When this request was originally reviewed, staff recommended to the applicant that they provide a letter outlining the proposed business operations and the proposed hours of operation. The applicant indicated that they would provide this information; however, at the time this report was drafted staff had not received a letter outlining this information. Staff also informed the applicant about the residential screening and landscaping requirements and that: [*1*] a six (6) foot masonry wall with canopy trees planted on 20-foot centers will be required along the southern and western property line, [*2*] a landscape buffer with a berm, canopy trees, accent trees, and a shrub row will be required along S. Goliad Street [*SH-205*] and W. Bourn Street, and [3] landscape screening must be provided around the dumpster enclosure and the remote cooler. Based on these comments from staff the applicant provided landscaping around the dumpster enclosure and the masonry wall and canopy trees along the adjacent residential alleyway to the west of the subject property; however, failed to extend the wall along the entire residential adjacency and did not show the required headlight screening.

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval requiring a Traffic Impact Analysis (TIA), requiring additional landscaping at the intersection of and along S. Goliad Street and W. Bourn Street, and requiring a six (6) foot masonry wall with canopy trees on 20-foot centers along the entire south and west property lines. With all this being said, a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2022, staff mailed 109 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stonebridge Meadows Homeowners Association (HOA), which is the only HOA's or

Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program (*the Highridge Estates Homeowners Association [HOA] is listed on the notification map, but has not provided contact information*). Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received ten (10) returned notices from nine (9) property owners in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or Less, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. 7 Brew*), then staff would propose the following conditions of approval:

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

(a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.

(b) A minimum of a six (6) foot masonry wall (constructed with materials matching the primary structure) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.

(c) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive-through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street. Additional landscaping may also be required at the time of site plan at the corner of W. Bourne Street and S. Goliad Street to impair the visibility of headlights from the drive-through lane.

(2) A Traffic Impact Analysis (TIA) shall be submitted and reviewed by the City of Rockwall prior to accepting a site plan application for the subject property.

(3) Additional trees, bushes, and shrubs will be required at: [*1*] the corner of and along S. Goliad Street and W. Bourn Street; [*2*] adjacent to the masonry wall along the southern and western property boundaries (*i.e. adjacent to the residential adjacency*), and [*3*] south of the *restaurant ordering board*. These will be required to be shown on the landscape plan submitted with the site plan.

(4) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."

(5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☒ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1&2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	906 S Goliad St, Rockwall, TX				
SUBDIVISION	Jack Carey Addition	LOT	1	BLOCK	B
GENERAL LOCATION	Goliad St + Bourn St.				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	GR/PD-62	CURRENT USE	Vacant		
PROPOSED ZONING	GR w/SUP	PROPOSED USE	Drive thru coffee		
ACREAGE	.43	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	ADLOR ENTERPRISES LLC	☒ APPLICANT	Jack Kurz - RSDEP, LLC
CONTACT PERSON	ALLEN ANDERSON	CONTACT PERSON	Jack Kurz
ADDRESS	1208 S. LAKESHORE DR	ADDRESS	1510 N Dollar Pkwy Ste 440
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	Dallas TX 75248
PHONE	214-538-2209	PHONE	(314) 578-8484
E-MAIL	AA1NTX@MSN.COM	E-MAIL	jkurz@redskyholdings.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ALLEN ANDERSON [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 215.00, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

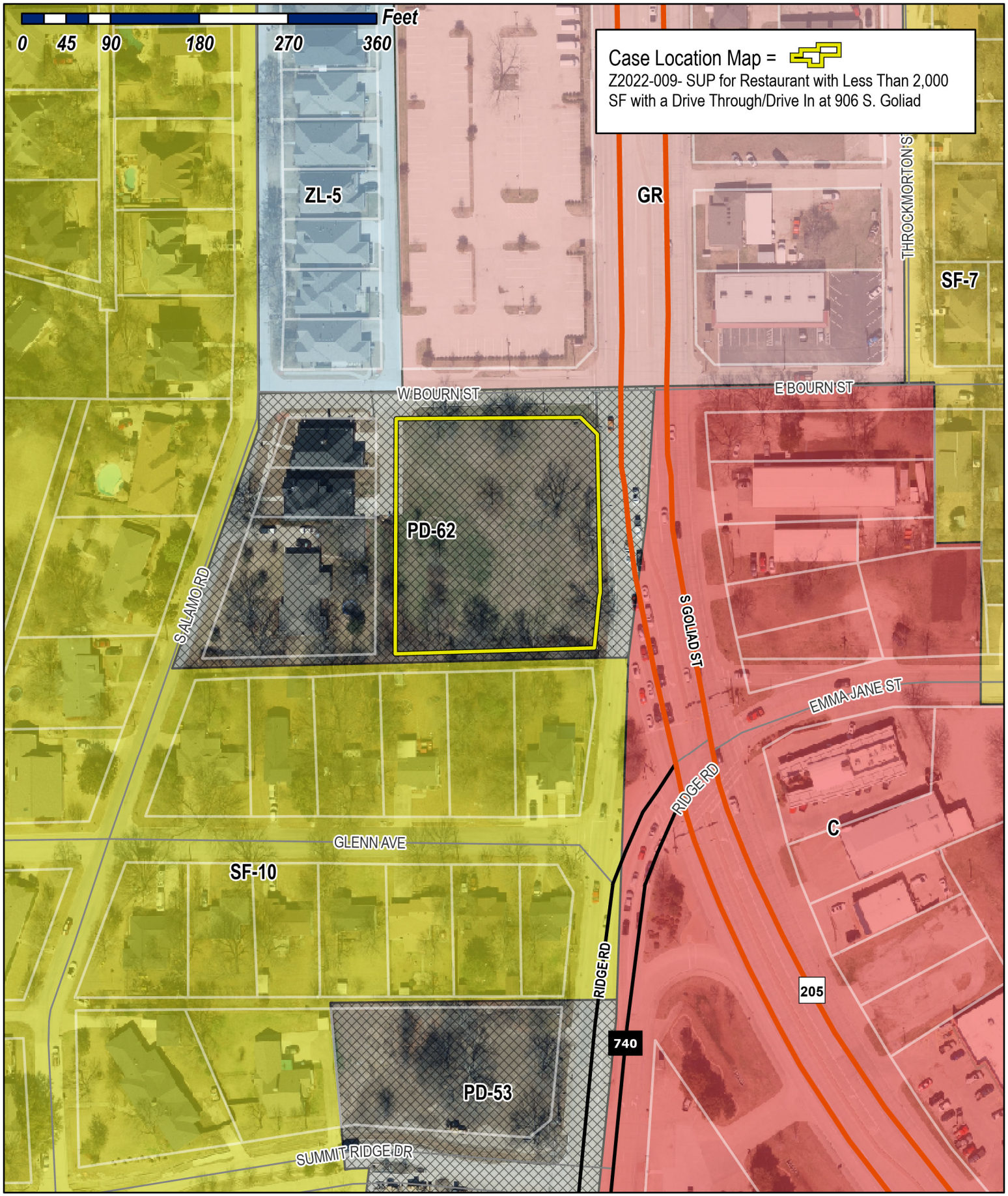
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 *DAY OF* February, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Christine N. Brandy

MY COMMISSION EXPIRES 12/03/2023

NOTARY PUBLIC STATE OF TEXAS
Christine Noel Brandy
My Commission Expires
12/03/2023
ID No. 130457290



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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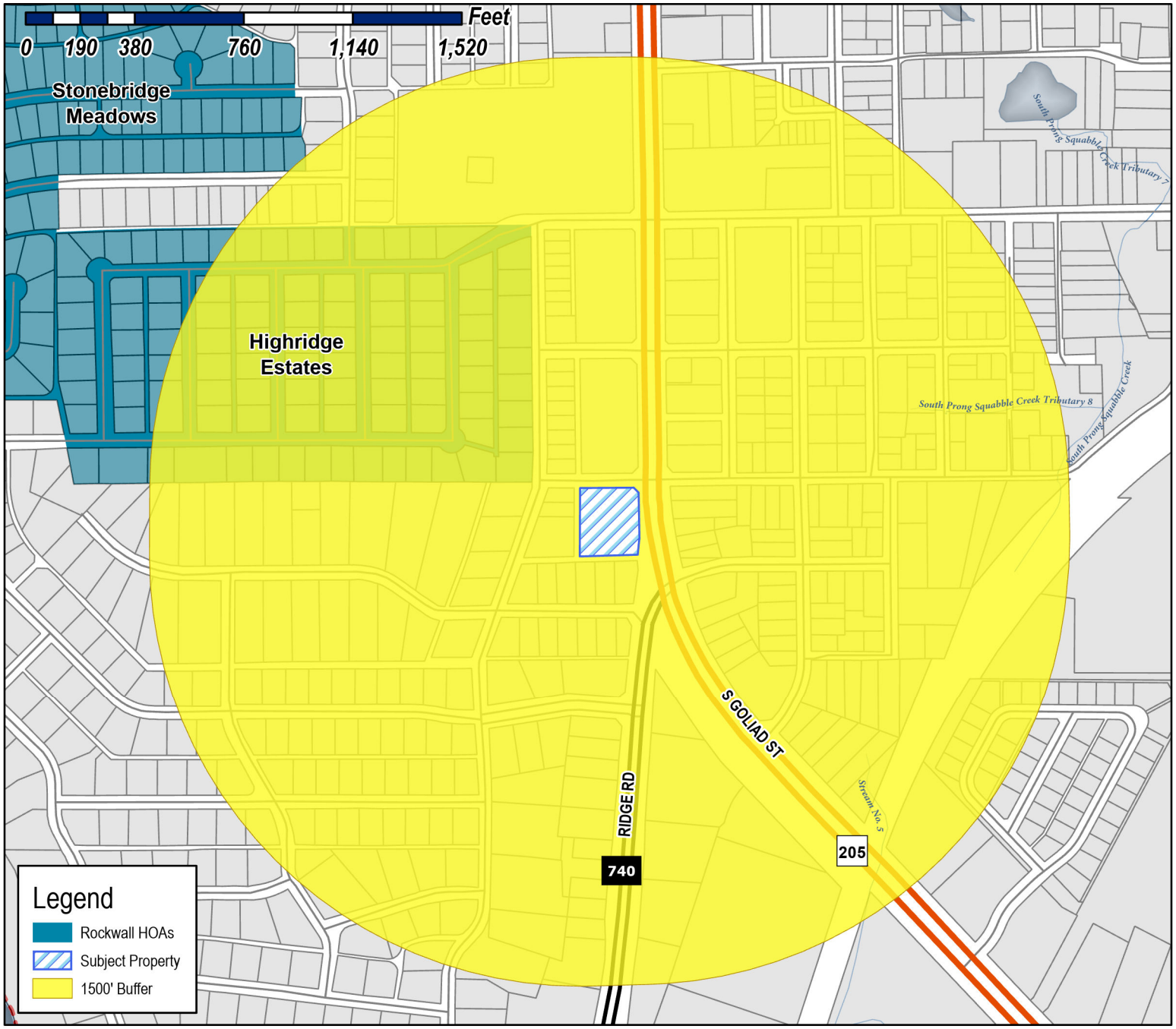

Case Number: Z2022-009
Case Name: SUP for Restaurant with less than 2,000 SF w/ a Drive Through/Drive In
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad

Date Saved: 2/18/2022
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, February 23, 2022 2:24 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-009]
Attachments: Public Notice (02.23.2022).pdf; HOA Map (02.18.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *February 25, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-009: SUP for Restaurant with Less than 2,000 SF with a Drive Through or Drive In
Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [*SH-205*], and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

This email was scanned by Bitdefender

City of Rockwall

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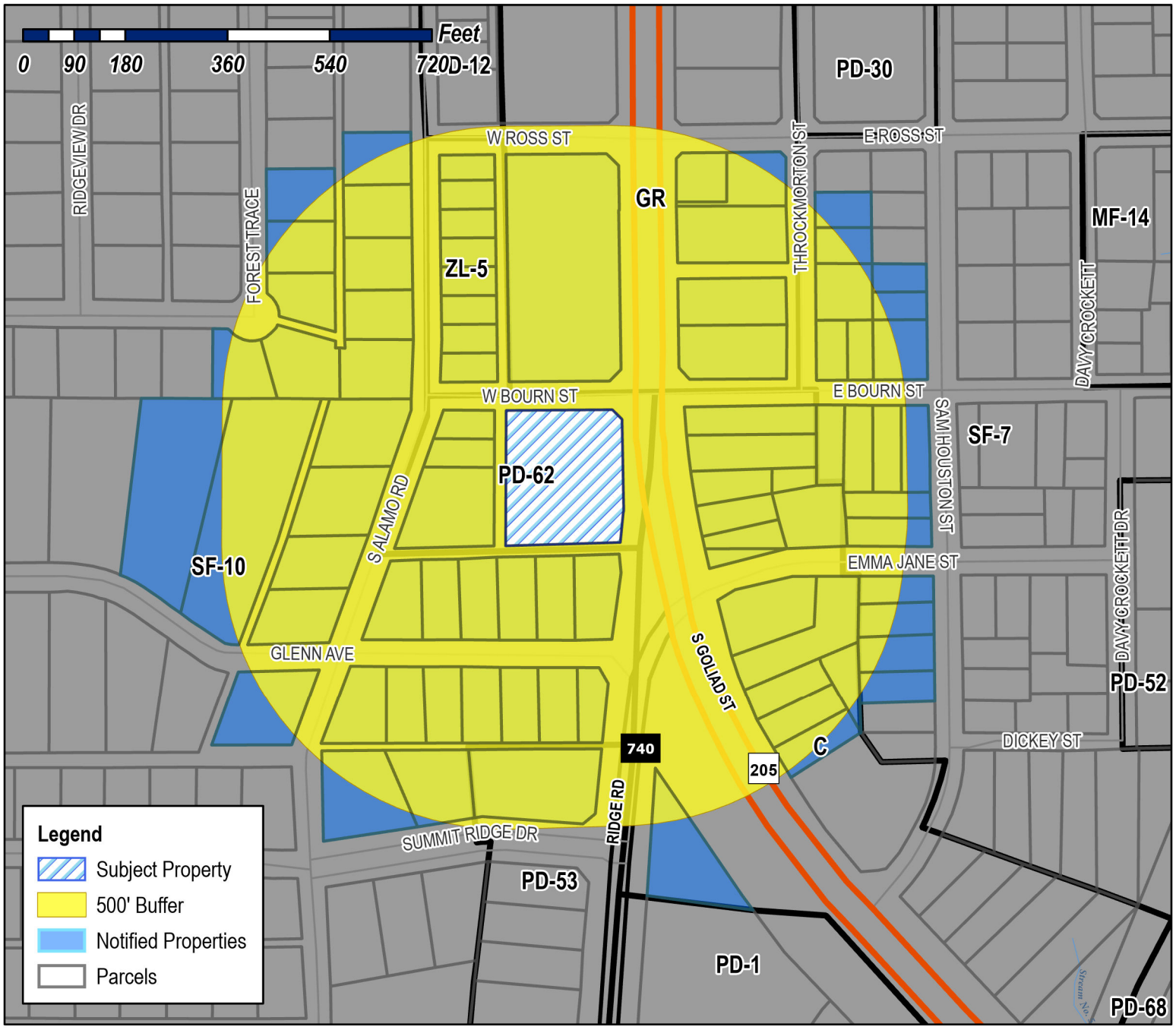
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-009
Case Name: SUP for Restaurant less than 2,000 SF w/Drive Through/Drive In
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad
Date Saved: 2/18/2022

For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE RD
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1011 S GOLIAD ST
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENNAVE
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75089

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN AVE
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN AVE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN AVE
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

WILLIS VICTOR & PHUONG
14 KESWICK CT
HEATH, TX 75032

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

SFR JV-1 2021-1 BORROWER LLC
C/O. TRICON AMERICAN HOMES LLC
1508 BROOKHLLOW DRIVE
SANTA ANA, CA 92735

RICKERSON CHARLES AND VIRGINIA
1728 RIDGE RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200S UMMIT RIDGE DR
ROCKWALL, TX 75087

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

U S GOVERNMENT HOUSING
206-207EMMA JANE ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN AVE
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
208 EMMA JANE ST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

SCOTT BILLIE JEAN
4 SUNSET TRAIL
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
6104 LYNDON B JOHNSON FREEWAY APT#2502
DALLAS, TX 75240

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
806 SAM HOUSTON ST
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807 S ALAMO RD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

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C/O. TRICON AMERICAN HOMES LLC
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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

THOMPSON JAMES LARRY AND SUSAN PRICE
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

GATES TED AND SARAH
904 S ALAMO ROAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Name: WILLIAM RUPPERT - 9531 RIVERTON RD DALLAS 75218

Address: 104 GLENN - ROCKWALL ADDRESS

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

I am protesting the construction of the Restaurant case # Z2022-009 due to the fact it is a residential area. It would highly increase the already high volume of traffic and accidents in the section.

Name: BARBARA McFarlin

Address: 105 Glenn Ave Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Name: Chris Knox / CG Holdings LLC

Address: 106 Glenn Ave Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

Name: Chris Knox / CG Holdings LLC

Address: 709 Glenn Ave. Rockwall

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Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

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☒ I am opposed to the request for the reasons listed below.

Traffic on Goliad is so heavy & increased! Also lots of traffic coming from South Ridge near there has also increased in last 5-7 years.

Name: Barbara J. Pfenning

Address: 107 Glenn Ave., Rockwall, TX (property address, not for mail.)

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

Use is too intense in close proximity to residential.
One concept plan shows entrance too close to homes
Intense use so close to major intersection

Name: Mary Smith

Address: 711 Forest Trace 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☑ I am opposed to the request for the reasons listed below.

We are opposed to the restaurant for these reasons: Traffic is already a problem on Bourne, and especially Alamo due to the increase on Goliad. Although a coffee shop isn't as bad as a taco place, it's still a restaurant with trash, noise, and people.

Name: RONNIE AND BARBARA WATSON

Address: 801 S. ALAMO

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Hold a public hearing to discuss and consider a request by Jack Kurz of RSDGP, LLC on behalf of Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, March 15, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, March 21, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, March 21, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below. This location is too close to split of 205 & 740=nightmare 1. Property values would plummet & selling would be very difficult. 2. Most residents are retired. 3. The drive thru would move traffic to access the alley, so our privacy and safety would be negatively impacted. 4. Traffic would increase exponentially is our residential neighborhood. 5. Traffic noise would disturb our peace. 6. Lighting may effect the homeowners living next to it. 7. Litter would be prevalent. 8. The dumpster would be a rid with putrid food, attracting rats & stray animals.

Name: Mike & Debbie Shields

Address: 811 S. Alamo Rd.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

- We do not want a Restaurant in our back Yard.
- There are homes on 2 sides of this Property.
- The City would have to put in a traffic Light @ Bourn & Goliad.

Name: Chuck Scroggs

Address: 813 S. Alamo

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2022-009: SUP for a Restaurant Less Than 2,000 SF with a Drive Through /Drive In

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

THE CONSEPTUAL SITE PLANS SHOW ENTRANCE/EXIT TO BUSINESS ON W. BOURN ST. PEOPLE VISITING THIS BUSINESS WILL USE THESE TO ACCESS BUSINESS BY COMING THROUGH OUR RESIDENTIAL AREA ON ALAMO RD. - DANGEROUS TO CHILDREN ON BIKES, WALKERS, DOG WALKERS. SOUTH ALAMO HAS VERY FEW SIDEWALKS; STREET USED BY PEDESTRIANS. PLEASE NO! TRAFFIC ON SOUTH GOLIAD WILL ENCOURGE USING SOUTH ALAMO RD.

Name: JUDY L. RAMSEY

Address: 815 SOUTH ALAMO RD. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

RSDGP, LLC
15110 N Dallas Pkwy
Ste. 440
Dallas, TX 75248

Dear City of Rockwall,

RSDGP is applying for a specific use permit to develop a drive-through concept located at the address of 906 S Goliad St. The development plan is designed to develop the site for 7Brew Coffee. 7Brew Coffee is a new coffee concept in the Dallas area.

RSDGP is applying for a specific use permit because the site is currently in the PD-62 district which is a subsection of the GR, General Retail, district. The 7Brew concept is a 510 SF building with a drive-through. This conceptual development plan would be considered a "restaurant with less than 2,000 SF with Drive-Through or Drive-In". This use requires a specific use permit in the GR zoning district.

In order for the development plan to take place, the first item that needs to be addressed is applying and acquiring a SUP. RSDGP believes that a drive-through coffee concept located at 906 S Goliad St would benefit the local neighborhoods and the city of Rockwall. The site is located at the Ridge Rd and Goliad St split which is why a drive-through coffee concept makes sense in this part of Rockwall. People leaving their homes, heading towards the retail corridor and businesses along I-30 will have an ideal morning coffee stop. RSDGP believes 7Brew will bring positive business and added aesthetic development to the nearby neighborhoods.

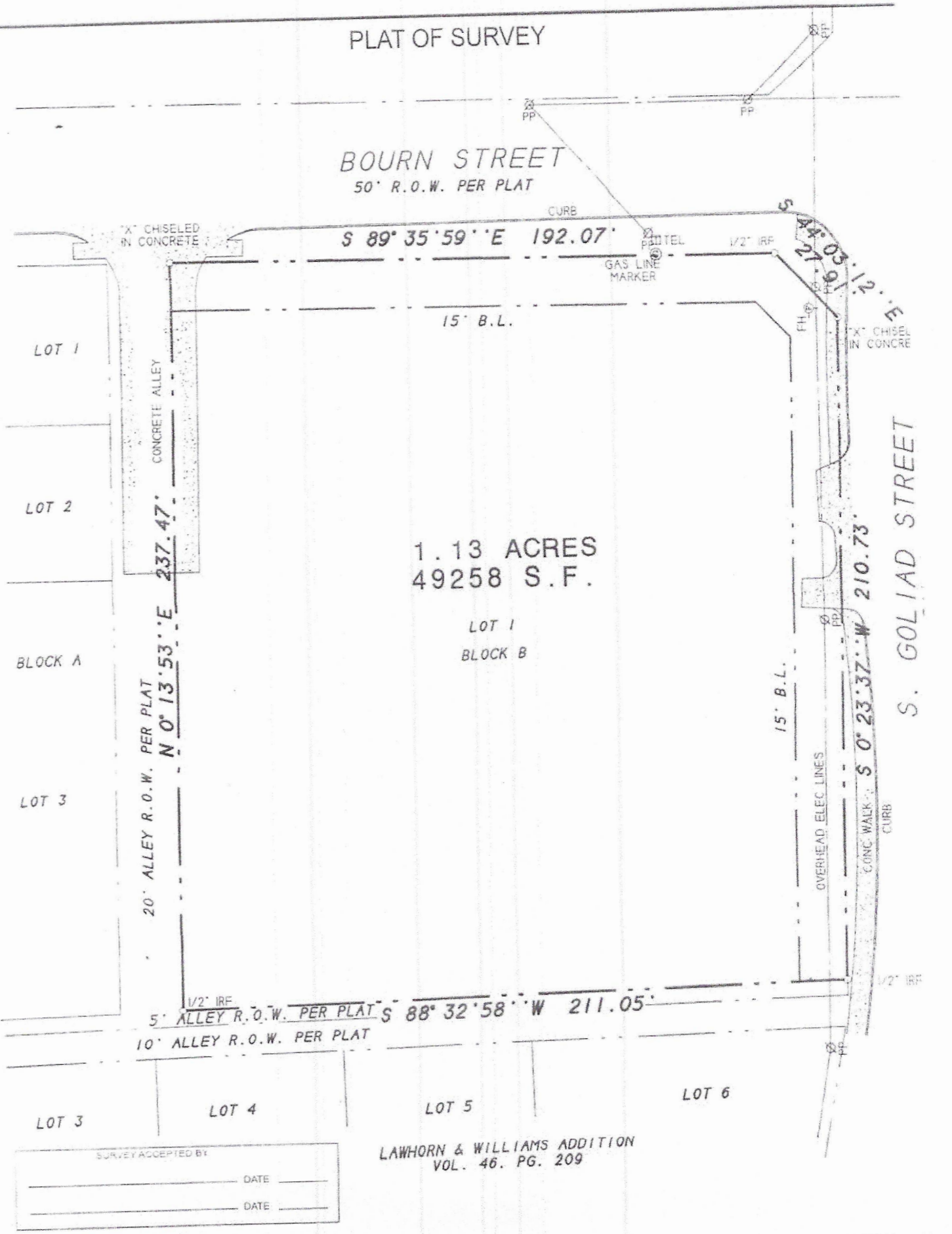
Sincerely,

Jack Kurz
Development Manager
E: jkurz@redskyholdings.com
C: (314) 578-8484

Legal Description

JACK CANUP ADDITION, BLOCK B, LOT 1, ACRES 1.1308

PLAT OF SURVEY





SH 205
VARIABLE WIDTH R.O.W.

DESCRIPTION

Being Lot 1, in Block B of the JACK CANUP ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet G, Slide 133, of the Plat Records of Rockwall County, Texas.

NOTES

1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: RECORDED PLAT.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY and JORGLY, LLC at 906 S. GOLIAD STREET, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 17th day of July, 2015.

Harold D. Fetty III, R.P.L.S. No. 5034

STATE OF TEXAS
REGISTERED
HAROLD D. FETTY III
5034
PROFESSIONAL
LAND SURVEYOR

SYMBOL LEGEND

TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)
FENCE	EASEMENT LINE PROPERTY LINES		A/C AIR COND. UNIT	PROPANE TANK

SURVEY DATE JULY 17, 2015
SCALE 1" = 40' FILE # 20061374-18
CLIENT JORGLY, LLC GF # 15-223229-RL

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6,770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



SEVEN BREW DRIVE THRU COFFEE

906 SOUTH GOLIAD STREET

ROCKWALL, TEXAS

1" = 30'

0 10' 20' 30' 60'

N

CONCEPTUAL SITE PLAN

MARCH 10, 2022

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Jack Kurz of RSDGP, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [*SH-205*], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

DRAFT 05.24.2022

Planned Development District 62 (PD-62) [*Ordinance No. 05-42*], and Subsection 04.01, *General Commercial Districts Standards*; and Subsection 04.04, *General Retail (GR) District*; of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the futur*e -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.

2) A minimum of a six (6) foot masonry wall (*i.e. constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees shall be planted on 20-foot centers along the entire length of the wall.

3) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive-through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street. Additional landscaping may also be required at the time of site plan at the corner of W. Bourne Street and S. Goliad Street to impair the visibility of headlights from the drive-through lane.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid,

DRAFT ORDINANCE 03.25.2022

the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF APRIL, 2022.

_____

Kevin Fowler, *Mayor*

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

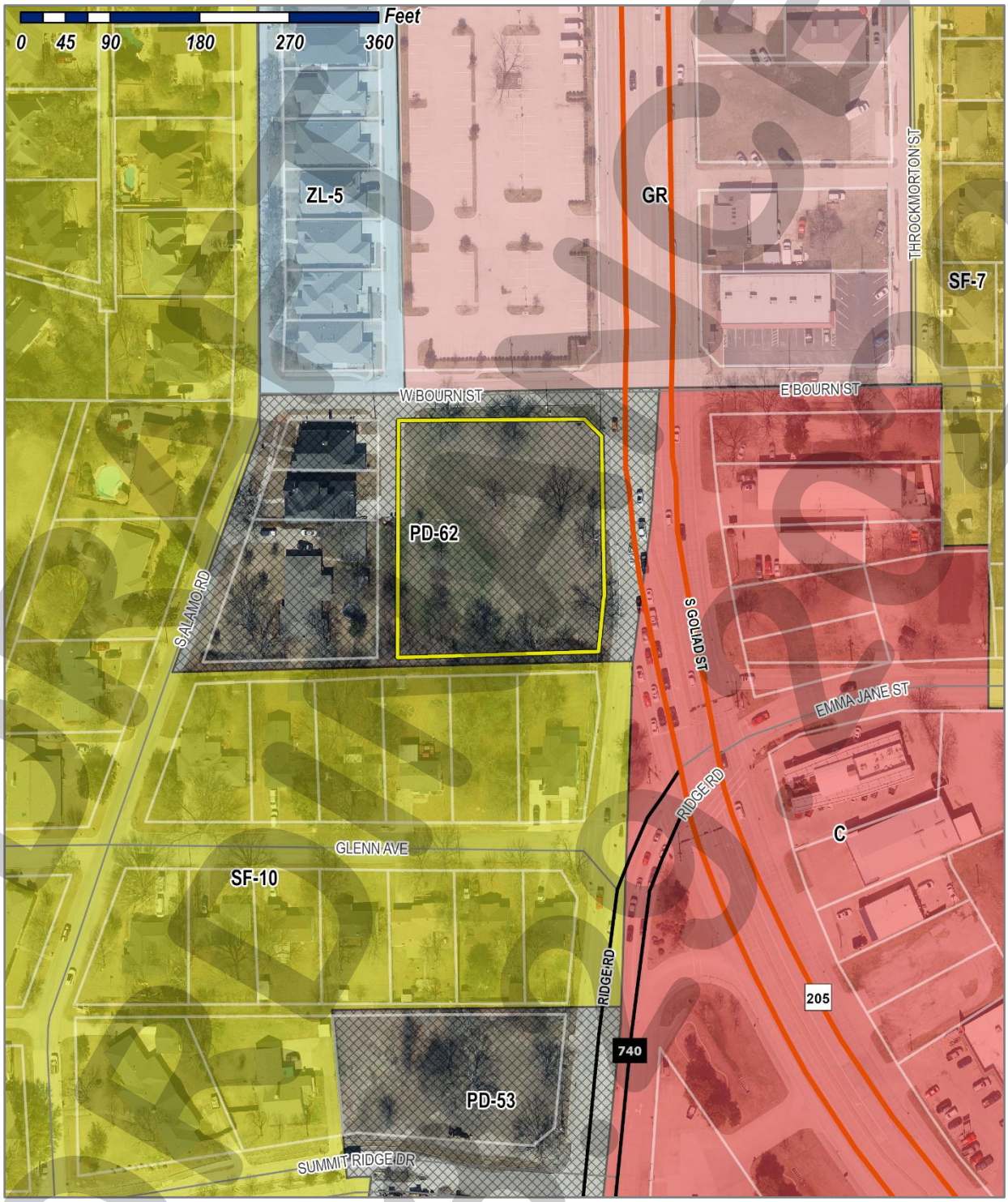
1st Reading: *March 21, 2022*

2nd Reading: *April 4, 2022*

DRAFT ORDINANCE 03.29.2022

Exhibit 'A'
Location Map

Address: *902 & 906 S. Goliad Street*
Legal Description: *Lot 1, Block B, Jack Canup Addition*



DRAFT 03/08/2022

Exhibit 'B':
Concept Plan



DRAFT 03.29.2022

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	Z2022-013	CASE MANAGER:	Angelica Gamez
PROJECT NAME:	SUP for Residential Infill at 130 Chris Drive	CASE MANAGER PHONE:	972-772-6438
SITE ADDRESS/LOCATIONS:	130 CHRIS DR, ROCKWALL, 75032	CASE MANAGER EMAIL:	agamez@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Rodolfo Cardenas of CARES Home Builder, Inc. for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 985A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Gamez	03/25/2022	Approved w/ Comments

03/25/2022: Z2022-013; Specific Use Permit (SUP) for Residential Infill for 130 Chris Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home a 0.1650 -acre parcel of land identified as Lot 985A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive.
I.2 For questions or comments concerning this case please contact Angelica Gamez in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
M.3 For reference, include the case number (Z2022-013) in the lower right-hand corner of all pages on future submittals.
I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Lake Rockwall Estate Subdivision, which has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed.
I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision … [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."
I.6 The garage is required to meet the standards established in Subsection 07.04, Accessory Structure Development Standards of Article 04, of the Unified Development Code (UDC). This section requires that a garage be situated a minimum of 20-feet behind the front façade of the single-family home. In the current request, the garage is set approximately six (6) feet, six (6) inches in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.
I.7 All residential structures shall be constructed with a minimum 3:12 roof pitch as stipulated in Subsection 03.01 General Residential District Standards of Article 05, of the Unified Development Code (UDC). In this request, the proposed home's roof pitch is deficient and does not meet the minimum standards.
M.8 Please review the attached Draft Ordinance prior to the March 29, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 4, 2022.
I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff

ample time to review the case prior to the April 12, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 29, 2022.

I.10 The projected City Council meeting dates for this case will be April 18, 2022 [1st Reading] and May 2, 2022 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Approved w/ Comments

03/23/2022: I - Will need to get an engineered design for the culvert under the driveway. This will also need to include the plan for grading the property with the house on it.
I - Will need to replat for 10' UE in the back of lot and 10' UE in front.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved w/ Comments

03/21/2022: Address will be *130 Chris Dr. Rockwall , TX 75032*

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. Z2022-013

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:
[ ] Master Plat ($100.00 + $15.00 Acre) [1]
[ ] Preliminary Plat ($200.00 + $15.00 Acre) [1]
[ ] Final Plat ($300.00 + $20.00 Acre) [1]
[ ] Replat ($300.00 + $20.00 Acre) [1]
[ ] Amending or Minor Plat ($150.00)
[ ] Plat Reinstatement Request ($100.00)

Site Plan Application Fees:
[ ] Site Plan ($250.00 + $20.00 Acre) [1]
[ ] Amended Site Plan/Elevations/Landscaping Plan ($100.00)

Zoning Application Fees:
[ ] Zoning Change ($200.00 + $15.00 Acre) [1]
[ ] Specific Use Permit ($200.00 + $15.00 Acre) [1]
[ ] PD Development Plans ($200.00 + $15.00 Acre) [1]

Other Application Fees:
[ ] Tree Removal ($75.00)
[ ] Variance Request ($100.00)

Notes:
[1]: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address	130 Chris Dr Rockwall TX 75032				
Subdivision	Rockwall Lake Estates 2	Lot	985A	Block	
General Location	Rockwall				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	PD 75	Current Use	Residential		
Proposed Zoning	PD 75	Proposed Use	Residential		
Acreage	.165	Lots [Current]	1	Lots [Proposed]	1

[ ] ***SITE PLANS AND PLATS:*** *By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[ ] Owner	CARES Home Builder INC	[ ] Applicant	CARES Home Builder INC
Contact Person	Rodolfo Cardenas	Contact Person	Rodolfo Cardenas
Address	3637 Marquis Dr Suite #112	Address	3637 Marquis Dr Suite #112
City, State & Zip	Garland, TX 75042	City, State & Zip	Garland, TX 75042
Phone	469-471-4903	Phone	469-471-4903
E-Mail	careshb4u@gmail.com	E-Mail	careshb4u@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Rodolfo Cardenas [*Owner*] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of March, 2022. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 *day of* March, 2022

Owner's Signature _____

Notary Public in and for the State of Texas Jaime C Garcia

JAIME C GARCIA
Notary ID #130194485
My Commission Expires
May 3, 2023

My Commission Expires



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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Planning & Zoning Department
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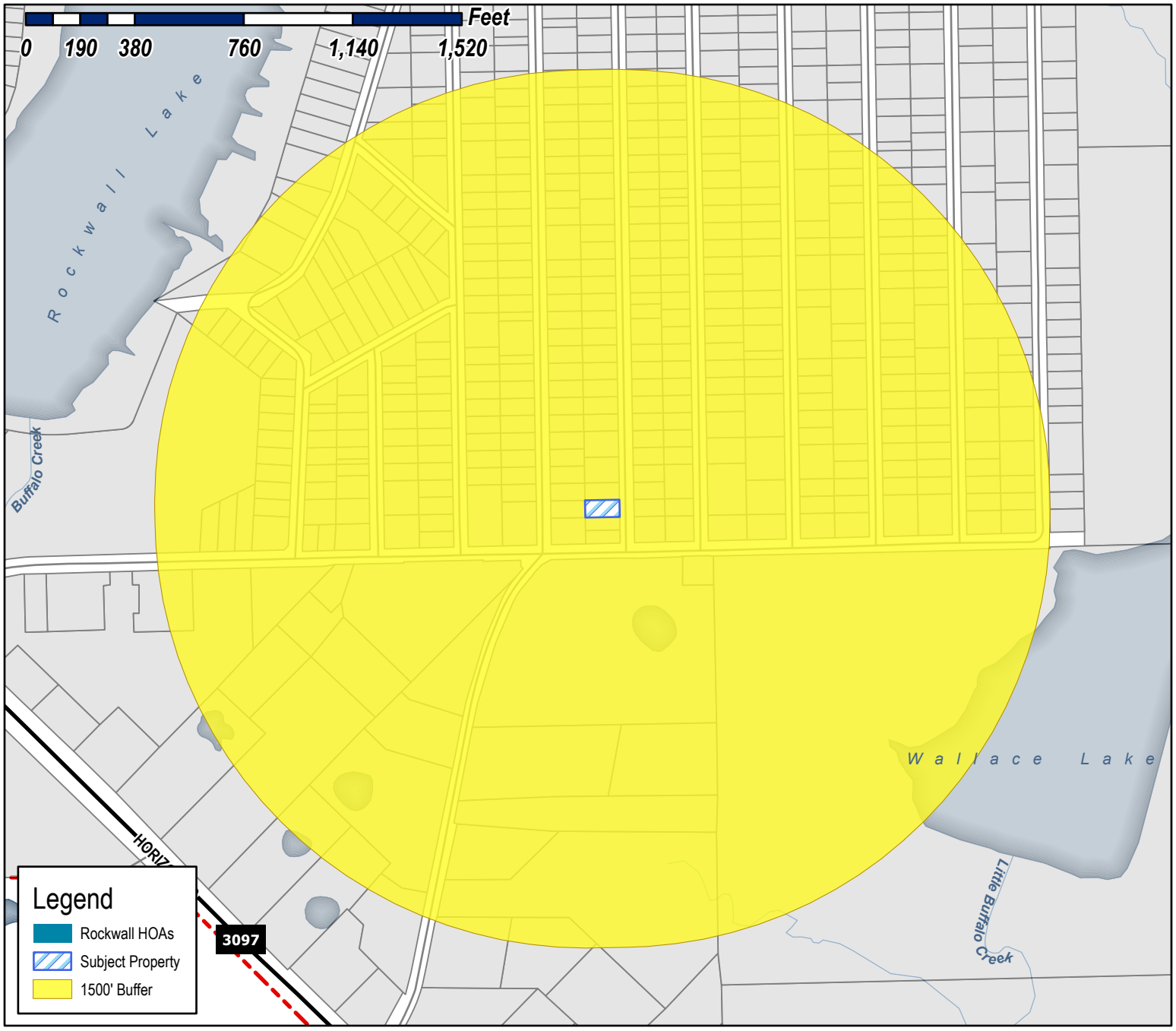
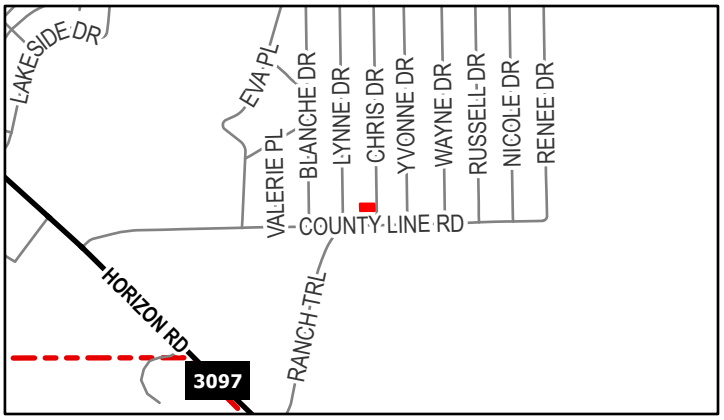


Case Number: Z2022-013
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 130 Chris Drive

Date Saved: 3/17/2022
For Questions on this Case Call (972) 771-7745



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Planning & Zoning Department
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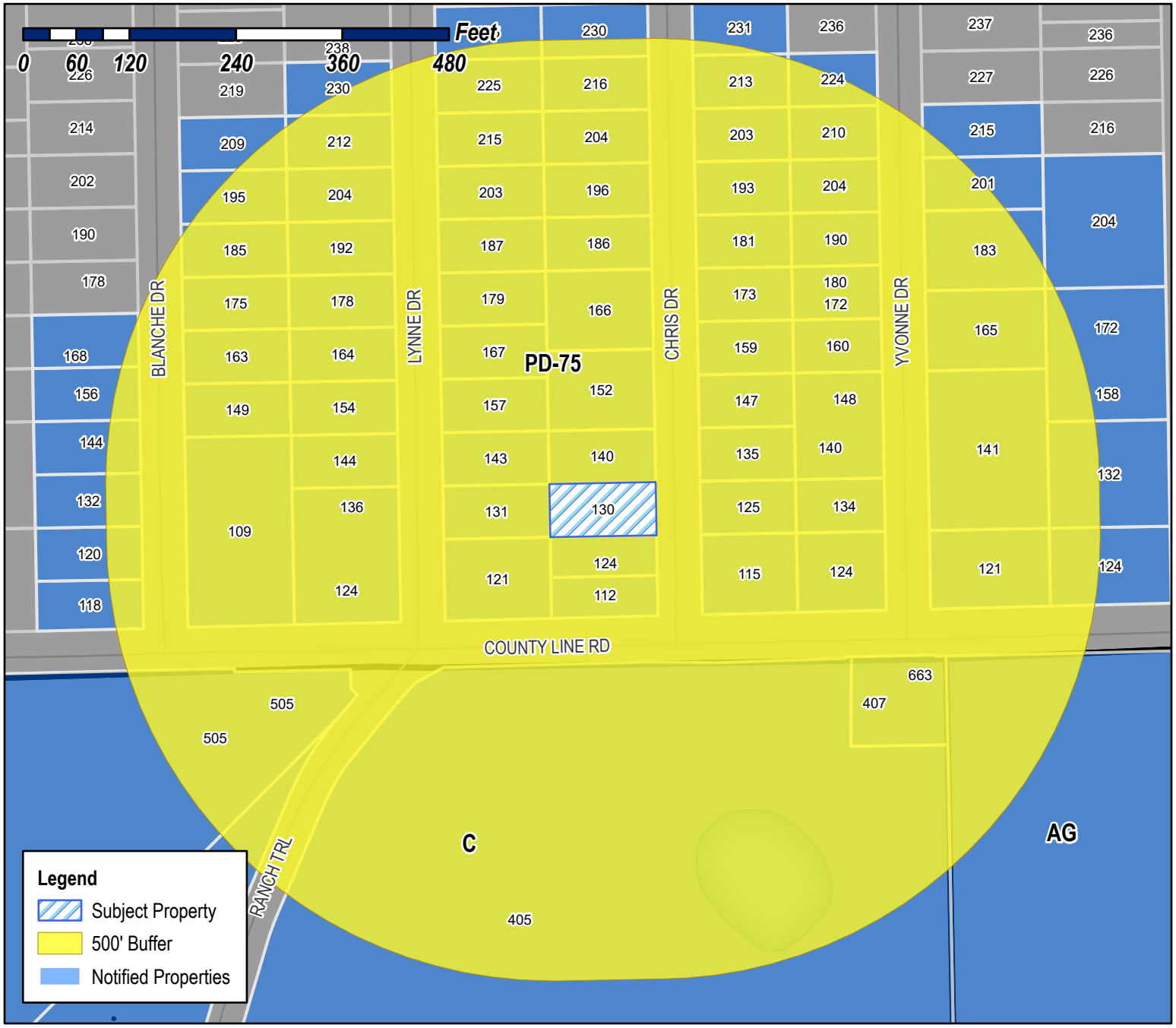

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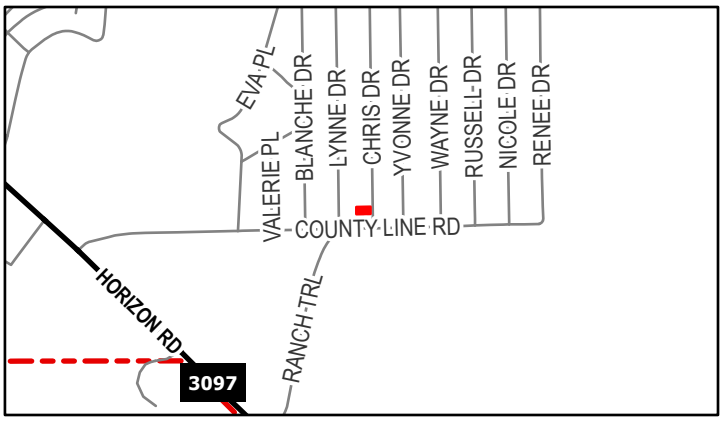


VARGAS RICARDO
109 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT CORPORATION
112 CHRIS DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
118 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
120 BLANCHE DR
ROCKWALL, TX 75032

PARTIDA EDUARDO A AND IRMA
121 YVONNE DR
ROCKWALL, TX 75032

MAYES CHRISTOPHER
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

DE SANTIAGO OSCAR MANUEL ACOSTA
124 WAYNE DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT CORPORATION
124 CHRIS DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
124 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
124 YVONNE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

ESPINOZA ERIKA ARACELI
125 NICOLE DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
130 CHRIS DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
131 LYNNE DR
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
132 BLANCHE DR
ROCKWALL, TX 75032

ESPINOZA ERIKA ARACELI
132 WAYNE DR
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

HILTON THOMAS
135 CHRIS DRIVE
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
143 LYNNE DR
ROCKWALL, TX 75032

GARCIA MARTIN
144 BLANCHE DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

MEZA FRANCISCO J AND YOLANDA S
150 CHRIS DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
157 LYNNE DR
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

BETETA RUTH E
159 CHRIS DR
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

PALICIOS MARIA
168 BLANCHE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
179 LYNNE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
180 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
192 LYNNE DR
ROCKWALL, TX 75032

RANGEL JUAN
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CARMONA JOEL
196 CHRIS DR
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

CROWN CASTLE TOWERS 09 LLC
2000 CORPORATE DRIVE
CANONSBURG, PA 15317

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-WILSON
203 LYNNE DRVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
203 CHRIS DR
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

REYES MARIA ISABEL AND RAMIRO M
204 CHRIS DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
204 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ RUBIN & MARTHA
204 WAYNE DR
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

MAYES CHRISTOPHER
210 CARRIAGE HILL LN
HEATH, TX 0

GAMBOA SOCORRO
210YVONNEDR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS JOSE C GARCIA & ERIKA MARTINEZ PEREZ
213 CHRIS DRIVE
ROCKWALL, TX 75032

WILSON JAMES F AND
TAMMY M UNDERWOOD AND CAITLIN A DAVIS-WILSON
215 LYNNE DR
ROCKWALL, TX 75032

MOLINA JAIME
215 YVONNE DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
216 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

ESPARZA JUANA
225 LYNNE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNNE DRIVE
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75040

MOLINA JAIME
340 YVONNE DR
ROCKWALL, TX 75032

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

ARMS OF AMERICA LLC AND
C2LA LLC
382RANCHTRL
ROCKWALL, TX 75032

CROWN CASTLE TOWERS 09 LLC
407 RANCH TRAIL
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

ARMS OF AMERICA LLC AND
C2LA LLC
525 E CENTERVILLE RD
GARLAND, TX 75041

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-013: SUP for Residential Infill in an Established Subdivision at 130 Chris Drive

Hold a public hearing to discuss and consider a request by Rodolfo Cardenas of CARES Home Builder, Inc. for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 985A of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, April 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, April 18, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Gamez
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, April 18, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-013: SUP for Residential Infill in an Established Subdivision at 130 Chris Drive

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

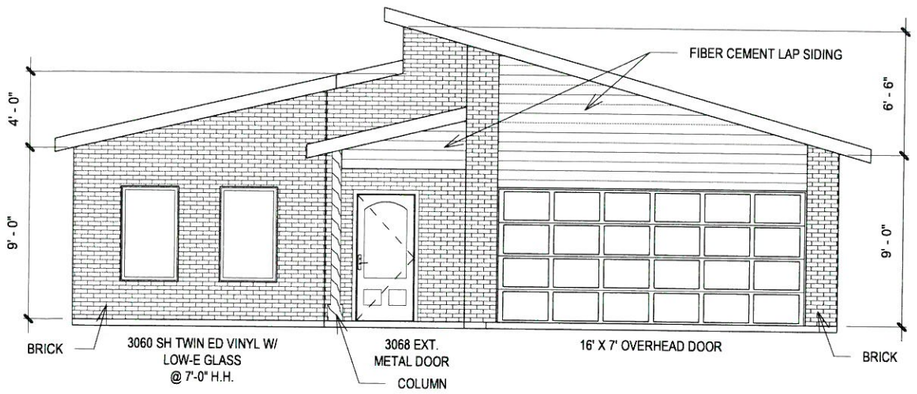
☐ I am opposed to the request for the reasons listed below.

Name:

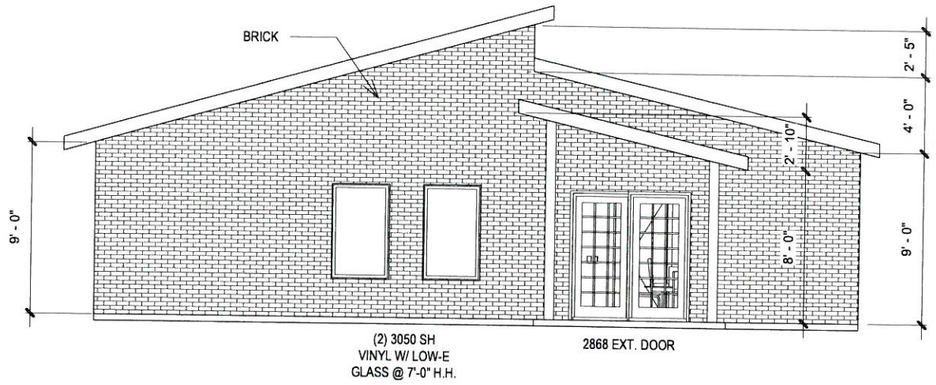
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

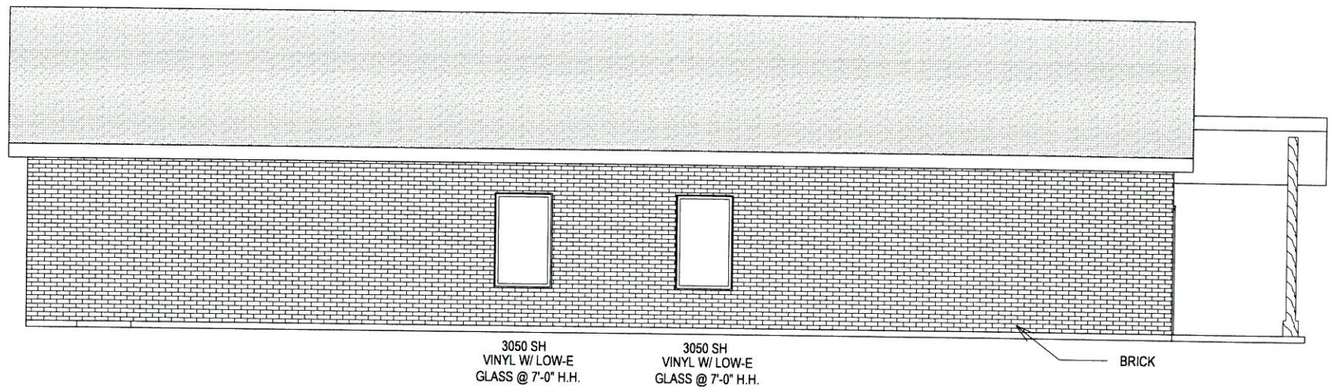
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



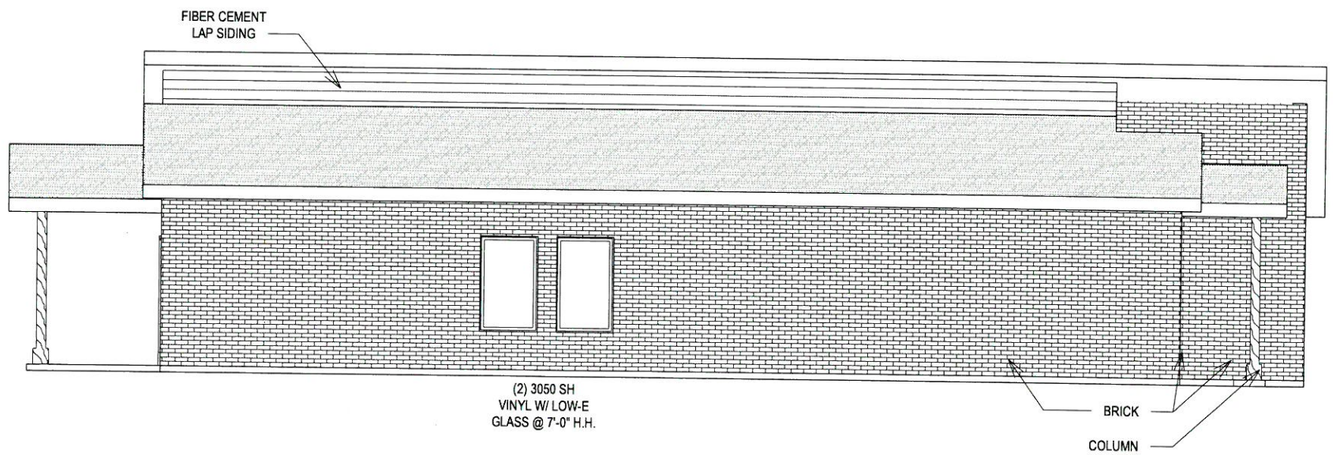
4 FRONT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

limón

130 CHRIS ST.
ROCKWALL, TX

Daisy Limon
469.441.0924
2702 Briarbrook Ln. Garland, TX 75040
daisy.limon96@gmail.com
daisylimon.com

DESIGNER:
Daisy Limon

OWNER:
CARES HOME BUILDERS, INC.

PROJECT NO 04.03

DATE 02/21/2022

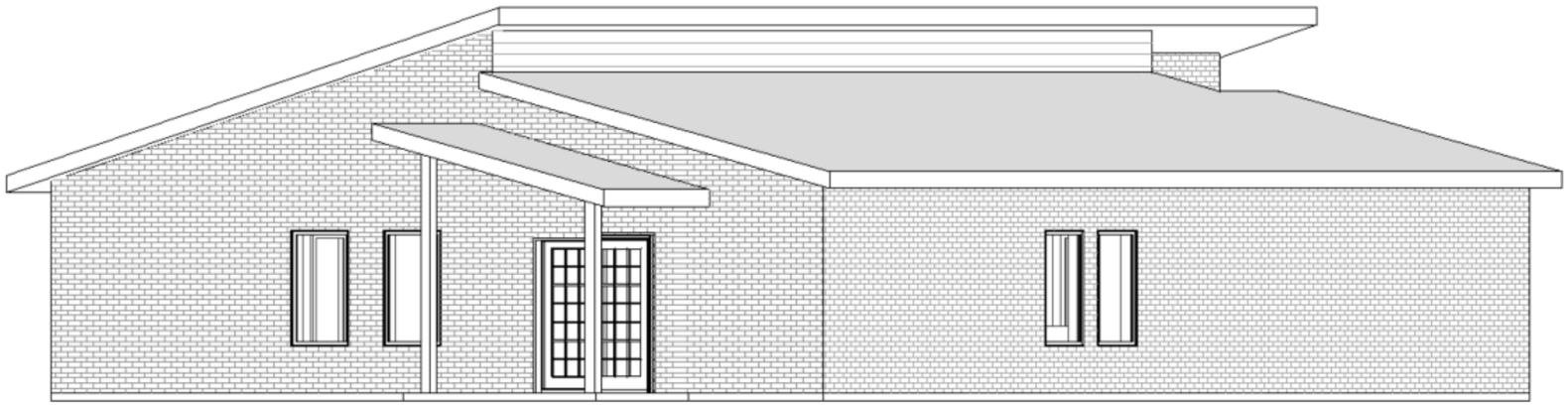
Elevations

A-104

limón

2907 ANDERSON ST.
GREENVILLE, TX





limón

130 CHRIS ST.
ROCKWALL, TX

Daisy Limon
469.441.0924
2702 Briarbrook Ln. Garland, TX 75040
daisy.limon96@gmail.com
daisylimon.com

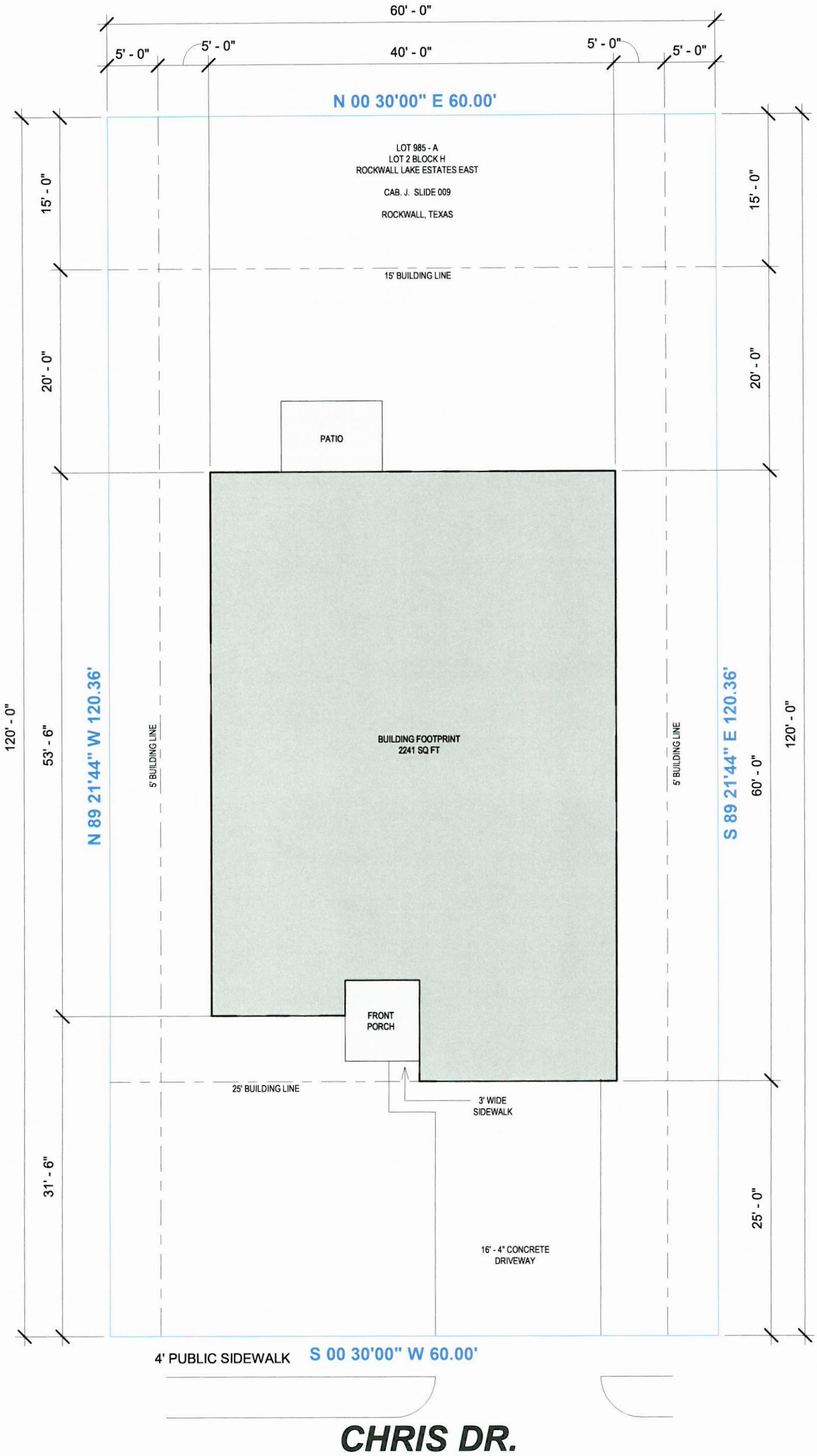
DESIGNER:
Daisy Limon

OWNER:
CARES HOME BUILDERS, INC.

PROJECT NO	04.03
DATE	02/21/2022

COVER

A-001



Daisy Limon
469.441.0924
2702 Briarbrook Ln. Garland, TX 75040
daisy.limon96@gmail.com
daisylimon.com

DESIGNER:
Daisy Limon

OWNER:
CARES HOME BUILDERS, INC.

PROJECT NO 04.03

DATE 02/21/2022

Site Plan

A-003

130 CHRIS ST.
ROCKWALL, TX

limón

CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-013

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
124 Chris Drive	Single-Family Home	2019	1,484	*N/A*	Siding
112 Chris Drive	Vacant	*N/A*	*N/A*	*N/A*	*N/A*
115 Chris Drive	Modular Home	1985	2,128	*144*	Siding
125 Chris Drive	Modular Home	1978	1,192	*400*	Siding
135 Chris Drive	Single-Family Home	2017	2,153	*N/A*	Brick
147 Chris Drive	Modular Home	1979	1,064	*1,000*	Siding
150 Chris Drive	Modular Home	1985	980	*80*	Siding
140 Chris Drive	Modular Home	1985	1,064	*N/A*	Siding
157 Lynne Drive	Modular Home	1985	*928*	*N/A*	Siding
143 Lynne Drive	Modular Home	2019	1,872	*N/A*	Siding
131 Lynne Drive	Modular Home	1980	1,064	*N/A*	Siding
121 Lynne Drive	Vacant	*N/A*	*N/A*	*N/A*	*N/A*
AVERAGES:		1993	1,393	406	



124 CHRIS DRIVE



112 CHRIS DRIVE



115 CHRIS DRIVE



125 CHRIS DRIVE



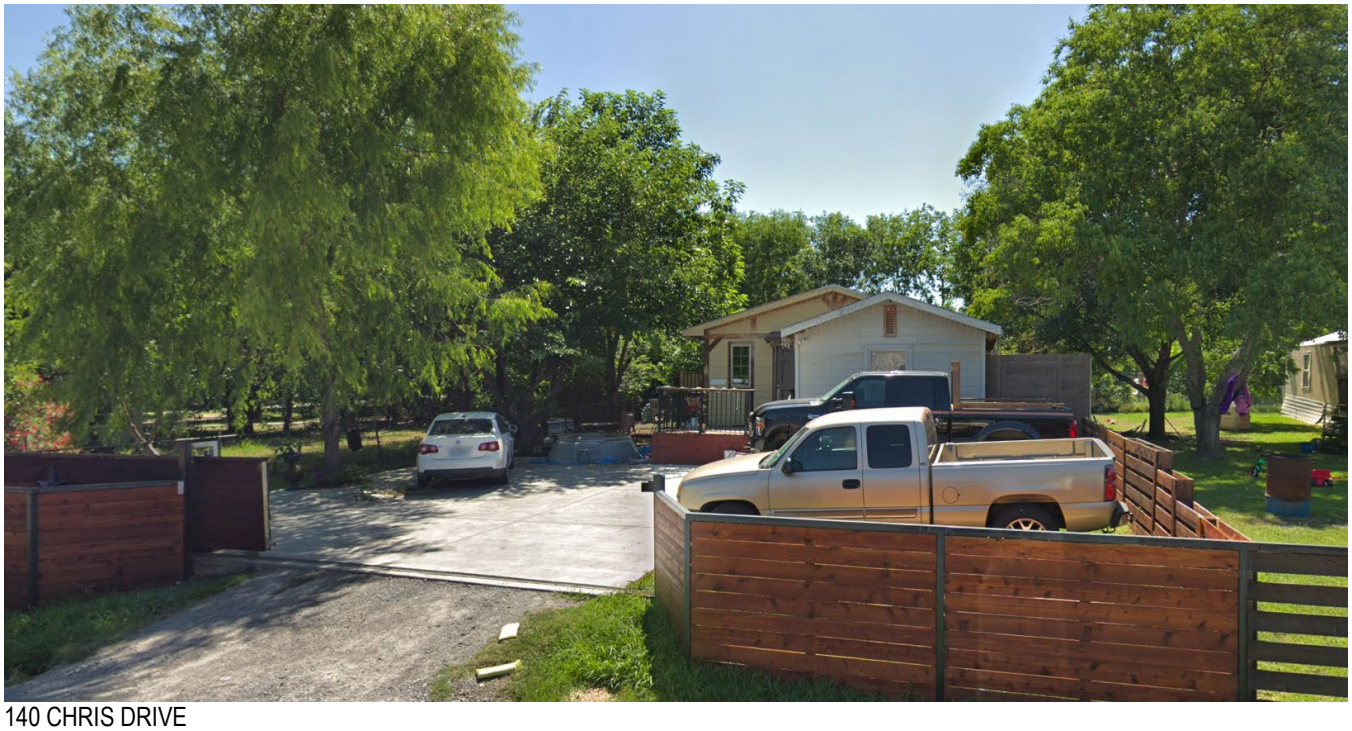
135 CHRIS DRIVE



147 CHRIS DRIVE



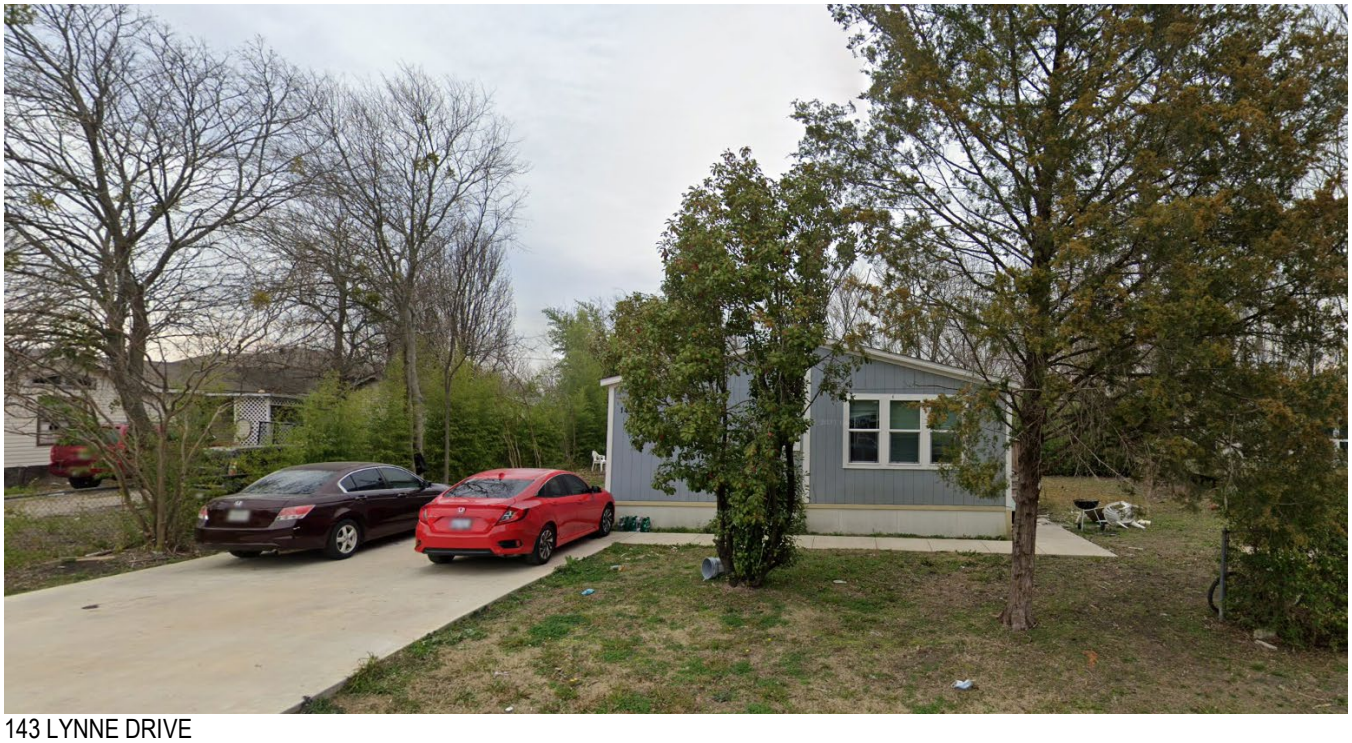
150 CHRIS DRIVE



140 CHRIS DRIVE



157 LYNNE DRIVE



143 LYNNE DRIVE

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



131 LYNNE DRIVE



121 LYNNE DRIVE

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 985A, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Rodolfo Cardenas of CARES Home Builder, Inc. for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1650-acre parcel of land being described as Lot 985A, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 130 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

DRAFT 05.20.2022

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the futur*e -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.

2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.

3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

DRAFT ORDINANCE 09.29.2022

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF MAY, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: *April 18, 2022*

2nd Reading: *May 2, 2022*

DRAFT ORDINANCE 03.29.2022

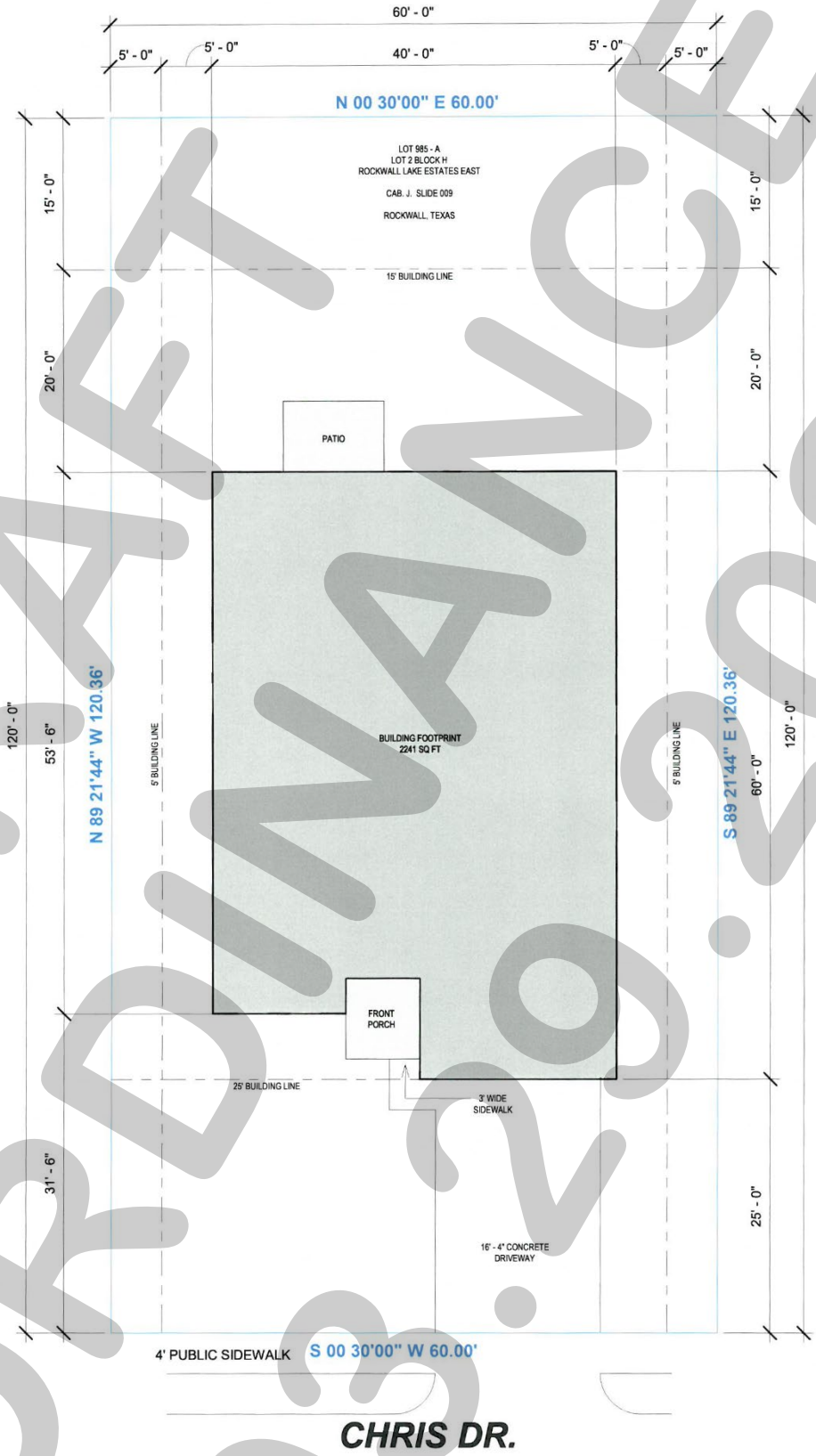
Exhibit 'A'
Location Map and Survey

Address: *130 Chris Drive*
Legal Description: *Lot 985A, Rockwall Lake Estates #2 Addition*



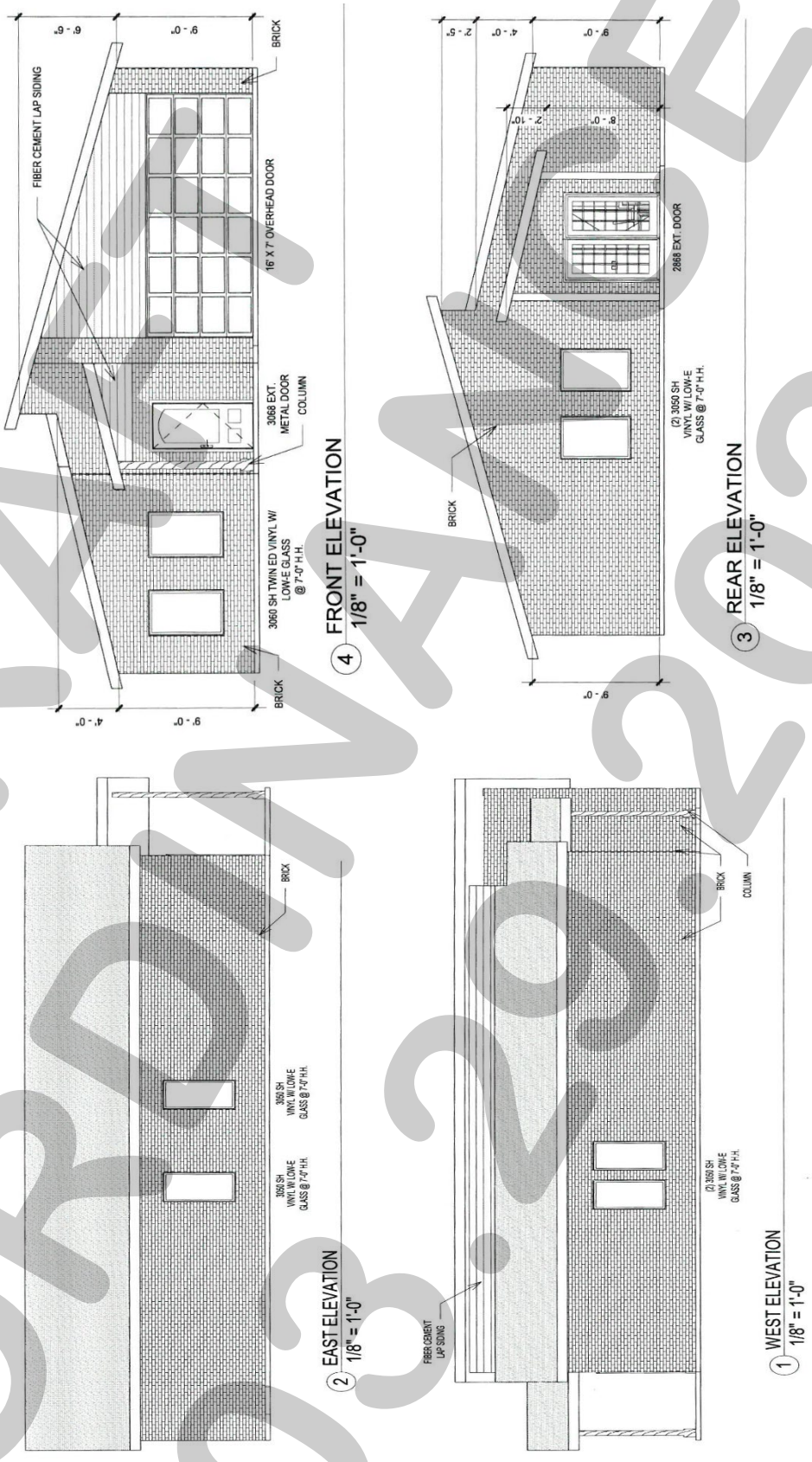
ORD 03-29

Exhibit 'B':
Residential Plot Plan



DRAFT ORDINANCE 03.29.2022

Exhibit 'C':
Building Elevations



DRAFT ORDINANCE 03.2022

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	Z2022-014	CASE MANAGER:	Bethany ross
PROJECT NAME:	Zoning Change from AG to NS	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:	2301 S JOHN KING BLVD, ROCKWALL, 75032	CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany ross	03/25/2022	Approved w/ Comments

03/25/2022: Z2022-014; Zoning Change (AG to NS)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2022-014) in the lower right-hand corner of all pages on future submittals.

M.4 Please review the attached Draft Ordinance prior to the March 29, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 5, 2022.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 12, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 29, 2022.

I.6 The projected City Council meeting dates for this case will be April 18, 2022 (1st Reading) and May 2, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Approved w/ Comments

03/23/2022: General Items:
-Must meet City Standards of Design and Construction
-4% Engineering Inspection Fees
- Impact Fees to be paid for upsizing the water meter and additional square footage to building.

-Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
-Retaining wall 3' and over must be engineered.
-All retaining walls must be rock or stone face. No smooth concrete walls.
-Must include a 10' utility easement along street frontage

Water and Wastewater Items:
- Impact fees to be paid with building permit.
- W/WW Infrastructure Study Required (review fees apply)
- Must build 12" water line in Stableglen Dr. from north to south property line per the Master Plan.
- Must build 12-inch waterline down John King per Master Plan
- Loop water line back to CCA site and 12-inch in FM 549.
For WW East of Stableglen Dr.:
- Area to sewer down Long branch and trunk mains to be installed per Master Plans.
- Sewer to be extend to the north to Lofland Farms per master plan.
- Sewer to be stubbed out to the east for Fontanna Ranch.
- Upgrade 3 Lift Station to Ultimate Capacity (Pumps, Electrical Generator, etc.) (Somerset LS, FM 3097 #1 LS, & FM 3097 #2 LS)
- Pro-ratas: $545.38/acre (Somerset LS), $432.74/acre (FM 3097 #1 LS), & $94.41/acre (FM 3097 #2 LS)
For WW West of Stableglen Dr.:
-Hickory Ridge and Mims LS upgrades possibly required or Trunk sewer to be installed down to FM 3097 #1 LS depending results of Infrastructure study.
- Must sewer to Hickory Ridge Lift Station. Pro-rata for Hickory Ridge may apply.

Drainage Items:
- Dumpster area to drain to an oil/water separator and then to the storm system.
- Detention is required and a flood/detention study will be required for the entire developed site using the unit hydrograph method. Crossing the floodplain will require study.
(Review Fee apply)
- Run off coeffients shall be per zoning type for entire tract out size of floodplain.
-WOTUS/Wetland determination for all creeks, streams and ponds.

Roadway Paving Items:
- Parking to be 20'x9'
- No deadend parking allowed without a striped and signed "No Parking" area that is 64'x15'.
- Drive aisles to be a min. 24' wide
- Fire lane to have a min. radius of 20' if buildings are less than 30' tall. If any building is over 30' tall, the fire lane min. radius is 30'.
- Fire lane to be platted
- Stableglen to be 60' ROW, 41' B-B paving with sidewalks.
- Must build a 10' wide trail along John King.

Landscaping:
- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved

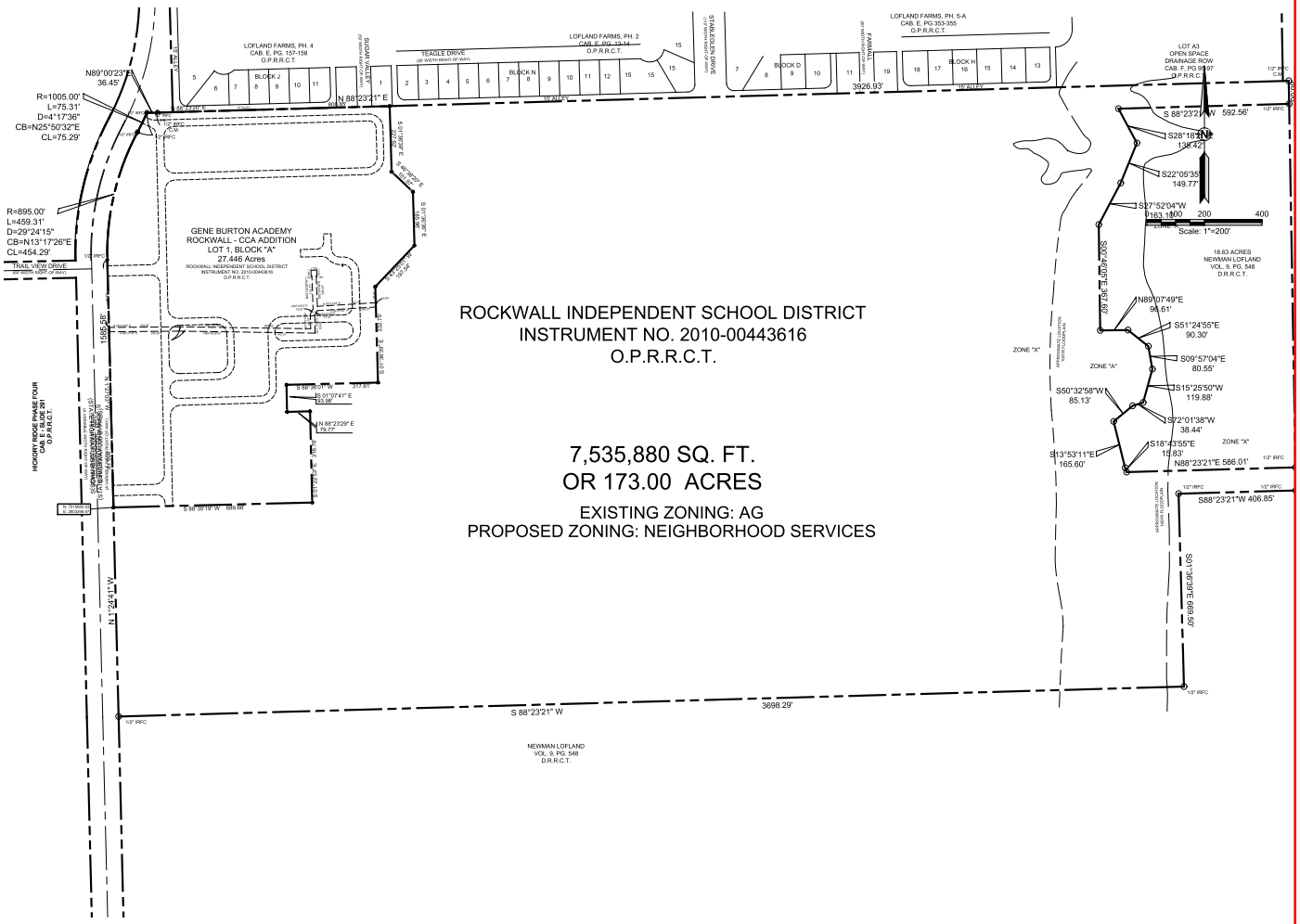
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany ross	03/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved

No Comments



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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2301 S. John King, Rockwall, TX				
SUBDIVISION	Rockwall Heath High School 9th Grade Center	LOT	1	BLOCK	A
GENERAL LOCATION	Rockwall 9th Grade Center - South site - at the Gene Burton Academy				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG		CURRENT USE	PUBLIC SCHOOL	
PROPOSED ZONING	NEIGHBORHOOD SERVICES		PROPOSED USE	PUBLIC SCHOOL	
ACREAGE	27.446	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Rockwall Independent School District	☐ APPLICANT	Glenn Engineering Corp.
CONTACT PERSON	William Salee - Executive Director of Operations	CONTACT PERSON	Robert Howman
ADDRESS	1191 T.L. Townsend Drive	ADDRESS	4500 Fuller Drive
			Suite 220
CITY, STATE & ZIP	Rockwall, Texas 75087	CITY, STATE & ZIP	Irving, Texas 75038
PHONE	469-698-7031	PHONE	972-989-2174 cell
E-MAIL	will.salee@rockwallisd.org	E-MAIL	rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

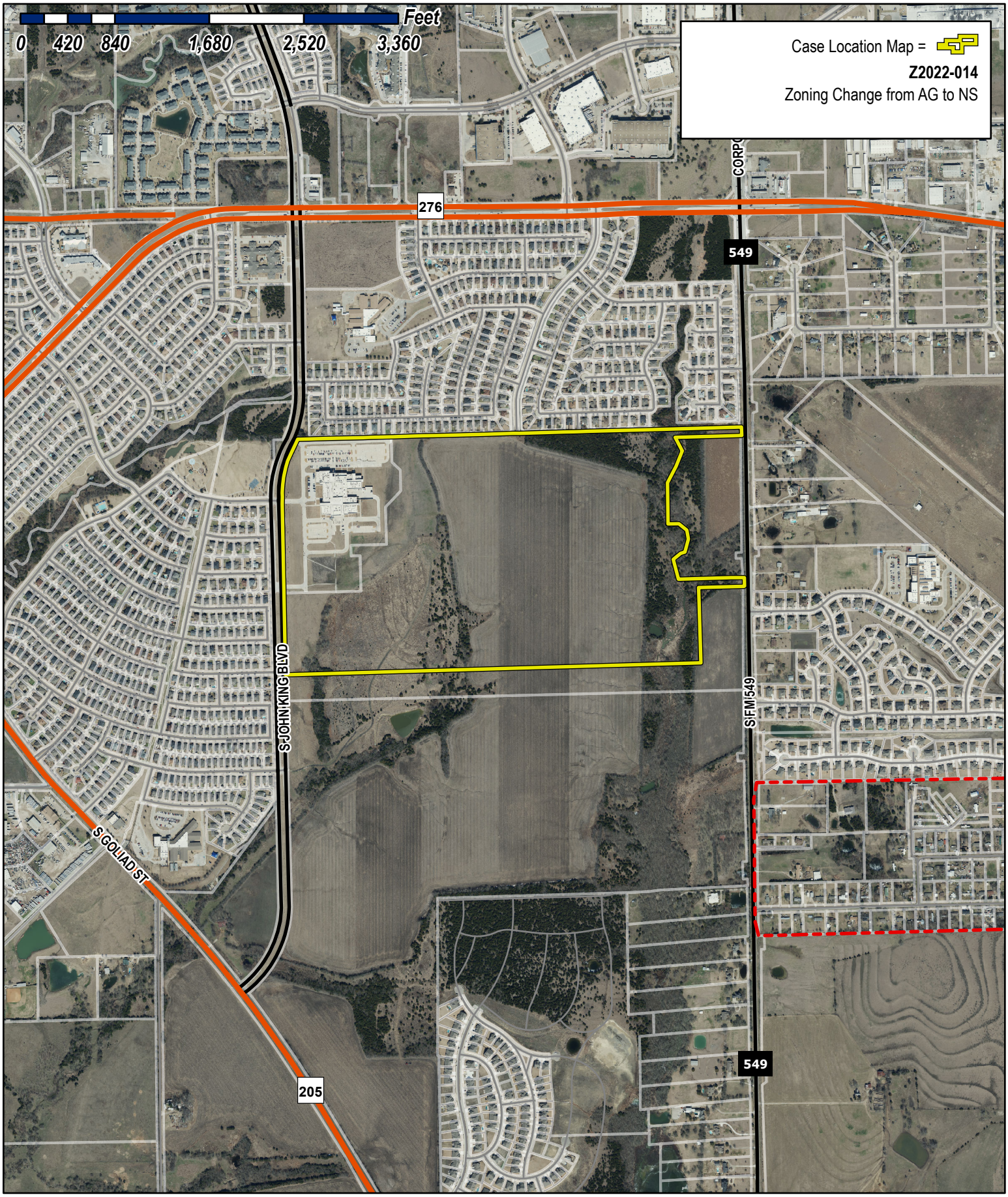
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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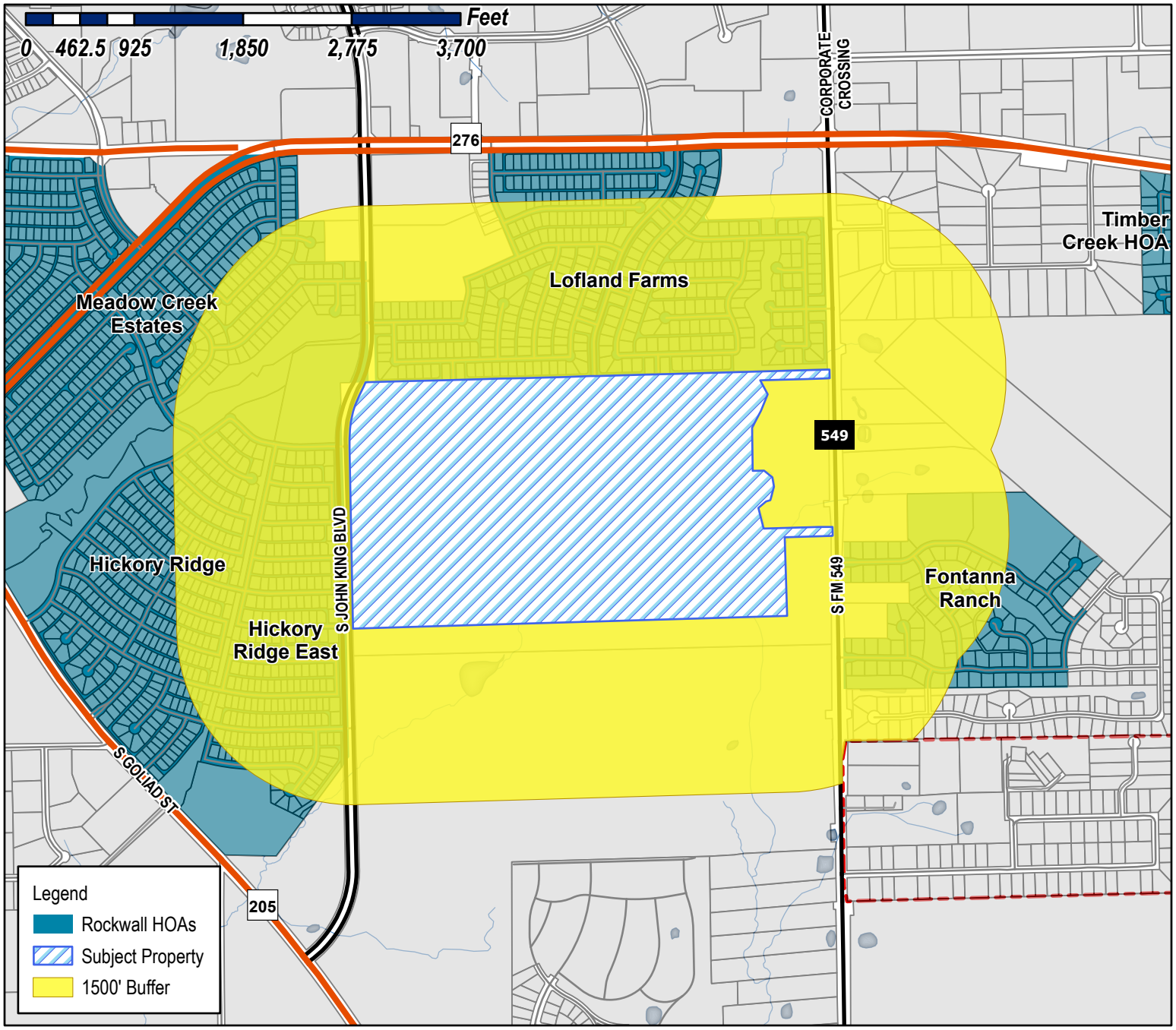
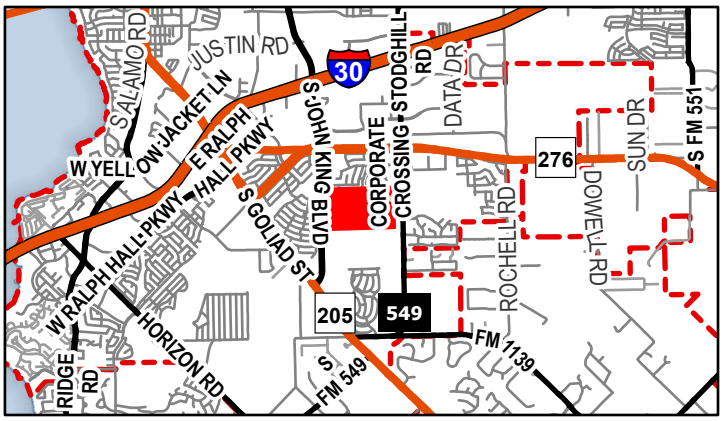


Case Number: Z2022-014
Case Name: Zoning Change from AG to NS
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 2301 S. John King Blvd.



Date Saved: 3/18/2022
For Questions on this Case Call (972) 771-7745

From:	Gamez, Angelica
Cc:	Miller, Ryan; Lee, Henry; Ross, Bethany
Subject:	Neighborhood Notification Program [Z2022-014]
Date:	Friday, March 25, 2022 9:02:48 AM
Attachments:	Public Notice (03.23.2022).pdf HOA Map Z2022-014.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on March 25, 2022. The Planning and Zoning Commission will hold a public hearing on Tuesday, April 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 18, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-014: Zoning Change from AG to NS
Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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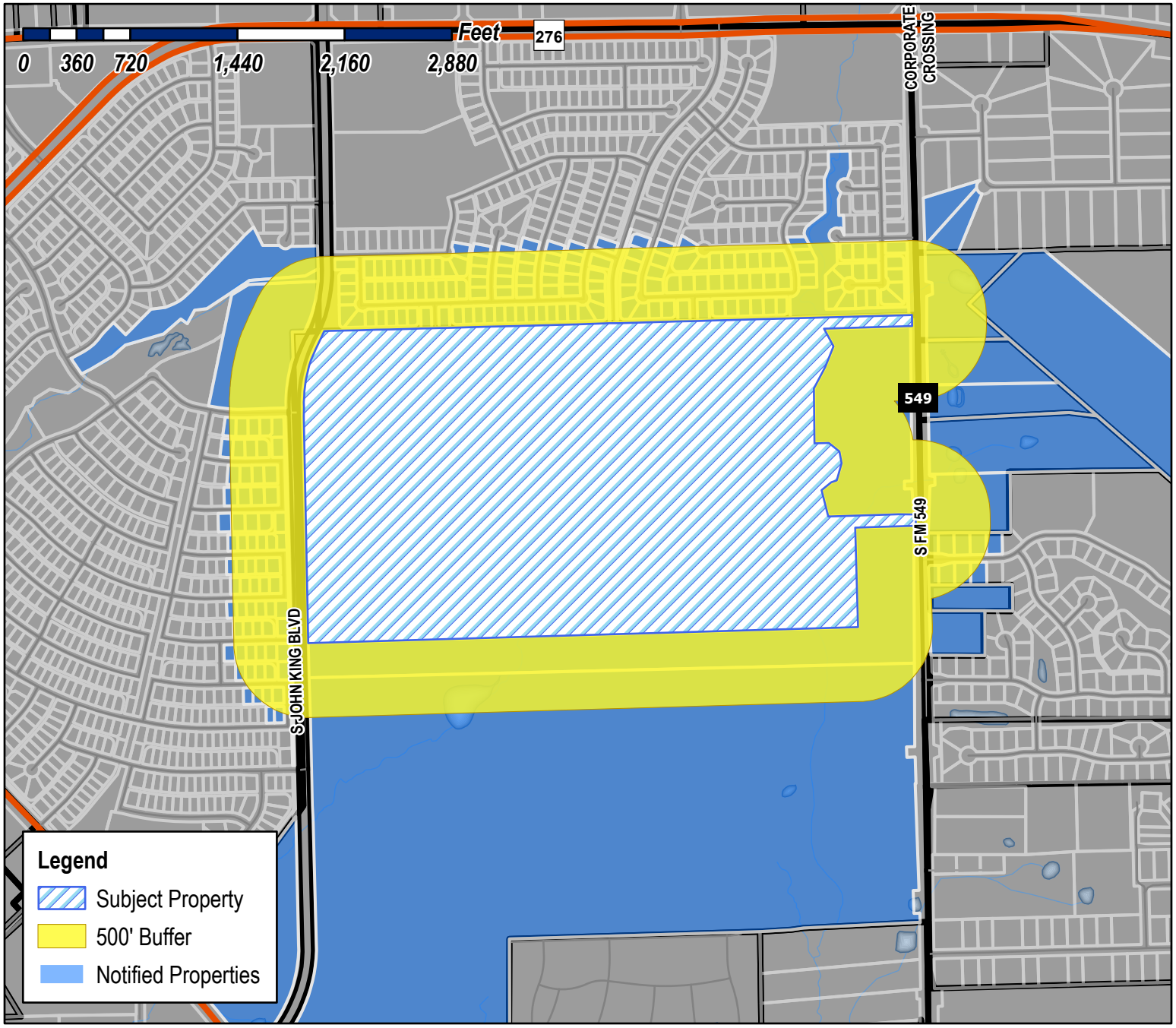

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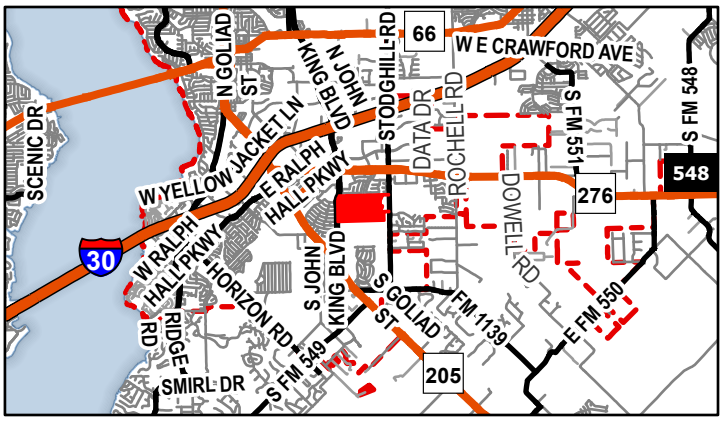

Date Saved: 3/18/2022
For Questions on this Case Call (972) 771-7745

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

CALLIER LOGAN AND JENNA
104 RUSH CREEK DRIVE
HEATH, TX 76058

BLOOMFIELD HOMES LP
1050 E. STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

HPA TEXAS SUB 2016-2 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

RIVAS DANIEL A & KRISTIN N
1205 KATELYN COURT
IRVING, TX 75060

HOLMES NILES & LINDA
122 JAMES DR
ROCKWALL, TX 75032

ZILLOW HOMES PROPERTY TRUST
1301 SECOND AVE FL 31
SEATTLE, WA 75032

LAU VIVIAN SO FAN AND
RUSSELL THETU LY
131 W SANTA ANITA TERRACE
ARCADIA, CA 91007

KIM SU IL AND CHUN JA
1311 SALINAS DR
ROCKWALL, TX 75087

GERLACH CHRISS & RON FAMILY TRUST
13435 ROANE CIR
NORTH TUSTIN, CA 92705

NEXT GENERATION BLESSINGS LLC
135 SOAPBERRY DRIVE
KYLE, TX 78640

3050 DOUBLE OAK LLC
1503 VIA TOSCANA LANE
ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER
1648 TROW BRIDGE
ROCKWALL, TX 75032

ROCK RANDALL L
1704 ASBURY DR
WYLIE, TX 75098

BASWELL KEVIN T & SUZANN J
1715 S FM 549
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN ST SUITE 2000
DALLAS, TX 75201

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

WALKER JANICE L
1777 FM 549
ROCKWALL, TX 75032

RODRIGUEZ FAMILY TRUST
JOSE DAVID & CYNTHIA MARIA RODRIGUEZ
TRUSTEES
1791 S FM 549
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

TERMINI EUGENE D & BONNIE
1851 S FM 549
ROCKWALL, TX 75032

DICHARD CHRIS E
1903 FM 549
ROCKWALL, TX 75032

ESTATE OF JEROME WENDELL INGRAM
C/O JAMES KENDELL INGRAM
1925FM549
ROCKWALL, TX 75087

ESTATE OF JEROME WENDELL INGRAM
C/O JAMES KENDELL INGRAM
1957 S FM 549
ROCKWALL, TX 75032

DRAKE PETER CHARLES
1982 STERLING COURT
ROCKWALL, TX 75032

PEREZ LILIANA AND JOSE GERARDO VIERA
SANCHEZ
2006 HIDDEN TRAIL DRIVE
LEWISVILLE, TX 75067

ERICKSON KRISTIN
211 FIELDCREST DRIVE
ROCKWALL, TX 75032

GAINOUS LESLIE III AND
ERICA ESCOBAR
2110 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

SPROUL DILLON & SARAH
2120 GARRISON DRIVE
ROCKWALL, TX 75032

LEVERETT STEVEN GLENN
2120 GLEANDER DR
ROCKWALL, TX 75032

FALETTO DAVID S & NORMA G
2120 HARVESTER DRIVE
ROCKWALL, TX 75032

GODWIN JULIE AND BOBBY
2120 NEW HOLLAND DR
ROCKWALL, TX 75087

FARNHAM DAVID WILLIAM
2121 HARVESTER DR
ROCKWALL, TX 75087

AGUILERA JOSE AND ALMA
2130 DANBURY DRIVE
ROCKWALL, TX 75032

DOWNUM CHRIS D & JULIE W
2130 GLEANER DR
ROCKWALL, TX 75032

KRAUSE SAMANTHA
2130 HARVESTER DR
ROCKWALL, TX 75032

CAVETT DEBRA
2130 NEW HOLLAND DR
ROCKWALL, TX 75032

NEXT GENERATION BLESSINGS LLC
2130 PAINT CREEK CT
ROCKWALL, TX 75087

HARVEY GREG
2131 DANBURY DR
ROCKWALL, TX 75032

RAKOW CHRISTINA M
2131 GARRISON DR
ROCKWALL, TX 75032

SYDNOR KEVIN
2131 HARVESTER DR
ROCKWALL, TX 75032

WILBOURN TORI
2131 PAINTCREEK COURT
ROCKWALL, TX 75032

BROWN CASEY B & MAUREEN D
2140 DANBURY DR
ROCKWALL, TX 75032

MEJIA SERGIO
2140 GLEANER DR
ROCKWALL, TX 75032

BALES DAVID D & YVONNE R
2140 HARVESTER DR
ROCKWALL, TX 75032

BARRY CHRIS S
2140 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

STONE ERIC PAUL & KIMBERLY G
2140 PAINT CREEK CT
ROCKWALL, TX 75032

KROLL MARILYN M
2140 GARRISON DR
ROCKWALL, TX 75087

TARASZKIEWICZ JOSHUA T & ANNETTE G
2141 HARVESTER DR
ROCKWALL, TX 75032

BOWERS JOHN WALTER
2141 PAINT CREEK CT
ROCKWALL, TX 75032

WHEELOCK DEAN I & IDA P
2141 TEAGLE DR
ROCKWALL, TX 75032

CALLIER LOGAN AND JENNA
2141 DANBURY DR
ROCKWALL, TX 75087

PEREZ LILIANA AND JOSE GERARDO VIERA SANCHEZ
2141 GARRISON DR
ROCKWALL, TX 75087

SNIDER RANDALL R & DEE ANNA
2150 DANBURY DR
ROCKWALL, TX 75032

WOOLDRIDGE KATHERINE W
2150 GLEANER DR
ROCKWALL, TX 75032

PENNINGTON ADRIENNE
2150 PAINT CREEK CT
ROCKWALL, TX 75032

KIM SU IL AND CHUN JA
2150 GARRISON DR
ROCKWALL, TX 75087

MILLER ANNETTE A
2151 DANBURY DR
ROCKWALL, TX 75032

HAWKINS DONALD W
2151 GARRISON DR
ROCKWALL, TX 75032

ABSHIRE AMANDA
2151 HARVESTER DRIVE
ROCKWALL, TX 75032

GASKILL RODNEY A & REBECCA J
2151 TEAGLE DR
ROCKWALL, TX 75032

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
2151PAINT CREEKCT
ROCKWALL, TX 75087

LALA PHILLIP
2160 DANBURY DRIVE
ROCKWALL, TX 75032

GOUCHER STEVEN AND LISA
2160 HARVESTER DRIVE
ROCKWALL, TX 75032

RIVAS DANIEL A & KRISTIN N
2160 GARRISON DR
ROCKWALL, TX 75087

CONFIDENTIAL
2160 PAINT CREEK CT
ROCKWALL, TX 75087

ORDNER CRYSTAL L AND JOSHUA B
2161 DANBURY DR
ROCKWALL, TX 75032

CAREY DOUGLAS G AND JANET C
2161 GARRISON DRIVE
ROCKWALL, TX 75087

GARCIA-MONTANEZ JOAQUIN
2161 PAINTCREEK COURT
ROCKWALL, TX 75032

GLAZE STEVE LOUIS
2161 TEAGLE DR
ROCKWALL, TX 75032

THE ENTRUST GROUP INC
FBO JUSTIN C MONGER IRA #7230014001
2161 HARVESTER DR
ROCKWALL, TX 75087

TURNER TOMMY & RUTH
2170 DANBURY DR
ROCKWALL, TX 75087

CALDWELL PAULA D & WAYNE F
2170 GARRISON DR
ROCKWALL, TX 75032

KELLEY RUSSELL D &
JENNIFER L SMITH
2170 PAINT CREEK CT
ROCKWALL, TX 75032

JORDAN MISTY
2171 DANBURY DR
ROCKWALL, TX 75032

SCHROEDER MARK AUSTIN AND SARAH
ELIZABETH
2171 GARRISON DR
ROCKWALL, TX 75032

RINKER JOHN AND JENNIFER
2171 PAINT CREEK CT
ROCKWALL, TX 75032

QUEEN RONALD RENARD &
YOLANDA YVETTE WASHINGTON
2171 TEAGLE DR
ROCKWALL, TX 75032

CONFIDENTIAL
2171 HARVESTER DR
ROCKWALL, TX 75087

KEITH TINA J
2180 GARRISON DR
ROCKWALL, TX 75032

LENTZ GARRETT A & KATIE R
2181 TEAGLE DRIVE
ROCKWALL, TX 75032

ERICKSON KRISTIN
2211 FIELDCREST DR
ROCKWALL, TX 75087

WOODS WALTER EDWIN JR & LINDA A
2221 FIELDCREST DR
ROCKWALL, TX 75032

SHIVERS ROBERT & LETRIS
2231 FIELDCREST DR
ROCKWALL, TX 75032

CHRISTIAN JANE E
2231 TEAGLE DR
ROCKWALL, TX 75032

LUONG SIMON
2240 TEAGLE DR
ROCKWALL, TX 75087

BOYINGTON JONATHAN
2241 FIELDCREST DR
ROCKWALL, TX 75032

PRATT TYLER J
2241 TEAGLE DR
ROCKWALL, TX 75032

LEWIS MARCUS & BELICIA
2250 TEAGLE DR
ROCKWALL, TX 75032

DIETZ CHRISTINE M
2251 FIELDCREST DRIVE
ROCKWALL, TX 75032

GARRETT AMY
2251 TEAGLE DR
ROCKWALL, TX 75032

ROBERTS RICHARD O AND NORMA
2260 TEAGLE DR
ROCKWALL, TX 75032

HATCH SCOTT
2261 TEAGLE DR
ROCKWALL, TX 75032

ARAUCO JESUS
2261 FIELDCREST DR
ROCKWALL, TX 75087

ESQUIVEL LEE ANTHONY
2270 TEAGLE DRIVE
ROCKWALL, TX 75032

JOHNSON SUSAN
2271 FIELDCREST DR
ROCKWALL, TX 75032

JONES JAMES III
2271 TEAGLE DR
ROCKWALL, TX 75032

NGUYEN VOI V
2280 TEAGLE DR
ROCKWALL, TX 75032

NORRIS RICK H & IONA E
2281 TEAGLE DR
ROCKWALL, TX 75032

HOLMES NILES & LINDA
2281 FIELDCREST DR
ROCKWALL, TX 75087

THIO JOHAN AND QIAN WANG
2290 TEAGLE DR
ROCKWALL, TX 75087

TEDDER CATHERINE M AND GARY L
2291 FIELDCREST DRIVE
ROCKWALL, TX 75032

BOOTH WALTER STEPHEN & SUE ANN
2291 TEAGLE DR
ROCKWALL, TX 75032

GENTRY RONALD & VALERIE &
2301 FIELDCREST DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL DISTRICT
2301 S JOHN KING BLVD
ROCKWALL, TX 75087

STEVENSON TRACY AND JACQUELINE
2311 FIELDCREST DR
ROCKWALL, TX 75032

ALLEN LANCE W
2320 TEAGLE DR
ROCKWALL, TX 75032

BINZ LISA A
2330 TEAGLE DR
ROCKWALL, TX 75032

EATON NICHOLAS A & INDIRA
2331 TEAGLE DR
ROCKWALL, TX 75032

TURNER ANDREW AND HEATHER
2340 TEAGLE DR
ROCKWALL, TX 75032

ONEY CHARLES BRYAN AND
MARGARET DIANN MYERS
2341 TEAGLE DRIVE
ROCKWALL, TX 75032

AGUIRRE BRIANA
2350 TEAGLE DRIVE
ROCKWALL, TX 75032

KING MEREDITH L
2351 TEAGLE DR
ROCKWALL, TX 75032

COLEMAN GILFORT S AND YVETTE L BATES-
2361 TEAGLE DR
ROCKWALL, TX 75032

ADAIR SEAN M & CRYSTAL B
2371 TEAGLE DR
ROCKWALL, TX 75032

PETTY STEPHEN C
2381 TEAGLE DRIVE
ROCKWALL, TX 75032

BONNEY MARK A AND BRIANA T
2391 TEAGLE DR
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
ATTN TAX DEPARTMENT
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

BRANUM JIM
2401 TEAGLE DR
ROCKWALL, TX 75087

HPA TEXAS SUB 2016-2 LLC
2411 TEAGLE DR
ROCKWALL, TX 75087

RODRIGUEZ JOSHUA AND SUZANNE L
2421 TEAGLE DR
ROCKWALL, TX 75032

HASTINGS OLLIE JEROME JR AND
BOBBIE T HASTINGS
2431 TEAGLE DR
ROCKWALL, TX 75087

GONZALES DAVID &
TARA MELCHER-GONZALES
2441 TEAGLE DR
ROCKWALL, TX 75032

DOTY RICHARD L
2451 TEAGLE DR
ROCKWALL, TX 75032

CRISP TOYIA M AND
GLEN E BURROUGHS
2461 TEAGLE DRIVE
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

MAHMOOD FLORENCE
2601 MASSEY LN
ROCKWALL, TX 75032

WALKER SHIRLEY ANN
2611 MASSEY LN
ROCKWALL, TX 75032

GERLACH CHRISS & RON FAMILY TRUST
2621 MASSEY LN
ROCKWALL, TX 75087

GAUDET JAMES R AND LISA D
2630 MASSEY LANE
ROCKWALL, TX 75032

JULIANO CARRIE LYNN AND
DIXIE LANEY
2640 MASSEY LN
ROCKWALL, TX 75032

GARCIA ELOY JEFFERY
2641 MASSEY LN
ROCKWALL, TX 75032

AGUNWA HELEN W
2700 MASSEY LN
ROCKWALL, TX 75032

KIRKPATRICK DENNIS ROY JR & BRITTANY DYAN
2700 MCCORMICK CT
ROCKWALL, TX 75032

THOMPSON MARK A
2701 MCCORMICK COURT
ROCKWALL, TX 75032

HODGES GLORIA L
2701 MASSEY LN
ROCKWALL, TX 75087

CALBOW SHAWN P
2710 MIRASOL LOOP
ROUND ROCK, TX 78681

CLOUD GRANT & BRANDY
2711 MCCORMICK CT
ROCKWALL, TX 75032

BOWLIN BEVERLY ANN
2720 MASSEY LN
ROCKWALL, TX 75032

HOLLYFIELD CASEY
2721 MASSEY LN
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
2721 MCCORMICK CT
ROCKWALL, TX 75087

ARNETT MATTHEW AND SARAH
2730 MASSEY LANE
ROCKWALL, TX 75032

FISH DANNY & DIANA
2731 MASSEY LANE
ROCKWALL, TX 75032

HOLT LARRY KEITH AND DIANA D
2731 MCCORMICK CT
ROCKWALL, TX 75032

BRANUM JIM
2740 CHALMERS CT
ROCKWALL, TX 75032

NEFF RICHARD L & KATHERINE R
2740 MASSEY LANE
ROCKWALL, TX 75032

ROCK RANDALL L
2741 MASSEY LN
ROCKWALL, TX 75087

CONFIDENTIAL
2741 MCCORMICK CT
ROCKWALL, TX 75087

SIMMONS COLTON D AND DANIELLE
3016 FONTANNA DR
ROCKWALL, TX 75032

PERRY EVON & NILON H ELLIOTT
3022 DOUBLE OAK DR
ROCKWALL, TX 75032

GOWEN GLEN
3022 PINERIDGE DRIVE
ROCKWALL, TX 75032

FISHER CHERYLE &
FELIPE SAENZ
3023 DOUBLE OAK DR
ROCKWALL, TX 75032

ALBERS EDWIN
3023 PINE RIDGE DR
ROCKWALL, TX 75032

WELDON JUDY ANNE
3023 TRAILVIEW DR
ROCKWALL, TX 75032

WILBORN LARRY AND MICHIE
3030 DOUBLE OAK DR
ROCKWALL, TX 75032

RAND AMY &
DOUGLAS W PONTON
3030 PINE RIDGE DR
ROCKWALL, TX 75032

RENTERIA GLORIA AND
RAUL I HERNANDEZ GUERRERO
3031 DOUBLE OAK DRIVE
ROCKWALL, TX 75032

COUTCH THOMAS & IRENE
3031 PINE RIDGE DR
ROCKWALL, TX 75032

GIPSON LEE W
3031 TRAILVIEW DR
ROCKWALL, TX 75032

KOGA DARRIN K
3038 PINE RIDGE DR
ROCKWALL, TX 75032

NYAKUNDI ANNA M
3038 RED RIDGE DR
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
3038 DOUBLE OAK DR
ROCKWALL, TX 75087

TREJO CRISTINA AND EDGAR J YFARRAGUERRY
3039 DOUBLE OAK DR
ROCKWALL, TX 75032

MICHEL GUILLERMO AND
DEIDRE CORTES
3039 PINE RIDGE DR
ROCKWALL, TX 75032

CUMMINGS MATTHEW LUCAS
3039 RED RIDGE DR
ROCKWALL, TX 75032

WANDA S MITCHELL AND SHARON C JOHNSON
REVOCABLE LIVING TRUST
WANDA S MITCHELL AND SHARON C JOHNSON-
TRUSTEES
3039 TRAILVIEW DR
ROCKWALL, TX 75087

DALES JAMES H & MARGORIE P
3046 DEER RIDGE DR
ROCKWALL, TX 75032

BRADEN CYNTHIA
3046 PINE RIDGE DRIVE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
3046 RED RIDGE DR
ROCKWALL, TX 75087

JONES DENNIS RAY & ANGELYN O
3047 DOUBLE OAK DR
ROCKWALL, TX 75032

PAIZ ALEX A
3047 PINE RIDGE DR
ROCKWALL, TX 75032

PLATA ANDREW ALEXANDER
3047 RED RIDGE DR
ROCKWALL, TX 75032

PETERSON DEBORAH
3047 TRAILVIEW DR
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
ATTN TAX DEPARTMENT
3047 DEER RIDGE DR
ROCKWALL, TX 75087

USCMF SN TEXAS A LLC
3047 FALLBROOK DR
ROCKWALL, TX 75087

3050 DOUBLE OAK LLC
3050 DOUBLE OAK DR
ROCKWALL, TX 75087

WAKHARKAR SAKET AND GAURI
3054 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

LUGTU MARIA JESUSA CONSISTA
3054 RED RIDGE DR
ROCKWALL, TX 75032

PAXTON CLAUDIA
2750 MASSEY LN
ROCKWALL, TX 75032

DALLAS GLENN MICHAEL & JAN M
2751 MCCORMICK CT
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO LLC
2751 MASSEY LN
ROCKWALL, TX 75087

KROLL MARILYN M
2755 HIGHWAY 66
ROCKWALL, TX 75087

GARCIA ROBERT & GLENDA
2760 MASSEY LN
ROCKWALL, TX 75032

LAFLEUR SIEGEN
2761 MASSEY LANE
ROCKWALL, TX 75032

CLONTZ DONALD GENE
2761 MCCORMICK CT
ROCKWALL, TX 75032

TURNER JOHN MICHAEL & PATRICIA SUE
2770 MASSEY LN
ROCKWALL, TX 75087

STANDIFER JEREMY B & KATHRYN
2771 MASSEY LN
ROCKWALL, TX 75032

MUENKS RUSSELL JOHN
2771 MCCORMICK CT
ROCKWALL, TX 75032

RETTMAN KRISTIE
2830 DEUTZ COURT
ROCKWALL, TX 75032

GILMORE TODD AND TIFFANY
2831 DUETZ CT
ROCKWALL, TX 75032

BAKER CLARENCE JR
2840 DEUTZ CT
ROCKWALL, TX 75032

WHITTERN STEVEN B & JERALYN LOUISE
2841 DEUTZ CT
ROCKWALL, TX 75032

DUNN DAVID IRVIN II
2841 HAYMAKER DR
ROCKWALL, TX 75032

ML VENTURES, LLC
2850 DEUTZ CT
ROCKWALL, TX 75087

ZILLOW HOMES PROPERTY TRUST
2851 DEUTZ CT
ROCKWALL, TX 75087

WONG IU YAM IRENE
2851 HAYMAKER DR
ROCKWALL, TX 75087

DUNAWAY LORI J
2860 DEUTZ COURT
ROCKWALL, TX 75032

WARREN MICHAEL & RENEE
2861 HAYMAKER DR
ROCKWALL, TX 75032

WANG EILEEN HONGLIAN &
HAWKINS HAOHAI YAO
2861 DEUTZ CT
ROCKWALL, TX 75087

QUINLAN ROBERT JOHN AND TENA
2871 DEUTZ CT
ROCKWALL, TX 75032

VITAR RODOLFO AND IRMA
3009 FONTANA BOULEVARD
ROCKWALL, TX 75032

POUNDS PAMELA AND PAUL B
3010 FONTANNA BLVD
ROCKWALL, TX 75032

CHISHOLM JILL MARIE
3011 FONTANA BLVD
ROCKWALL, TX 75032

LOESCH RICHARD C & LISA
3012 FONTANNA BOULEVARD
ROCKWALL, TX 75032

THEKEN JAMES JR AND JACQUELINE
3013 FONTANA BLVD
ROCKWALL, TX 75032

RAYSON BRIAN CHRISTOPHER & MISTY MICHELE
3014 FONTANA BOULEVARD
ROCKWALL, TX 75032

520 LAKESIDE LLC
3014 DOUBLE OAK DR
ROCKWALL, TX 75087

BOSTEDER STEVEN GEORGE & CARLA
3015 TRAILVIEW DRIVE
ROCKWALL, TX 75032

VAZQUEZ JORGE & AIDA
3054 DEER RIDGE DR
ROCKWALL, TX 75087

TAN JUDY AND
LAM KHANG DUY
3054 FALLBROOK DR
ROCKWALL, TX 75087

CANO LORENZO E & BRENDA L
3055 FALLBROOK DR
ROCKWALL, TX 75032

SCOTT GEORGE C
3055 RED RIDGE DR
ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER
3055 DEER RIDGE DR
ROCKWALL, TX 75087

MCKERREGHAN ROBERT E
3059 PINE RIDGE DRIVE
ROCKWALL, TX 75032

MCWHORTER RODNEY & VICKIE
3062 DEER RIDGE DR
ROCKWALL, TX 75032

VILLA CORNELIO & ESTHER
3062 FALLBROOK DR
ROCKWALL, TX 75032

W2 CATTLE INVESTMENTS LLC
C/O RANDY PARDUE
3062 DUSTY RIDGE DR
ROCKWALL, TX 75087

CALBOW SHAWN P
3062 RED RIDGE DR
ROCKWALL, TX 75087

BIRDWELL GLENN R & BEVERLY J
3063 DEER RIDGE
ROCKWALL, TX 75032

TATE ERIN ELIZABETH
3063 FALLBROOK DR
ROCKWALL, TX 75032

MILLER CLAUDIA J
3063 RED RIDGE DR
ROCKWALL, TX 75032

ROMERO ANA L AND MARIO ROMERO CEDANO
3067 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

TUGGLE JERRY R & KATHRYN M
3070 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

MADRID AYDEE E
3070 FALLBROOK DR
ROCKWALL, TX 75032

SMITH LUCIOUS
3070 RED RIDGE DR
ROCKWALL, TX 75032

EBRAHIMI-SOHI OMID NAVID
3070 DEER RIDGE DR
ROCKWALL, TX 75087

FORT PHILLIP D & TYRA W
3071 DEER RIDGE DR
ROCKWALL, TX 75032

HERNANDEZ MIGUEL & HILDA
3071 RED RIDGE DR
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
3071 FALLBROOK DR
ROCKWALL, TX 75087

STEWARD RUDOLPH & BETTY
3073 DUSTY RIDGE DR
ROCKWALL, TX 75032

THOMPSON LISA
3078 DEER RIDGE DR
ROCKWALL, TX 75032

CARRANZA GILBERTO E
3078 DUSTY RIDGE DR
ROCKWALL, TX 75032

CRUZ ROLANDO SANTOS &
CATHERINE CRUZ ESTEBAN
3078 RED RIDGE DR
ROCKWALL, TX 75032

LAU VIVIAN SO FAN AND
RUSSELL THETU LY
3078 FALLBROOK DR
ROCKWALL, TX 75087

DAWSON LAURIE K
3079 DEER RIDGE DR
ROCKWALL, TX 75032

POWERS JUSTIN D
3079 DUSTY RIDGE DR
ROCKWALL, TX 75087

BAYOUD JENNIFER
3079 FALLBROOK DR
ROCKWALL, TX 75087

BROWN HOWARD E
3085 DIAMOND WAY DR
ROCKWALL, TX 75032

CARRANZA LUCY
3087 DEER RIDGE DR
ROCKWALL, TX 75032

ZENDEJAS JUAN & YOLANDA AYALA
3087 DUSTY RIDGE DR
ROCKWALL, TX 75032

PALMA MAYRA A & YOVANI D
3087 FALLBROOK DR
ROCKWALL, TX 75032

COLE LAURA & OMODAMWEN
3090 DUSTY RIDGE DR
ROCKWALL, TX 75032

REIDLINGER CALEB R & SARA D
3090 FALLBROOK DR
ROCKWALL, TX 75032

520 LAKESIDE LLC
3105 CORNELL AVE
DALLAS, TX 75205

GODWIN JULIE AND BOBBY
3112 SAN MARCOS
ROCKWALL, TX 75032

SFR JV-2 PROPERTY LLC
3116 MISTY RIDGE LN
ROCKWALL, TX 75087

TURNER JOHN MICHAEL & PATRICIA SUE
312 MYERS ROAD
HEATH, TX 75032

MAH JEFFERY
3124 MISTY RIDGE LN
ROCKWALL, TX 75087

WANDA S MITCHELL AND SHARON C JOHNSON
REVOCABLE LIVING TRUST
WANDA S MITCHELL AND SHARON C JOHNSON-
TRUSTEES
3605 MERIDIAN DR
ARGYLE, TX 76226

WONG IU YAM IRENE
36-38 GLENWOOD AVE
PITTSFIELD, MA 32563

MAH JEFFERY
3816 HASKELL CT
DALLAS, TX 75204

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

LUONG SIMON
4018 138TH ST SW
LYNNWOOD, WA 98087

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
474 KEYSTONE BEND
HEATH, TX 75032

EBRAHIMI-SOHI OMID NAVID
5018 BRYAN STREET APT 204
DALLAS, TX 75206

W2 CATTLE INVESTMENTS LLC
C/O RANDY PARDUE
508 TWLIGHT TRAIL SUITE 99
RICHARDSON, TX 75080

THE ENTRUST GROUP INC
FBO JUSTIN C MONGER IRA #7230014001
555 12TH ST SUITE 900
OAKLAND, CA 94607

WANG EILEEN HONGLIAN &
HAWKINS HAOHAI YAO
5887 KILLARNEY CIR
SAN JOSE, CA 95138

VAZQUEZ JORGE & AIDA
6990 CHADBOURNE AVE
RIVERSIDE, CA 92505

THIO JOHAN AND QIAN WANG
7008 PORTCELLO DR
PLANO, TX 75024

HASTINGS OLLIE JEROME JR AND
BOBBIE T HASTINGS
703 W BOYDSTUN AVE
ROCKWALL, TX 75087

FARNHAM DAVID WILLIAM
7522 CAMPBELL RD #113-227
DALLAS, TX 75248

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

USCMF SN TEXAS A LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 75032

TAN JUDY AND
LAM KHANG DUY
914 FALCON TRAIL
MURPHY, TX 75094

BAYOUD JENNIFER
940 COTTON DEPOT LN APT 440
FT WORTH, TX 76102

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

HODGES GLORIA L
PO BOX 1180
ROCKWALL, TX 75087

SFR JV-2 PROPERTY LLC
PO BOX 15087
SANTA ANA, CA 75032

ARAUCO JESUS
PO BOX 671124
DALLAS, TX 75367

POWERS JUSTIN D
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-014: Zoning Change from AG to NS

Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, April 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, April 18, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, April 18, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-014: Zoning Change from AG to NS

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SUBSECTION 07.03: NON-RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

*: FOR DEVELOPMENT IN THE DOWNTOWN (DT) DISTRICT SEE THE STANDARDS IN SECTION 04.08, *DOWNTOWN (DT) DISTRICT*.

DEVELOPMENT STANDARDS ↓ / ZONING DISTRICTS →		RESIDENTIAL-OFFICE (RO) DISTRICT	NEIGHBORHOOD SERVICES (NS) DISTRICT	GENERAL RETAIL (GR) DISTRICT	COMMERCIAL (C) DISTRICT	HEAVY COMMERCIAL (HC) DISTRICT	LIGHT INDUSTRIAL (LI) DISTRICT	HEAVY INDUSTRIAL (HI) DISTRICT
ABBREVIATION		RO	NS	GR	C	HC	LI	HI
MAXIMUM BUILDING SIZE (SF)		*N/A*	5,000 [1]	25,000 [2]	*N/A*	*N/A*	*N/A*	*N/A*
MINIMUM LOT REQUIREMENTS	AREA (SF)	6,000 [3]	6,000	6,000 43,560	10,000 43,560	12,500 43,560	12,500 43,560	87,120
	WIDTH (FEET)	60	60	60 200	60 200	100 200	100 200	200
	DEPTH (FEET)	100	100	100 200	100 200	125 200	125 200	350
MINIMUM SETBACKS	FRONT (FEET)	25 [4, 12]	15 [5]	15 [4, 5]	15 [4, 5]	25 [4]	25 [4]	50+1/2*H*>36 [7] 50 [4]
	REAR (FEET)	30	20 W/O FRW & ALLEY	10 W/O FRW & ALLEY	10 W/O FRW & ALLEY	20 W/O FRW & ALLEY	10 W/O FRW [7]	20 + 1/2*H*>36 W/O FRW [7]
			0 W/ FRW & ALLEY	0 W/ FRW & ALLEY	0 W/ FRW & ALLEY	1/2*H*>36 W/ FRW & ALLEY	1/2*H*>36 W/ FRW & ALLEY [7]	8 + 1/2*H*>36 W/ FRW & ALLEY [7]
	REAR ADJACENT RESIDENTIAL (FEET) [6]	*N/A*	20	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	50 + 1/2*H*>36 [7]
	SIDE (FEET)	10	5 W/O FRW	10 W/O FRW	10 W/O FRW	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]
			0 W/ FRW	0 W/ FRW	0 W/ FRW	1/2*H*>36 W/ FRW [7]	1/2*H*>36 W/ FRW [7]	8 + 1/2*H*>36 W/ FRW [7]
	SIDE ADJACENT RESIDENTIAL (FEET) [6]	20	20	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	50
BETWEEN BUILDINGS (FEET)		15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]	25 + 1/2*H*>36 W/O FRW [7]
						1/2*H*>36 W/ FRW [7]	1/2*H*>36 W/ FRW [7]	16 + 1/2*H*>136 W/ FRW [7]
BUILDING HEIGHT [*H*] (FEET)		36	36	36 [8]	60 [9]	60 [9]	60 [13]	60 [13]
MAXIMUM LOT COVERAGE (%)		40	40	40	60	60	60	85
FLOOR AREA RATIO (FAR)		0.33	*N/A*	2:1	4:1	4:1	2:1	4:1
MAXIMUM IMPERVIOUS PARKING (%)		75-80 [11]	80-85	85-90	85-90	90-95	90-95	90-95
MAXIMUM NUMBER OF ENTRANCES AND/OR EXITS	ARTERIAL STREETS	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]
	COLLECTOR STREETS	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]
	LOCAL STREETS	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]
MINIMUM LANDSCAPING (%)		SEE ARTICLE 08, *LANDSCAPE AND FENCE STANDARDS*						

KEY: BLUE: WHEN ADJACENT TO INTERSTATE 30; *H*: BUILDING HEIGHT; 1/2*H*>36: ONE-HALF THE BUILDING HEIGHT OVER 36-FEET; FRW: FIRE RETARDANT WALL W/O FRW: WITHOUT FIRE RETARDANT WALL

ADDITIONAL REQUIREMENTS:

1. A MAXIMUM BUILDING SIZE OF 5,000 SF IN AREA, UNLESS OTHERWISE APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
2. A MAXIMUM BUILDING SIZE OF 25,000 SF IN AREA, UNLESS OTHERWISE APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
3. MAXIMUM LOT AREA IS 43,560 SF.
4. FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
5. PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
6. LOTS WITH NON-RESIDENTIAL USES THAT HAVE A SIDE OR REAR YARD CONTIGUOUS OR SEPARATED ONLY BY AN ALLEY, EASEMENT, OR STREET, FROM ANY RESIDENTIAL DISTRICT MUST BE SEPARATED FROM SUCH RESIDENTIAL DISTRICT BY A BUFFER AS DEFINED IN ARTICLE 08, *LANDSCAPE AND FENCE STANDARDS*, OR AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
7. NOT TO EXCEED 50-FEET.
8. BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
9. BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
10. (OR) AS APPROVED BY PLANNING AND ZONING COMMISSION.
11. A MINIMUM OF SEVEN (7) PERCENT OF THE INTERIOR OF THE PARKING LOT -- *NOT INCLUDING THE SETBACK AND LANDSCAPE BUFFER* -- SHALL BE PERVIOUS LAND AREA WITH ADDITIONAL PLANTINGS TO CREATE AN AMENITY OPEN SPACE.
12. PARKING SHALL NOT BE PERMITTED IN THE REQUIRED SETBACK.
13. BUILDING HEIGHT MAY BE INCREASED UP TO 120-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

LEGEND:	
	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Bed and Breakfast	(2)	(2)	S
Commercial Parking Garage	(6)		A
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	P
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Group or Community Home	(11)	(5)	P
Hospice	(14)		P
Public Library, Art Gallery or Museum	(16)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	S
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Health Club or Gym	(9)		S
Private Club, Lodge or Fraternal Organization	(10)	(6)	S
Public Park or Playground	(12)		P
Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Antique/Collectible Store	(1)		S

LEGEND:	
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A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
Astrologer, Hypnotist, or Psychic	(2)		P
Brew Pub	(5)		P
Catering Service	(7)		S
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	S
Copy Center	(9)		P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	S
Garden Supply/Plant Nursery	(13)		S
General Personal Service	(14)	(6)	P
General Retail Store	(15)		P
Hair Salon and/or Manicurist	(16)		P
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Massage Therapist	(19)		P
Private Museum or Art Gallery	(20)		S
Permanent Cosmetics	(23)	(7)	A
Pet Shop	(24)		P
Temporary Real Estate Sales Office	(25)		P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		S
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)	(29)		S
Art, Photography, or Music Studio	(31)		P
Tailor, Clothing, and/or Apparel Shop	(32)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		S
Shoe and Boot Repair and Sales	(16)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Full Service Car Wash and Auto Detail	(5)	(4)	S
Non-Commercial Parking Lot	(9)		S
Service Station	(11)	(8)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of ~~(~~Sand, Gravel, Oil and/or Other Materials~~)~~	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna~~,~~ as an Accessory	(2)	(1)	P
Antenna~~,~~ for an Amateur Radio	(4)	(3)	A

LEGEND:	
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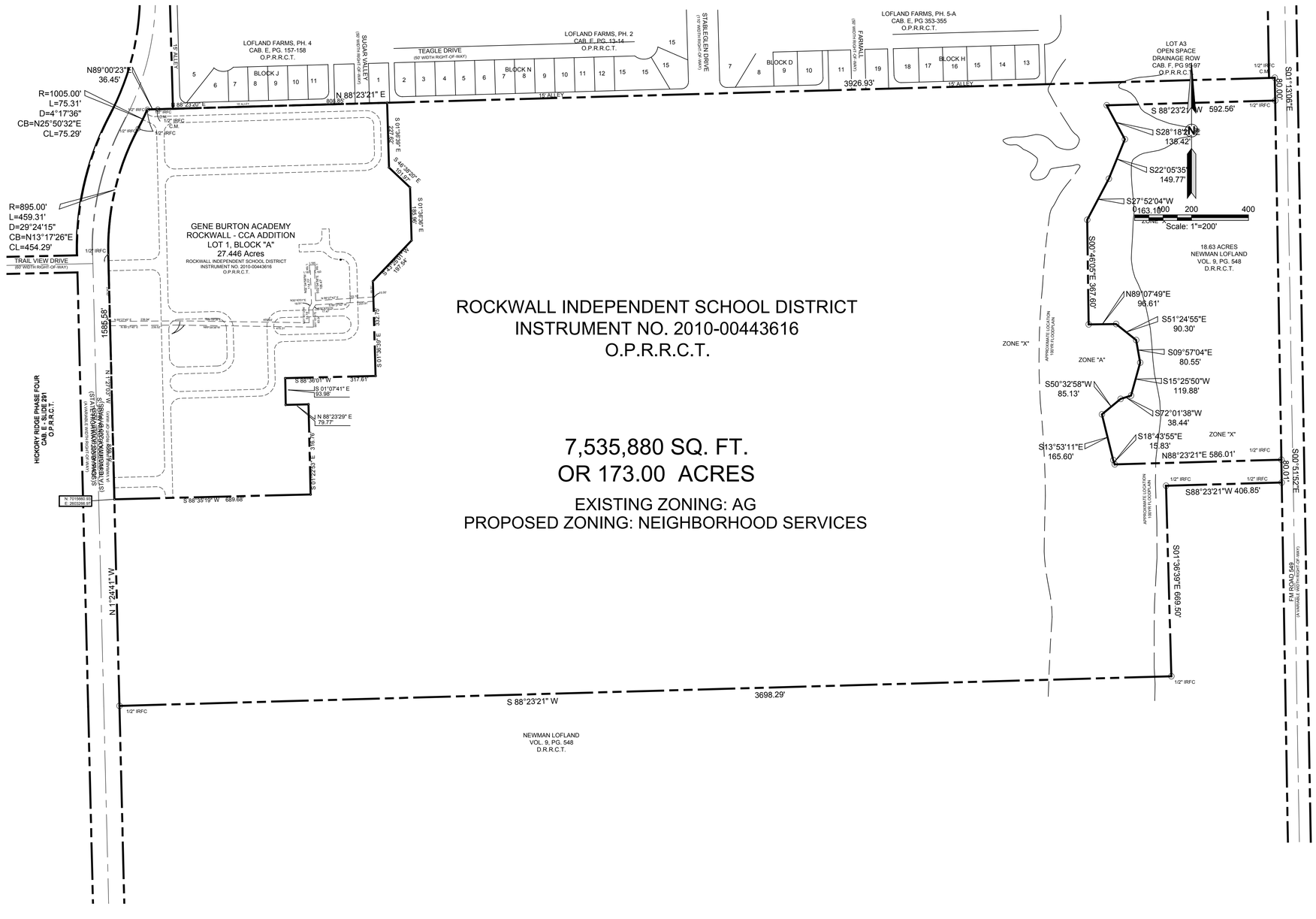
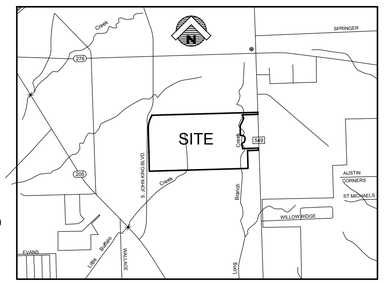
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
Antenna Dish	(5)	(4)	A
Utilities (*Non-Municipally Owned or Controlled*), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S





VICINITY MAP

N.T.S.

ROCKWALL INDEPENDENT SCHOOL DISTRICT
INSTRUMENT NO. 2010-00443616
O.P.R.R.C.T.

7,535,880 SQ. FT.
OR 173.00 ACRES

EXISTING ZONING: AG
PROPOSED ZONING: NEIGHBORHOOD SERVICES

LEGAL DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE W.H. BAIRD SURVEY, ABSTRACT NO. 25, ROCKWALL COUNTY, TEXAS, AND ALL OF THAT CERTAIN 173.00 ACRE TRACT OF LAND CONVEYED TO ROCKWALL INDEPENDENT SCHOOL DISTRICT BY DEED AS RECORDED IN INSTRUMENT NO. 2010-00443616, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR CORNER IN THE EAST RIGHT-OF-WAY JOHN KING BOULEVARD (STATE HIGHWAY 205 BYPASS) (A VARIABLE WIDTH R.O.W.) , SAME POINT BEING THE NORTHEAST CORNER OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT;

THENCE NORTH 88° 49' 51" EAST, ALONG THE NORTH LINE OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT, A DISTANCE OF 36.45 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE NORTH 88° 12' 49" EAST, ALONG THE NORTH LINE OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT, PASSING THE SOUTHWEST CORNER OF LOFLAND FARMS, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET E, PAGE 157-158, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, A CONTINUING FOR A TOTAL DISTANCE OF 3926.93 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF FM 549 (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE SOUTH 01° 23' 38" EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID FM 549, A DISTANCE OF 80.00 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 88° 12' 49" WEST, A DISTANCE OF 592.56 FEET TO A POINT FOR CORNER IN THE CENTER LINE OF CREEK;

THENCE GENERALLY IN A SOUTHERLY DIRECTION ALONG THE CENTER LINE OF SAID CREEK AS FOLLOWS THE FOLLOWING COURSES AND DISTANCES:

SOUTH 28° 29' 01" EAST, A DISTANCE OF 135.42 FEET TO A POINT FOR CORNER;
SOUTH 21° 55' 03" WEST, A DISTANCE OF 149.77 FEET TO A POINT FOR CORNER;
SOUTH 27° 41' 32" WEST, A DISTANCE OF 163.10 FEET TO A POINT FOR CORNER;
SOUTH 00° 56' 37" EAST, A DISTANCE OF 367.60 FEET TO A POINT FOR CORNER;
NORTH 88° 57' 17" EAST, A DISTANCE OF 96.61 FEET TO A POINT FOR CORNER;
SOUTH 51° 35' 27" EAST, A DISTANCE OF 90.30 FEET TO A POINT FOR CORNER;
SOUTH 10° 07' 36" EAST, A DISTANCE OF 80.55 FEET TO A POINT FOR CORNER;
SOUTH 15° 15' 18" WEST, A DISTANCE OF 119.88 FEET TO A POINT FOR CORNER;
SOUTH 71° 51' 06" WEST, A DISTANCE OF 38.44 FEET TO A POINT FOR CORNER;
SOUTH 50° 22' 26" WEST, A DISTANCE OF 85.13 FEET TO A POINT FOR CORNER;
SOUTH 14° 03' 43" EAST, A DISTANCE OF 165.60 FEET TO A POINT FOR CORNER;
SOUTH 18° 54' 27" EAST, A DISTANCE OF 15.83 FEET TO A POINT FOR CORNER;

THENCE NORTH 88° 12' 49" EAST, DEPARTING THE CENTER LINE OF SAID CREEK, A DISTANCE OF 586.01 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING IN THE SAID WEST RIGHT-OF-WAY LINE OF FM 549

THENCE SOUTH 01° 02' 24" EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID FM 549, A DISTANCE OF 80.01 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 88° 12' 49" WEST, DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID FM 549, A DISTANCE OF 406.85 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 01° 47' 11" EAST, ALONG THE EAST LINE OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT, A DISTANCE OF 669.50 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE SOUTHEAST CORNER OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT;

THENCE SOUTH 88° 12' 49" WEST, ALONG THE SOUTH LINE OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT, A DISTANCE OF 3698.29 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE SOUTHWEST CORNER OF SAID ROCKWALL INDEPENDENT SCHOOL DISTRICT TRACT, SAME POINT BEING IN THE EAST LINE OF SAID JOHN KING BOULEVARD (STATE HIGHWAY 205 BYPASS);

THENCE NORTH 01° 35' 13" WEST, ALONG THE EAST LINE OF SAID JOHN KING BOULEVARD (STATE HIGHWAY 205 BYPASS), A DISTANCE OF 1585.58 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 895.00 FEET, A DELTA ANGLE OF 29° 24' 14", AND A CHORD BEARING AND DISTANCE OF NORTH 13° 06' 54" EAST, 454.29 FEET;

THENCE IN A NORTHEASTERLY DIRECTION ALONG SAID CURVE TO THE RIGHT AND ALONG THE EAST LINE OF SAID JOHN KING BOULEVARD (STATE HIGHWAY 205 BYPASS), AN ARC DISTANCE OF 459.31 FEET TO A 1/2" IRON ROD FOUND FOR CORNER, SAID POINT BEING THE BEGINNING OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 1005.00 FEET, A DELTA ANGLE OF 04° 17' 37", AND A CHORD BEARING AND DISTANCE OF NORTH 25° 40' 12" EAST, 75.29 FEET;

THENCE IN A NORTHEASTERLY DIRECTION ALONG SAID CURVE TO THE LEFT AND ALONG THE EAST LINE OF SAID JOHN KING BOULEVARD (STATE HIGHWAY 205 BYPASS), AN ARC DISTANCE OF 75.31 FEET TO THE PLACE OF BEGINNING AND CONTAINING 173.00 ACRES OF COMPUTED LAND.

ROCKWALL-HEATH HIGH SCHOOL
NINTH GRADE CENTER
ZONING CASE XX
JOHN M. GASS SURVEY, ABSTRACT NO. 88
ROCKWALL I.S.D.
76.068 ACRES

ARCHITECT:
CORGAN ASSOCIATES, INC.
401 NORTH HOUSTON STREET
DALLAS, TEXAS 75202
(214) 214-757-1796
CONTACT: BEVERLY FORNOF

OWNER:
ROCKWALL ISD
801 EAST WASHINGTON ST,
ROCKWALL TEXAS, 75087
(469) 698-7031
CONTACT: WILLIAM SALEE

ENGINEER:
GLENN ENGINEERING CORP.
FIRM REG. NO. F-303
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
TBPE FIRM NO. F-303
(972) 989-2174 CELL
(972) 717-5151 OFFICE
CONTACT: ROBERT HOWMAN

MARCH 2022

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A NEIGHBORHOOD SERVICES (NS) DISTRICT FOR A 173.00-ACRE TRACT OF LAND IDENTIFIED AS TRACT 7-1 OF THE W. H. BAIRD SURVEY, ABSTRACT NO. 25 AND LOT 1, BLOCK A, ROCKWALL CCA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for a change in zoning from an Agricultural (AG) District to a Neighborhood Services (NS) District for a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Neighborhood Services (NS) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Neighborhood Services (NS) District as stipulated in Section 01.01*, Use of Land and Buildings,* of Article 04*, Permissible Uses*, and Section 04.01*, General Commercial District Standards*, and Section 04.03, *Neighborhood Services* (*NS*) *District,* of Article 05*, District*

DRAFT 03.29.2022

Development Standards, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF MAY, 2022.

_____

Kevin Fowler, *Mayor*

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

1st Reading: *April 18, 2022*

2nd Reading: *May 2, 2022*

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Exhibit 'A'
Legal Description

BEING a tract of land situated in the W. H. BAIRD SURVEY, ABSTRACT NO. 25, Rockwall County, Texas and all of that certain 173.00-acre tract of land conveyed to Rockwall Independent School District by deed, as recorded in Instrument No. 2010-00443616, official public records, Rockwall County, Texas, and being more particularly described as follows;

BEGINNING at a 1/2" iron rod found for corner in the East right-of-way John King Boulevard (State Highway 205 Bypass) (a variable width R.O.W.), same point being the Northeast corner of said Rockwall Independent School District Tract;

THENCE North 88 degrees 49 minutes 51 seconds East, along the North line of said Rockwall Independent School District tract, a distance of 36.45 feet to a ½" iron rod found for corner;

THENCE North 88 degrees 12 minutes 49 seconds East, along the North line of said Rockwall Independent School District tract, passing the Southwest corner of Lofland Farms, Phase 4, an addition to the City of Rockwall, according to the plat thereof recorded in Cabinet E, Page 157-158, Official Public Records, Rockwall County, Texas, a continuing for a total distance of 3926.93 feet to a ½" iron rod found for corner, said point being in the West right-of-way line of F.M. 549 (a variable width right-of-way);

THENCE South 01 degrees 23 minutes 38 seconds East, along the West right-of-way line of said F.M. 549, a distance of 80.00 feet to a ½" iron rod found for corner;

THENCE South 88° 12' 49" West, a distance of 592.56 feet to a point for corner in the center line of creek;

THENCE generally in a Southerly direction along the center line of said creek as follows the following courses and distances:
South 28° 29' 01" East, a distance of 135.42 feet to a point for corner;
South 21° 55' 03" West, a distance of 149.77 feet to a point for corner;
South 27° 41' 32" West, a distance of 163.10 feet to a point for corner;
South 00° 56' 37" East, a distance of 367.60 feet to a point for corner;
North 88° 57' 17" East, a distance of 96.61 feet to a point for corner;
South 51° 35' 27" East, a distance of 90.30 feet to a point for corner;
South 10° 07' 36" East, a distance of 80.55 feet to a point for corner;
South 15° 15' 18" West, a distance of 119.88 feet to a point for corner;
South 71° 51' 06" West, a distance of 38.44 feet to a point for corner;
South 50° 22' 26" West, a distance of 85.13 feet to a point for corner;
South 14° 03' 43" East, a distance of 165.60 feet to a point for corner;
South 18° 54' 27" East, a distance of 15.83 feet to a point for corner;

THENCE North 88° 12' 49" East, departing the center line of said creek, a distance of 586.01 feet to a 1/2" iron rod found for corner, said point being in the said West right-of-way line of F.M. 549

THENCE South 01° 02' 24" East, along the West right-of-way line of said F.M. 549, a distance of 80.01 feet to a 1/2" iron rod found for corner;

THENCE South 88° 12' 49" West, departing the West right-of-way line of said F.M. 549, a distance of 406.85 feet to a 1/2" iron rod found for corner;

THENCE South 01° 47' 11" East, along the East line of said Rockwall Independent School

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ORDINANCE
08.23.2022

District tract, a distance of 669.50 feet to a 1/2" iron rod found for corner, said point being the Southeast corner of said Rockwall Independent School District tract;

THENCE South 88° 12' 49" West, along the South line of said Rockwall Independent School district tract, a distance of 3698.29 feet to a 1/2" iron rod found for corner, said point being the Southwest corner of said Rockwall Independent School District tract, same point being in the East line of said John King Boulevard (State Highway 205 Bypass);

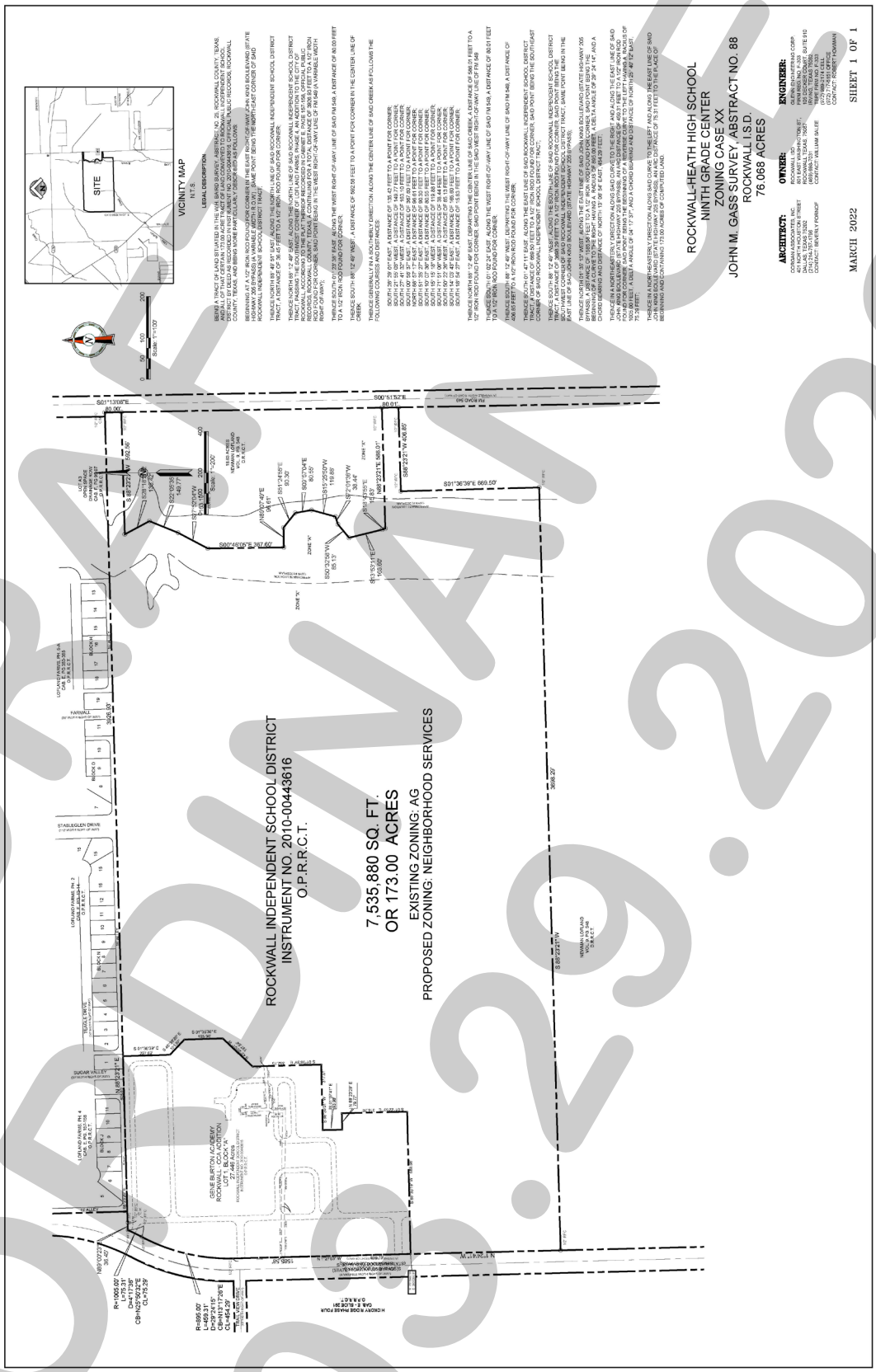
THENCE North 01° 35' 13" West, along the East line of said John King Boulevard (State Highway 205 Bypass), a distance of 1585.58 feet to a 1/2" iron rod found for corner, said point being the beginning of a curve to the right having a radius of 895.00 feet, a delta angle of 29° 24' 14", and a chord bearing and distance of North 13° 06' 54" East, 454.29 feet;

THENCE in a Northeasterly direction along said curve to the right and along the East line of said John King Boulevard (State Highway 205 Bypass), an arc distance of 459.31 feet to a 1/2" iron rod found for corner, said point being the beginning of a reverse curve to the left having a radius of 1005.00 feet, a delta angle of 04° 17' 37", and a chord bearing and distance of North 25° 40' 12" East, 75.29 feet;

THENCE in a Northeasterly direction along said curve to the left and along the East line of said John King Boulevard (State Highway 205 Bypass), an arc distance of 75.31 feet to the ***PLACE OF BEGINNING*** and containing 173.00 acres of computed land.

DRAFT ORDINANCE 03.29.2022

Exhibit 'B'
Zoning Exhibit



PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	Z2022-015	CASE MANAGER:	Bethany ross
PROJECT NAME:	Zoning Change from AG to NS	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:		CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Approved w/ Comments

03/23/2022: General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees to be paid for upsizing the water meter and additional square footage to building.
- Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
- Retaining wall 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Must include a 10' utility easement along street frontage

Water and Wastewater Items:
- Impact fees to be paid with building permit.
- Must dedicate 20' wide easement for the sewer line to connect along creek.
- Must build 12" water line in Panhandle to south property line per the Master Plan.
- Must build 12" water line in North Country Lane and connect to FM 1141
- Sewer Pro-rata $361.54/acre. Additional Winding Creek pro-rata may apply.

Drainage Items:
- Dumpster area to drain to an oil/water separator and then to the storm system. - Detention is required.
- Areas of 20 acres or more must use the unit hydrograph method. Review fees apply.
- C-factor will be per zoning type.
- No walls in detention. Max slope is 4:1

Roadway Paving Items:
- Parking to be 20'x9'
- No deadend parking allowed without a striped and signed "No Parking" area that is 64'x15'.
- Drive aisles to be a min. 24' wide

- Fire lane to have a min. radius of 20' if buildings are less than 30' tall. If any building is over 30' tall, the fire lane min. radius is 30'.
- Fire lane to be platted
- Panhandle to be 65' ROW, 45' B-B paving.
- North Country Lane to be 65' ROW, 45' B-B paving. Must build remaining roadway.
- Quail Run to be an M4U 65' ROW and 45' B-B paving. Must build your half, maybe more, depending on the TIA.
- Traffic Impact Analysis required. Review fees apply.
- TxDOT driveway spacing on FM 1141 is 495 feet per the 55 mph posted speed.

Landscaping:
- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany ross	03/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany ross	03/25/2022	Approved w/ Comments

03/25/2022: Z2022-015; Zoning Change (AG to NS)
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Zoning Change from an Agricultural (AG) District to a Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 and 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the northwest corner of the intersection of FM-1141 and E. Quail Run Road.

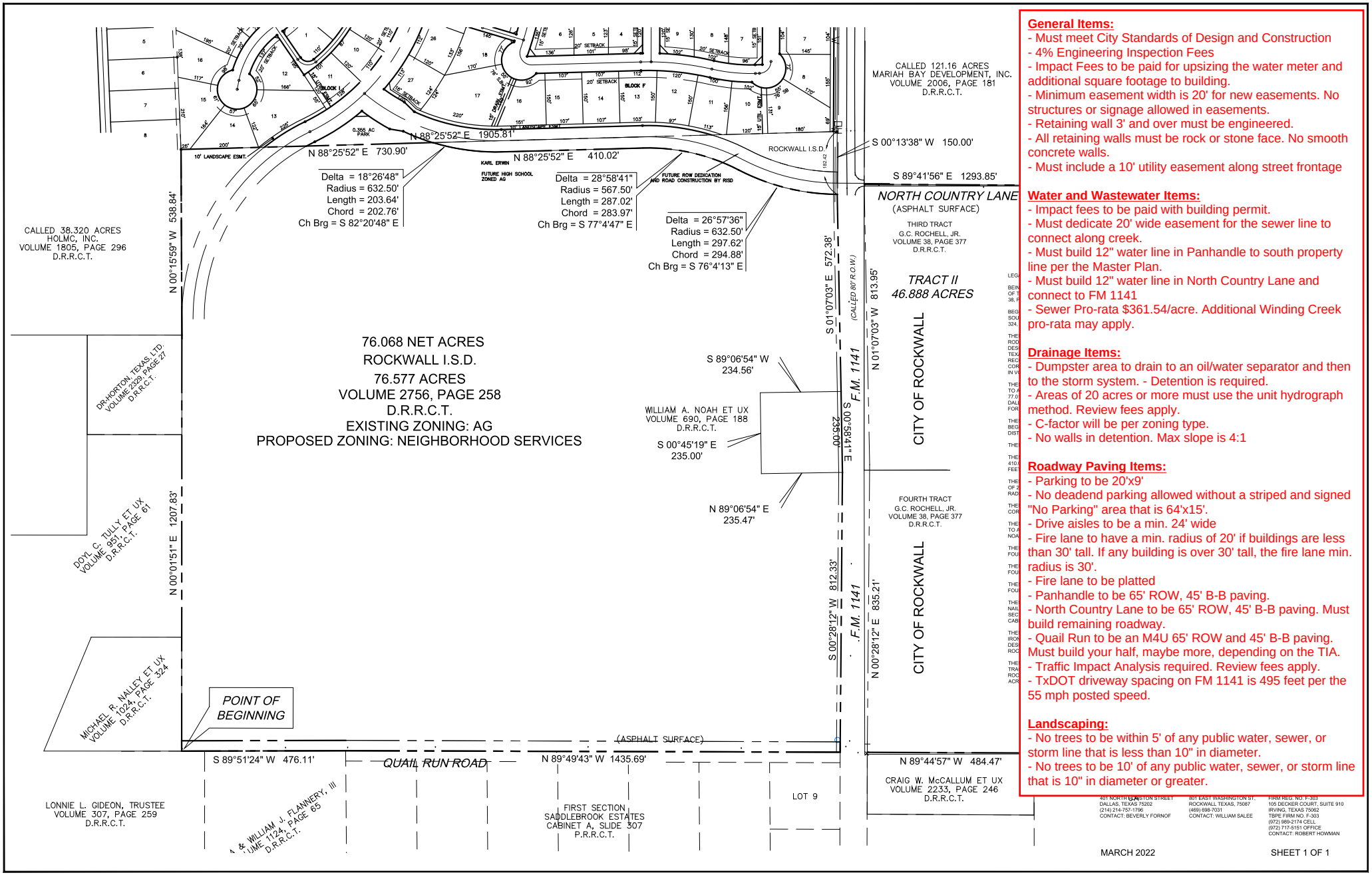
I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2022-015) in the lower right-hand corner of all pages on future submittals.

M.4 Please review the attached Draft Ordinance prior to the March 29, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than April 5, 2022.

I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on March 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 12, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on March 29, 2022.

I.6 The projected City Council meeting dates for this case will be April 18, 2022 (1st Reading) and May 2, 2022 (2nd Reading).



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401 NORTH HOUSTON STREET
DALLAS, TEXAS 75202
(214) 214-757-1796
CONTACT: BEVERLY FORNOF

801 EAST WASHINGTON ST.
ROCKWALL TEXAS, 75087
(469) 698-7031
CONTACT: WILLIAM SALEE

FIRM REG. NO. F-303
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
TBPE FIRM NO. F-303
(972) 989-2174 CELL
(972) 717-5151 OFFICE
CONTACT: ROBERT HOWMAN

MARCH 2022

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS					
SUBDIVISION	Rockwall High School 9th Grade Center	LOT	1	BLOCK	1
GENERAL LOCATION	at the northwest corner of Quail Run Road and FM 1141				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG	CURRENT USE	PUBLIC SCHOOL		
PROPOSED ZONING	NEIGHBORHOOD SERVICES	PROPOSED USE	PUBLIC SCHOOL		
ACREAGE	76	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Rockwall Independent School District	☐ APPLICANT	Glenn Engineering Corp.
CONTACT PERSON	William Salee - Executive Director of Operations	CONTACT PERSON	Robert Howman
ADDRESS	1191 T.L. Townsend Drive	ADDRESS	4500 Fuller Drive
			Suite 220
CITY, STATE & ZIP	Rockwall, Texas 75087	CITY, STATE & ZIP	Irving, Texas 75038
PHONE	469-698-7031	PHONE	972-989-2174 cell
E-MAIL	will.salee@rockwallisd.org	E-MAIL	rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

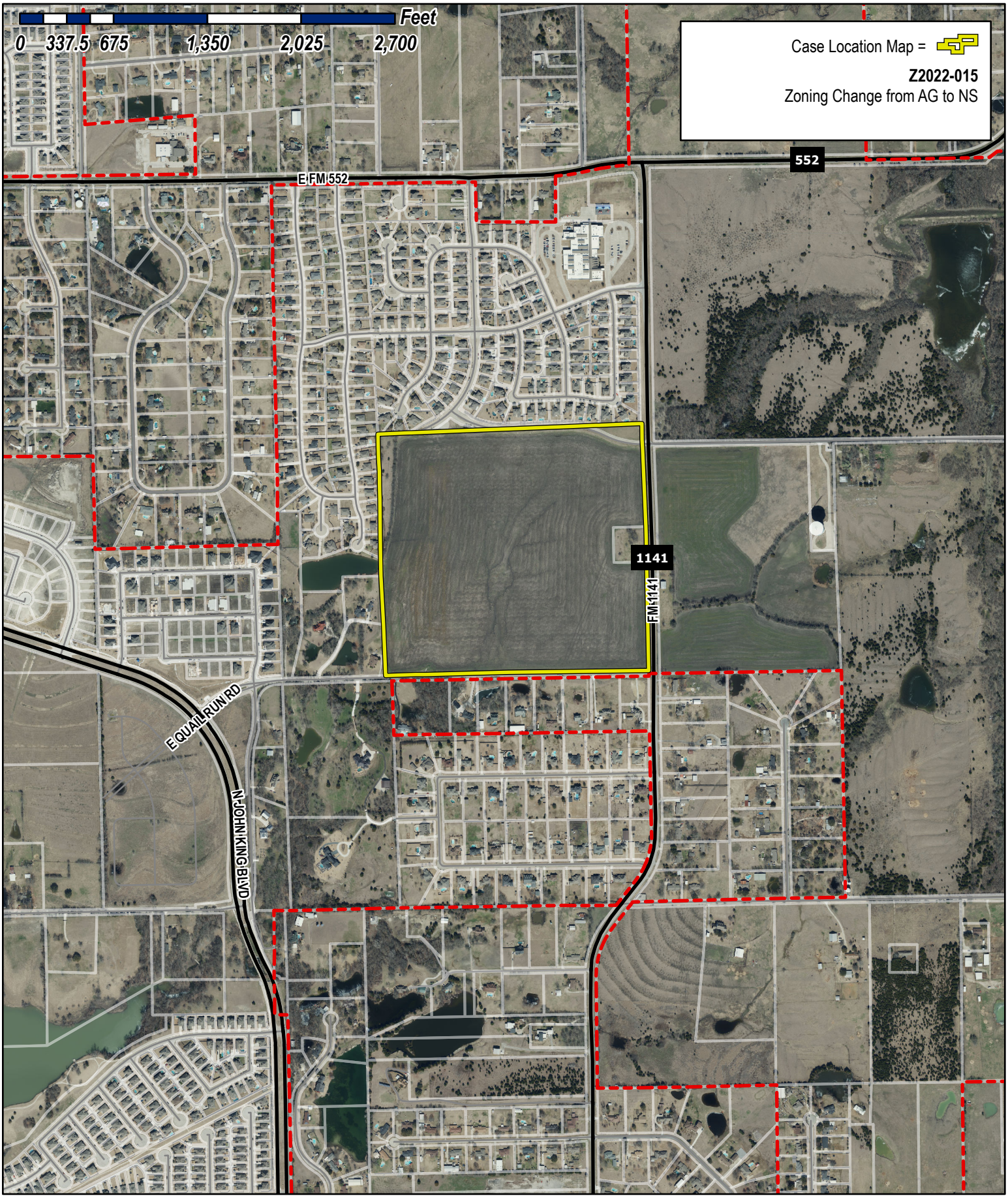
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

City of Rockwall

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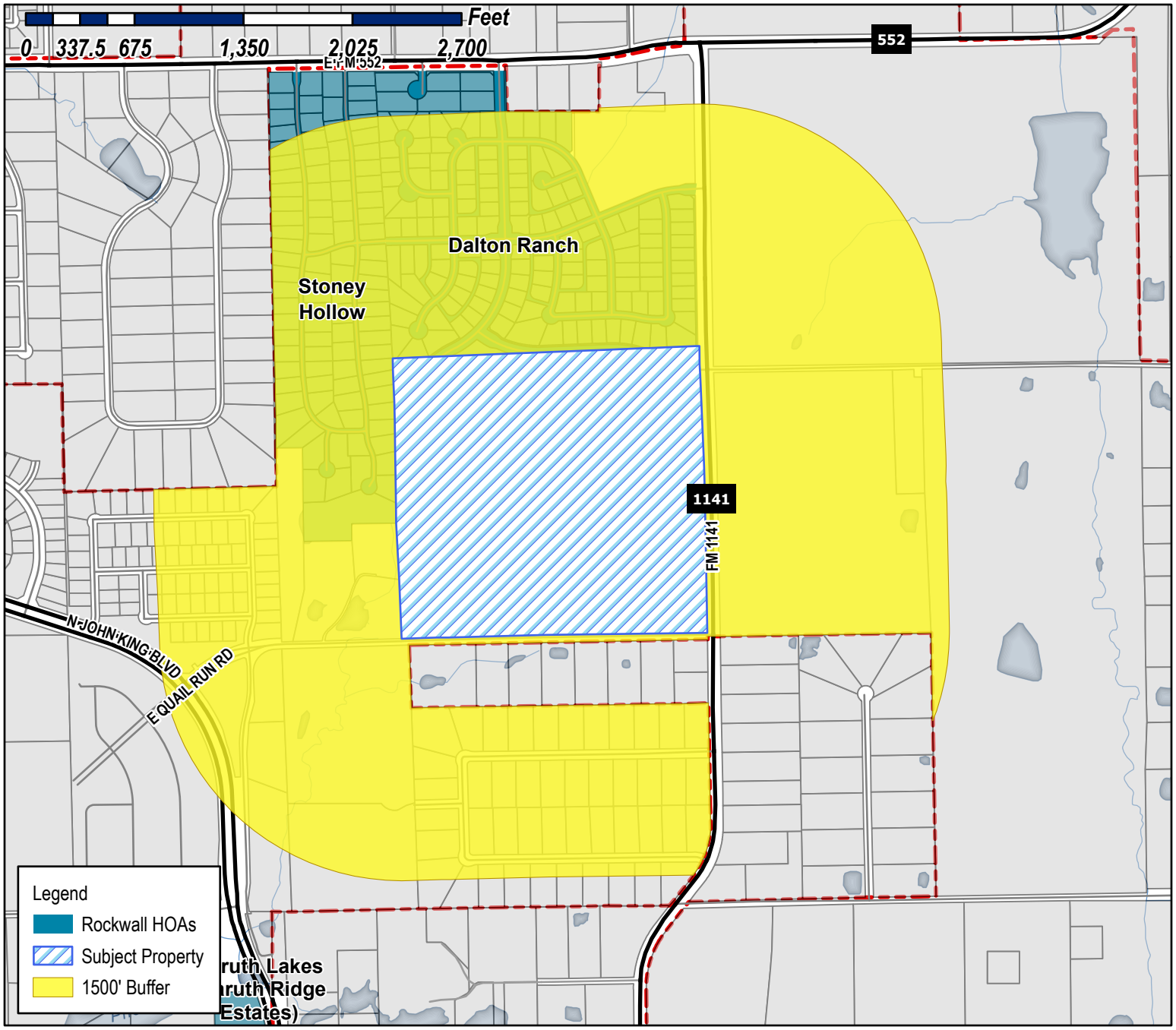
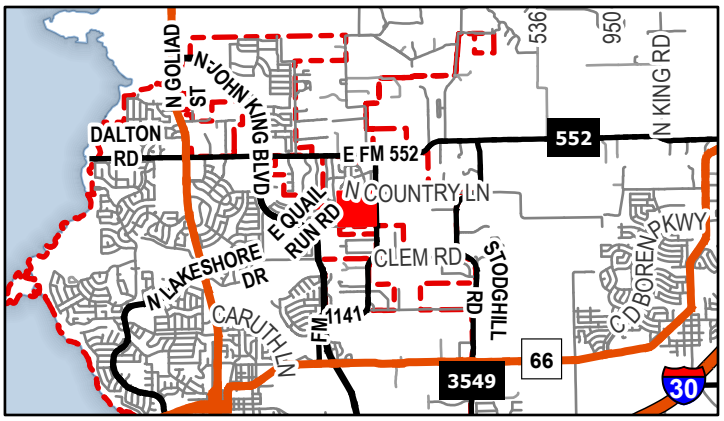


Case Number: Z2022-015
Case Name: Zoning Change from AG to NS
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: NWC of Quail Run Road and FM 1141



Date Saved: 3/18/2022
For Questions on this Case Call (972) 771-7745

From: Gamez, Angelica
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-015]
Date: Friday, March 25, 2022 9:02:40 AM
Attachments: Public Notice (03.23.2022).pdf
HOA Map Z2022-015.pdf

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on March 25, 2022. The Planning and Zoning Commission will hold a public hearing on Tuesday, April 12, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 18, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2022-015: Zoning Change from AG to NS
Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

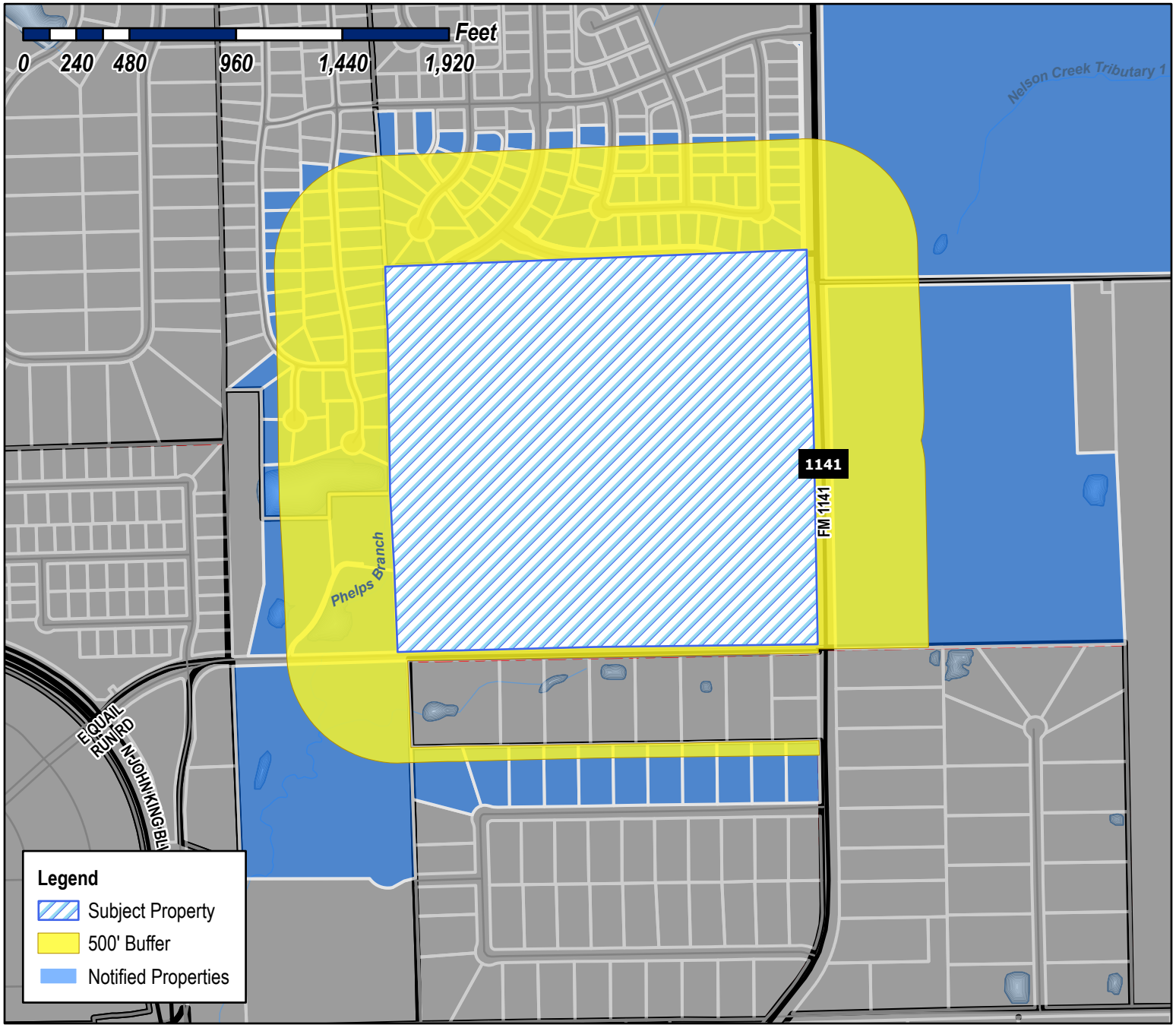
Thank you,

Angelica Gamez
Planning & Zoning Coordinator
City of Rockwall
972.771.7745 Office
972.772.6438 Direct
http://www.rockwall.com/planning/

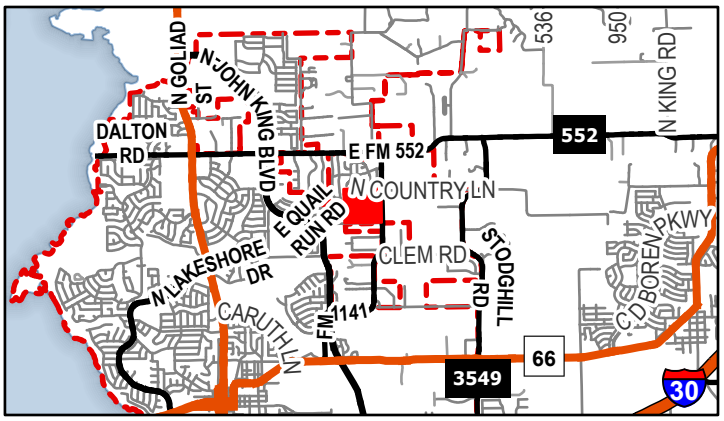
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-015
Case Name: Zoning Change from AG to NS
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: NWC of Quail Run Road and FM 1141



Date Saved: 3/18/2022
For Questions on this Case Call (972) 771-7745

GERLACH CHRISS AND RON FAMILY TRUST
RONALD ROBERT GERLACH SOLE TRUSTEE
13435 ROANE CIR
NORTH TUSTIN, CA 92705

LARRIVIERE MICHAEL R & LISA J
1425 E QUAIL RUN RD
ROCKWALL, TX 75087

TULLY DOYL C & VONETTE S
1435 E QUAIL RUN RD
ROCKWALL, TX 75087

QUALICO DEVELOPMENTS (US), INC
14400 THE LAKES BLVD BUILDING C, SUITE 200
AUSTIN, TX 78660

NALLEY MICHAEL R & LORI D
1445 E QUAIL RUN RD
ROCKWALL, TX 75087

BELL BRYAN & PRISCILLA
1660 E QUAIL RUN RD
ROCKWALL, TX 75087

HUDDIN RYAN S AND JADA
1666 FM 1141
ROCKWALL, TX 75087

SPEER JOHN AND JULIE
1683 TANNERSON DR
ROCKWALL, TX 75087

STEPHEN VALENTINE
1687 TANNERSON DR
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
1800 E QUAIL RUN RD
ROCKWALL, TX 75087

LAWHORN DAVID AND STEPHANIE
1819 TRAIL DR
ROCKWALL, TX 75087

CARLSON KELLY BRYAN
1821 TRAIL DR
ROCKWALL, TX 75087

DE LAURA MELVIN ROY
1823 TRAIL DR
ROCKWALL, TX 75087

GARTH AARON MICHAEL & MEGAN L
1824 TRAIL DRIVE
ROCKWALL, TX 75087

OLIVER STEVEN AND CHRISTINE
1825 TRAIL DR
ROCKWALL, TX 75087

HASS KELLY NEAL & AMANDA COURTNEY
1826 TRAIL DR
ROCKWALL, TX 75087

HASS KELLY NEAL & COURTNEY DUNCAN HASS
1826 TRAIL DR
ROCKWALL, TX 75087

HAURY JEFFREY H
1827 TRAIL DR
ROCKWALL, TX 75087

WATLINGTON DAVID & SHERRY
1828 TRAIL DR
ROCKWALL, TX 75087

HERNANDEZ JOHN E AND CECILE
1829 TRAIL DRIVE
ROCKWALL, TX 75087

WEIR JAMES B & CRYSTAL
1831 TRAIL DR
ROCKWALL, TX 75087

OLIVER MICHAEL
1832 TRAIL DRIVE
ROCKWALL, TX 75087

MILLER ANGELA KAY & JOHN RAY
1833 TRAIL DRIVE
ROCKWALL, TX 75087

FOSTER BRIAN AND DEIDRE
1834 TRAIL DRIVE
ROCKWALL, TX 75087

ALLEN JAMES JR & BARBARA A
1835 TRAIL DRIVE
ROCKWALL, TX 75087

SANTOSO HARDJO AND
SENDYTIAWATI KURNIAWAN
1836 TRAIL DR
ROCKWALL, TX 75087

REAMSBOTTOM DELAYNE
1837 TRAIL DRIVE
ROCKWALL, TX 75087

FLANNERY SHEILA S & WILLIAM J III
JOINT TENANTS W/RIGHT SURVIVORSHIP
2095 E QUAIL RUN RD
ROCKWALL, TX 75087

FREDERICK CURTIS
2181 E QUAIL RUN RD
ROCKWALL, TX 75087

SELF CRAIG & CHRISTINA
2249 E QUAIL RUN RD
ROCKWALL, TX 75087

ECHOLS JAMES WADE
2307 E 2307 QUAIL RUN RD
ROCKWALL, TX 75087

RICHARDSON FRANKLIN AND JENNIFER
2343 EAST QUAIL RUN ROAD
ROCKWALL, TX 75087

COX ROBERT & BEVERLY
2356 SADDLEBROOK LN
ROCKWALL, TX 75087

OROZCO ARTHUR
2360 SADDLEBROOK LANE
ROCKWALL, TX 75087

BERGER KEVIN M & DEBBIE R
2364 SADDLEBROOK LN
ROCKWALL, TX 75087

STELZER WADE L & MISTY M
2368 SADDLEBROOK LN
ROCKWALL, TX 75087

ELLIS MELISSA A AND CHIMA O
2372 SADDLEBROOK LN
ROCKWALL, TX 75087

FINCH PATRICIA A
2374 SANDSTONE
ROCKWALL, TX 75087

BASHAM ERIC B
2376 SADDLEBROOK LN
ROCKWALL, TX 75087

MARKARIAN MASIS A & CLAUDIA
2377 SANDSTONE
ROCKWALL, TX 75087

DEFEBAUGH WALTER W & DAWN A
2380 SADDLEBROOK LN
ROCKWALL, TX 75087

GRAY RYAN D AND MARISA C
2384 SADDLEBROOK LN
ROCKWALL, TX 75087

CALLICOATT GEORGE & JUDY
2388 SADDLEBROOK LN
ROCKWALL, TX 75087

THORMAHLEN KARL M SR & ETUX
2392 SADDLEBROOK LN
ROCKWALL, TX 75087

MINNICH SHAWN C & WENDY A
2396 SADDLEBROOK LN
ROCKWALL, TX 75087

LANGLEY RICHARD E
2401 SANDSTONE
ROCKWALL, TX 75087

STONEY HOLLOW OWNERS ASSOC
C/O LONE STAR ASSOC MGMT
2500 LEGACY DR STE 220
FRISCO, TX 75034

GAERTNER BRIAN & DOLORES
2580 COBBLESTONE DRIVE
ROCKWALL, TX 75087

VAN BRUNT RICHARD JOSEPH SR
2585 COBBLESTONE DR
ROCKWALL, TX 75087

2594COBBLESTONEDR
ROCKWALL, TX 75087

NEWBAUER AARON M AND MONICA VALORIE
2605 COBBLESTONE
ROCKWALL, TX 75087

EDWARDS JUSTIN W & STEPHANIE A
2608 COBBLESTONE DRIVE
ROCKWALL, TX 75087

SIVINSKI JOSEPH & LUANNE
2685 STONEY HOLLOW LANE
ROCKWALL, TX 75087

AVERY SCOT AND DENA
2730 STONEY HOLLOW LANE
ROCKWALL, TX 75087

GREEN LINDA LAMINACK & TOMMY FAGAN
2731 STONEY HOLLOW LANE
ROCKWALL, TX 75087

MARTINEZ ALFONSO & RITA
2732 COBBLESTONE DRIVE
ROCKWALL, TX 75087

KAYE MICHAEL & TRACY
2737 COBBLESTONE DR
ROCKWALL, TX 75087

TRIMPE KEITH A & DARLENE J
2744 COBBLESTONE DR
ROCKWALL, TX 75087

JENNINGS CODY D
2744 STONEY HOLLOW LANE
ROCKWALL, TX 75087

GERLACH CHRISS AND RON FAMILY TRUST
RONALD ROBERT GERLACH SOLE TRUSTEE
2749 COBBLESTONE DR
ROCKWALL, TX 75087

JABLONSKY JOSEPH GLOVER
2754 COBBLESTONE DR
ROCKWALL, TX 75087

ESTRADA CASSANDRA
2759 COBBLESTONE DRIVE
ROCKWALL, TX 75087

HAI LE & KHANH T TO
2760 STONEY HOLLOW LN
ROCKWALL, TX 75087

CARTER TERRY L & LAURA C
2764 COBBLESTONE DR
ROCKWALL, TX 75087

CRAIGWELL KIMBERLY A
2769 COBBLESTONE DRIVE
ROCKWALL, TX 75087

MARTIN THOMAS AND MICHELLE
2770 STONEY HOLLOW LN
ROCKWALL, TX 75087

HAMILL MICHAEL B AND JERRIE L
2774 COBBLESTONE DR
ROCKWALL, TX 75087

SIMPSON RICHARD G
2780 STONEY HOLLOW LN
ROCKWALL, TX 75087

MYERS JASON NICOLAS AND
SHELLY COLLINS-SHOFFNER
2781 COBBLESTONE DRIVE
ROCKWALL, TX 75087

GARRISON PHILIP B AND RUTH S
2784 COBBLESTONE DRIVE
ROCKWALL, TX 75087

JOHNSON MARTHA
2790 STONEY HOLLOW LN
ROCKWALL, TX 75087

HASS KELLY NEAL & COURTNEY DUNCAN HASS
2794COBBLESTONEDR
ROCKWALL, TX 75087

GALBRAITH ANGELA J & CHRISTOPHER
2795 COBBLESTONE DR
ROCKWALL, TX 75087

KNIGHT KLINTON AND LAUREN BUSHNELL
2800 STONEY HOLLOW LN
ROCKWALL, TX 75087

GREEN KELLY AND
THOMAS F GREEN AND LINDA GREEN
2804 COBBLESTONE DRIVE
ROCKWALL, TX 75087

SYFERD DIXIE J
2809 COBBLESTONE DR
ROCKWALL, TX 75087

REYNOLDS TRAVIS NEAL & WENDY B
2810 STONEY HOLLOW LN
ROCKWALL, TX 75087

MORRILL MATTHEW L & JENNIFER M
2814 COBBLESTONE DR
ROCKWALL, TX 75087

HODKINSON BRIAN AND LESLIE
2823 COBBLESTONE DR
ROCKWALL, TX 75087

BARKER REX ALLEN
2824 COBBLESTONE DR
ROCKWALL, TX 75087

HECTOR MURILLO AND BARBARA A MURILLO
REVOCABLE LIVING TRUST
HECTOR MURILLO AND BARBARA A MURILLO-
TRUSTEES
2834 COBBLESTONE DRIVE
ROCKWALL, TX 75087

ROCKWALL I S D
2852FM1141
ROCKWALL, TX 75087

WILLIE TIPHANNIE
2895 PANHANDLE DR
ROCKWALL, TX 75087

ELLIS MICHAEL WILLIAM AND ANNIE
2905 PANHANDLE DRIVE
ROCKWALL, TX 75087

PAYSON JEFFERY AND NOELLE
2906 PANHANDLE DR
ROCKWALL, TX 75087

FLANERY DJUANA
2907 PANHANDLE DRIVE
ROCKWALL, TX 75087

KIM BUNNA
2908 BROKEN SPOKE LN
ROCKWALL, TX 75087

HURD ROBERT W & TAMARA L
2908 PANHANDLE DR
ROCKWALL, TX 75087

SHINN LARRY GREGORY & DAWN RAE
2909 PAINTED PONY LN
ROCKWALL, TX 75087

GRIFFITH DEAN A & STEPHEN
2909 PANHANDLE DRIVE
ROCKWALL, TX 75087

LIPSEY RANDALL L AND KAREN M
2910 BROKEN SPOKE LN
ROCKWALL, TX 75087

TARBET HOWARD F II AND JENNIFER L
2910 PANHANDLE DR
ROCKWALL, TX 75087

HERNANDEZ JUSTIN
2911 PANHANDLE DRIVE
ROCKWALL, TX 75087

RODRIQUEZ MONICA CANO & ISRAEL A JR
2912 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BROCK MATTHEW M
2912 PANHANDLE DR
ROCKWALL, TX 75087

FRANCIS SHELBY & KRISTI
2913 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BAILEY ROY A JR
2913 PAINTED PONY LN
ROCKWALL, TX 75087

CAMPBELL JAKE C
2913 PANHANDLE DR
ROCKWALL, TX 75087

KOZLOWSKI BRIAN STEPHEN & JULIE
2914 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BLOOMFIELD CORBEN P & MARCY A
2914 PAINTED PONY LN
ROCKWALL, TX 75087

BURGETT BRENDA & LEE
2914 PANHANDLE DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
2914 CHUCK WAGON DR
ROCKWALL, TX 75087

MARTIN JEFFREY MICHAEL & ELIZABETH DIANE
2915 BROKEN SPOKE LANE
ROCKWALL, TX 75087

OBUONG MIRIAM AKOTH AND
REMIGUS IHEKWABA
2915 CHUCK WAGON DRIVE
ROCKWALL, TX 75087

WHITLEY MICHAEL AND SANDRA
2915 PAINTED PONY LN
ROCKWALL, TX 75087

CURRY JOANNA & SHAWN
2916 BROKEN SPOKE LN
ROCKWALL, TX 75087

LOGWOOD DANA CELESTE
2916 CHUCK WAGON DR
ROCKWALL, TX 75087

GOSS JOSEPH G JR & JENNIFER C
2916 PAINTED PONY LN
ROCKWALL, TX 75087

HELMER BRAD C & JANA M
2917 CHUCK WAGON DR
ROCKWALL, TX 75087

PAUL WILLIAM M & LINDA
2917 PAINTED PONY LANE
ROCKWALL, TX 75087

STEGALL GENE & FRANCINE
2932 BARTON SPRINGS LN
ROCKWALL, TX 75087

ALLEN TIM ROBERT JR & AMANDA LEIGH
2934 BARTON SPRINGS LN
ROCKWALL, TX 75087

LEONARD SARA DIANA & MICHAEL KYLE
2935 BARTON SPRINGS LN
ROCKWALL, TX 75087

SUKENIK JAMES H
2937 BARTON SPRINGS LANE
ROCKWALL, TX 75087

ABRAHAM BRIAN P & VANESSA M
2938 BARTON SPRINGS LANE
ROCKWALL, TX 75087

SIFUENTES TRACY AARON
2939 BARTON SPRINGS LANE
ROCKWALL, TX 75087

COLE KRISTY
2941 BARTON SPRINGS LN
ROCKWALL, TX 75087

JENNINGS JOSHUA AND JENNIFER
2942 BARTON SPRINGS LN
ROCKWALL, TX 75087

ROBINS WAYNE & LORRAINE
2944 BARTON SPRINGS LN
ROCKWALL, TX 75087

PARRISH RONALD BLANE & LINDA C
2945 BARTON SPRINGS LANE
ROCKWALL, TX 75087

MILNER THOMAS & MICHELLE
2946 BARTON SPRINGS LN
ROCKWALL, TX 75087

BOHN JEREMY ADAM & SHANNON
2947 BARTON SPRINGS LN
ROCKWALL, TX 75087

BIETENDORF GUY ALAN & CYNTHIA KAYE
2948 BARTON SPRINGS LANE
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

DALTON RANCH OWNERS ASSOC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T.L. TOWNSEND SUITE 101
ROCKWALL, TX 75087

DE LAURA MELVIN ROY
P. O. BOX 1974
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-015: Zoning Change from AG to NS

Hold a public hearing to discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of a Zoning Change from an Agricultural (AG) District to Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, April 12, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, April 18, 2022 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, April 18, 2022 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2022-015: Zoning Change from AG to NS

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SUBSECTION 07.03: NON-RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

*: FOR DEVELOPMENT IN THE DOWNTOWN (DT) DISTRICT SEE THE STANDARDS IN SECTION 04.08, *DOWNTOWN (DT) DISTRICT*.

DEVELOPMENT STANDARDS ↓ / ZONING DISTRICTS →		RESIDENTIAL-OFFICE (RO) DISTRICT	NEIGHBORHOOD SERVICES (NS) DISTRICT	GENERAL RETAIL (GR) DISTRICT	COMMERCIAL (C) DISTRICT	HEAVY COMMERCIAL (HC) DISTRICT	LIGHT INDUSTRIAL (LI) DISTRICT	HEAVY INDUSTRIAL (HI) DISTRICT
ABBREVIATION		RO	NS	GR	C	HC	LI	HI
MAXIMUM BUILDING SIZE (SF)		*N/A*	5,000 [1]	25,000 [2]	*N/A*	*N/A*	*N/A*	*N/A*
MINIMUM LOT REQUIREMENTS	AREA (SF)	6,000 [3]	6,000	6,000 43,560	10,000 43,560	12,500 43,560	12,500 43,560	87,120
	WIDTH (FEET)	60	60	60 200	60 200	100 200	100 200	200
	DEPTH (FEET)	100	100	100 200	100 200	125 200	125 200	350
MINIMUM SETBACKS	FRONT (FEET)	25 [4, 12]	15 [5]	15 [4, 5]	15 [4, 5]	25 [4]	25 [4]	50+1/2*H*>36 [7] 50 [4]
	REAR (FEET)	30	20 W/O FRW & ALLEY	10 W/O FRW & ALLEY	10 W/O FRW & ALLEY	20 W/O FRW & ALLEY	10 W/O FRW [7]	20 + 1/2*H*>36 W/O FRW [7]
			0 W/ FRW & ALLEY	0 W/ FRW & ALLEY	0 W/ FRW & ALLEY	1/2*H*>36 W/ FRW & ALLEY	1/2*H*>36 W/ FRW & ALLEY [7]	8 + 1/2*H*>36 W/ FRW & ALLEY [7]
	REAR ADJACENT RESIDENTIAL (FEET) [6]	*N/A*	20	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	50 + 1/2*H*>36 [7]
	SIDE (FEET)	10	5 W/O FRW	10 W/O FRW	10 W/O FRW	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]
			0 W/ FRW	0 W/ FRW	0 W/ FRW	1/2*H*>36 W/ FRW [7]	1/2*H*>36 W/ FRW [7]	8 + 1/2*H*>36 W/ FRW [7]
	SIDE ADJACENT RESIDENTIAL (FEET) [6]	20	20	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	20 + 1/2*H*>36 [7]	50
BETWEEN BUILDINGS (FEET)		15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 W/O FRW 0 W/ FRW	15 + 1/2*H*>36 W/O FRW [7]	15 + 1/2*H*>36 W/O FRW [7]	25 + 1/2*H*>36 W/O FRW [7]
						1/2*H*>36 W/ FRW [7]	1/2*H*>36 W/ FRW [7]	16 + 1/2*H*>136 W/ FRW [7]
BUILDING HEIGHT [*H*] (FEET)		36	36	36 [8]	60 [9]	60 [9]	60 [13]	60 [13]
MAXIMUM LOT COVERAGE (%)		40	40	40	60	60	60	85
FLOOR AREA RATIO (FAR)		0.33	*N/A*	2:1	4:1	4:1	2:1	4:1
MAXIMUM IMPERVIOUS PARKING (%)		75-80 [11]	80-85	85-90	85-90	90-95	90-95	90-95
MAXIMUM NUMBER OF ENTRANCES AND/OR EXITS	ARTERIAL STREETS	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]	1/200 [10]
	COLLECTOR STREETS	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]	1/100 [10]
	LOCAL STREETS	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]	1/50 [10]
MINIMUM LANDSCAPING (%)		SEE ARTICLE 08, *LANDSCAPE AND FENCE STANDARDS*						

KEY: BLUE: WHEN ADJACENT TO INTERSTATE 30; *H*: BUILDING HEIGHT; 1/2*H*>36: ONE-HALF THE BUILDING HEIGHT OVER 36-FEET; FRW: FIRE RETARDANT WALL W/O FRW: WITHOUT FIRE RETARDANT WALL

ADDITIONAL REQUIREMENTS:

1. A MAXIMUM BUILDING SIZE OF 5,000 SF IN AREA, UNLESS OTHERWISE APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
2. A MAXIMUM BUILDING SIZE OF 25,000 SF IN AREA, UNLESS OTHERWISE APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
3. MAXIMUM LOT AREA IS 43,560 SF.
4. FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
5. PARKING SHOULD NOT BE LOCATED BETWEEN THE FRONT FAÇADE AND THE PROPERTY LINE.
6. LOTS WITH NON-RESIDENTIAL USES THAT HAVE A SIDE OR REAR YARD CONTIGUOUS OR SEPARATED ONLY BY AN ALLEY, EASEMENT, OR STREET, FROM ANY RESIDENTIAL DISTRICT MUST BE SEPARATED FROM SUCH RESIDENTIAL DISTRICT BY A BUFFER AS DEFINED IN ARTICLE 08, *LANDSCAPE AND FENCE STANDARDS*, OR AS APPROVED BY THE PLANNING AND ZONING COMMISSION.
7. NOT TO EXCEED 50-FEET.
8. BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
9. BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SUP BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
10. (OR) AS APPROVED BY PLANNING AND ZONING COMMISSION.
11. A MINIMUM OF SEVEN (7) PERCENT OF THE INTERIOR OF THE PARKING LOT -- *NOT INCLUDING THE SETBACK AND LANDSCAPE BUFFER* -- SHALL BE PERVIOUS LAND AREA WITH ADDITIONAL PLANTINGS TO CREATE AN AMENITY OPEN SPACE.
12. PARKING SHALL NOT BE PERMITTED IN THE REQUIRED SETBACK.
13. BUILDING HEIGHT MAY BE INCREASED UP TO 120-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

LEGEND:	
	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Bed and Breakfast	(2)	(2)	S
Commercial Parking Garage	(6)		A
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	P
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Group or Community Home	(11)	(5)	P
Hospice	(14)		P
Public Library, Art Gallery or Museum	(16)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	S
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Health Club or Gym	(9)		S
Private Club, Lodge or Fraternal Organization	(10)	(6)	S
Public Park or Playground	(12)		P
Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Antique/Collectible Store	(1)		S

LEGEND:	
	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

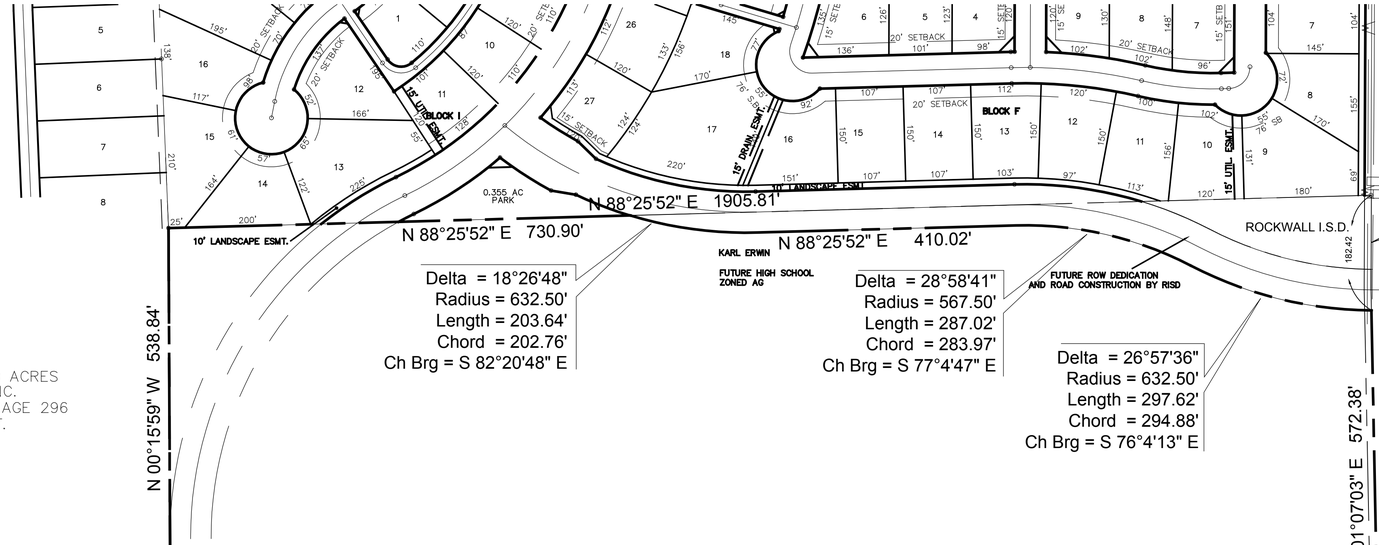
PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
Astrologer, Hypnotist, or Psychic	(2)		P
Brew Pub	(5)		P
Catering Service	(7)		S
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	S
Copy Center	(9)		P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	S
Garden Supply/Plant Nursery	(13)		S
General Personal Service	(14)	(6)	P
General Retail Store	(15)		P
Hair Salon and/or Manicurist	(16)		P
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Massage Therapist	(19)		P
Private Museum or Art Gallery	(20)		S
Permanent Cosmetics	(23)	(7)	A
Pet Shop	(24)		P
Temporary Real Estate Sales Office	(25)		P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		S
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)	(29)		S
Art, Photography, or Music Studio	(31)		P
Tailor, Clothing, and/or Apparel Shop	(32)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		S
Shoe and Boot Repair and Sales	(16)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Full Service Car Wash and Auto Detail	(5)	(4)	S
Non-Commercial Parking Lot	(9)		S
Service Station	(11)	(8)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of ~~(~~Sand, Gravel, Oil and/or Other Materials~~)~~	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna~~,~~ as an Accessory	(2)	(1)	P
Antenna~~,~~ for an Amateur Radio	(4)	(3)	A

LEGEND:	
	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

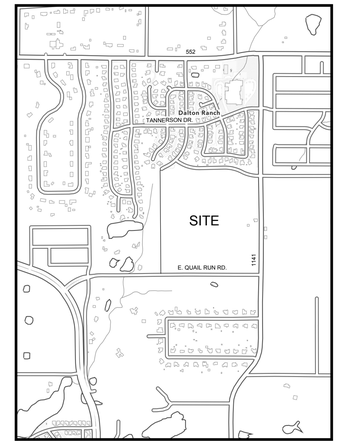
PERMITTED LAND USES IN AN NEIGHBORHOOD SERVICES (NS) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	NEIGHBORHOOD SERVICES (NS) DISTRICT
Antenna Dish	(5)	(4)	A
Utilities (*Non-Municipally Owned or Controlled*), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S



CALLED 121.16 ACRES
MARIAH BAY DEVELOPMENT, INC.
VOLUME 2006, PAGE 181
D.R.R.C.T.

0 60 120 240
Scale: 1"=120'



LOCATION MAP
N.T.S.

CALLED 38.320 ACRES
HOLMC, INC.
VOLUME 1805, PAGE 296
D.R.R.C.T.

N 00°15'59" W 538.84'

NORTH COUNTRY LANE
(ASPHALT SURFACE)

THIRD TRACT
G.C. ROCHELL, JR.
VOLUME 38, PAGE 377
D.R.R.C.T.

TRACT II
46.888 ACRES

S 01°07'03" E 572.38'
(CALLED 80' R.O.W.)
N 01°07'03" W 813.95'

F.M. 1141

CITY OF ROCKWALL

76.068 NET ACRES
ROCKWALL I.S.D.
76.577 ACRES
VOLUME 2756, PAGE 258
D.R.R.C.T.
EXISTING ZONING: AG
PROPOSED ZONING: NEIGHBORHOOD SERVICES

S 89°06'54" W
234.56'

WILLIAM A. NOAH ET UX
VOLUME 690, PAGE 188
D.R.R.C.T.

S 00°45'19" E
235.00'

N 89°06'54" E
235.47'

S 00°58'41" E 235.00'

FOURTH TRACT
G.C. ROCHELL, JR.
VOLUME 38, PAGE 377
D.R.R.C.T.

CITY OF ROCKWALL

DR-HORTON, TEXAS, LTD.
VOLUME 2329, PAGE 27
D.R.R.C.T.

DOYL C. TULLY ET UX
VOLUME 951, PAGE 61
D.R.R.C.T.

N 00°01'51" E 1207.83'

S 00°28'12" W 812.33'

N 00°28'12" E 835.21'

MICHAEL R. NALLEY ET UX
VOLUME 1024, PAGE 324
D.R.R.C.T.

POINT OF BEGINNING

(ASPHALT SURFACE)

S 89°51'24" W 476.11'

QUAIL RUN ROAD

N 89°49'43" W 1435.69'

N 89°44'57" W 484.47'

CRAIG W. McCALLUM ET UX
VOLUME 2233, PAGE 246
D.R.R.C.T.

LONNIE L. GIDEON, TRUSTEE
VOLUME 307, PAGE 259
D.R.R.C.T.

A. & WILLIAM J. FLANNERY, III
VOLUME 1124, PAGE 65
D.R.R.C.T.

FIRST SECTION
SADDLEBROOK ESTATES
CABINET A, SLIDE 307
P.R.R.C.T.

LOT 9

LEGAL DESCRIPTION

BEING A TRACT OF LAND SITUATED IN THE JOHN M. GASS SURVEY, ABSTRACT NO. 88, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THE SAME TRACTS OF LAND DESCRIBED AS FIRST AND SECOND TRACT IN A DEED TO G.C. ROCHELL, JR. OF RECORD IN VOLUME 38, PAGE 377, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR CORNER NEAR THE CENTER OF QUAIL RUN ROAD (ASPHALT SURFACE) AT THE SOUTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO MICHAEL R. NALLEY ET UX OF RECORD IN VOLUME 1024, PAGE 324, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE NORTH 00° 01' 51" EAST, ALONG THE EAST LINE OF SAID NALLEY TRACT AT A DISTANCE OF 330.80 FEET PASSING A 1/2" IRON ROD FOUND FOR CORNER AT THE NORTHEAST CORNER THEREOF AND CONTINUING ALONG THE EAST LINE OF A TRACT OF LAND DESCRIBED IN A DEED TO DOYL C. TULLEY ET UX OF RECORD IN VOLUME 951, PAGE 61, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND A TRACT OF LAND DESCRIBED IN A DEED TO DR-HORTON, TEXAS, LTD. OF RECORD IN VOLUME 2329, PAGE 27, DEED RECORDS, ROCKWALL COUNTY, TEXAS, RESPECTIVELY FOR A TOTAL DISTANCE OF 1207.83 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AT THE SOUTHEAST CORNER OF A CALLED 38.320 ACRE TRACT OF LAND DESCRIBED IN A DEED TO HOLM, INC. OF RECORD IN VOLUME 1805, PAGE 296, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE NORTH 00° 15' 59" WEST, ALONG THE MOST SOUTHERN EAST LINE OF SAID 38.320 ACRE TRACT A DISTANCE OF 538.84 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AT THE BASE OF AN OLD WOOD FENCE POST AT THE SOUTHWEST CORNER OF A CALLED 77.018 ACRE TRACT OF LAND DESCRIBED IN A DEED TO THE THOMAS TSCHOEPE, BISHOP OF THE ROMAN CATHOLIC DIOCESE OF DALLAS OF RECORD IN VOLUME 115, PAGE 438, DEED RECORDS, ROCKWALL COUNTY, TEXAS, FROM WHICH A 1/2" IRON ROD FOUND FOR REFERENCE BEARS SOUTH 58° 00' 00" WEST, A DISTANCE OF 3.00 FEET;

THENCE NORTH 88° 25' 52" EAST, ALONG THE SOUTH LINE OF SAID 77.018 ACRE TRACT A DISTANCE OF 730.90 TO A POINT AT THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 18°26'48", A RADIUS OF 632.50 FEET, A CHORD DISTANCE 202.76 FEET AND A CHORD BEARING OF SOUTH 82°20'48" EAST;

THENCE ALONG SAID CURVE TO THE LEFT AN ARC LENGTH OF 203.64 FEET TO A POINT FOR CORNER;

THENCE NORTH 88°25'52" EAST A DISTANCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTH COUNTRY LANE A DISTANCE OF 410.02 FEET TO A POINT AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 28°58'41", A RADIUS OF 567.50 FEET, A CHORD DISTANCE OF 283.97 FEET AND A CHORD BEARING OF S 77°04'47" EAST;

THENCE ALONG SAID CURVE TO THE LEFT ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTH COUNTRY LANE AN ARC LENGTH OF 287.02 FEET TO A POINT FOR CORNER AT THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 26° 57'36", A RADIUS OF 632.50 FEET, A CHORD DISTANCE OF 294.88 FEET AND A CHORD BEARING OF SOUTH 76°04'13" EAST;

THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY OF NORTH COUNTRY LANE AN ARC LENGTH OF 297.62 FEET TO A POINT FOR CORNER IN THE WESTERLY RIGHT-OF-WAY LINE OF F.M. 1141:

THENCE SOUTH 01° 07' 03" EAST, CONTINUING ALONG THE WEST RIGHT-OF-WAY LINE OF SAID F.M. 1141 A DISTANCE OF 572.38 FEET TO A 1/2" IRON ROD SET FOR CORNER AT THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO WILLIAM A. NOAH ET UX OF RECORD IN VOLUME 690, PAGE 188, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 89° 06' 54" WEST, ALONG THE NORTH LINE OF SAID NOAH TRACT A DISTANCE OF 234.56 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AT THE NORTHWEST CORNER THEREOF;

THENCE SOUTH 00° 45' 19" EAST, ALONG THE WEST LINE OF SAID NOAH TRACT A DISTANCE OF 235.00 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AT THE SOUTHWEST CORNER THEREOF;

THENCE NORTH 89° 06' 54" EAST, ALONG THE SOUTH LINE OF SAID NOAH TRACT A DISTANCE OF 235.47 FEET TO A 1/2" IRON ROD FOUND FOR CORNER AT THE SOUTHEAST CORNER THEREOF AND BEING IN THE WEST RIGHT-OF-WAY LINE OF SAID F.M. 1141;

THENCE SOUTH 00° 28' 12" WEST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID F.M. 1141 A DISTANCE OF 812.33 FEET TO A "PK" NAIL SET FOR CORNER NEAR THE CENTER OF QUAIL RUN ROAD (ASPHALT SURFACE) AT THE NORTHEAST CORNER OF FIRST SECTION SADDLEBROOK ESTATES, AN ADDITION TO ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET A, SLIDE 307, PLAT RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE NORTH 89° 49' 43" WEST, ALONG THE NORTH LINE OF SAID SADDLEBROOK ESTATES A DISTANCE OF 1435.69 FEET TO A 3/8" IRON ROD FOUND FOR CORNER AT THE NORTHWEST CORNER THEREOF AND BEING THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO SHEILA FLANNERY AND WILLIAM J. FLANNERY III OF RECORD IN VOLUME 1124, PAGE 65, DEED RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 89° 51' 24" WEST, ALONG THE NORTH LINE OF SAID FLANNERY TRACT AND THE NORTH LINE OF A CALLED 30.00 ACRE TRACT OF LAND DESCRIBED IN A DEED TO LONNIE L. GIDEON, TRUSTEE OF RECORD IN VOLUME 307, PAGE 259, DEED RECORDS, ROCKWALL COUNTY, TEXAS, RESPECTIVELY A DISTANCE OF 476.11 FEET TO THE PLACE OF BEGINNING AND CONTAINING 76.068 ACRES OF LAND.

ROCKWALL HIGH SCHOOL NINTH GRADE CENTER
ZONING CASE XX
JOHN M. GASS SURVEY, ABSTRACT NO. 88
ROCKWALL I.S.D.
76.068 ACRES

ARCHITECT:
CORGAN ASSOCIATES, INC.
401 NORTH HOUSTON STREET
DALLAS, TEXAS 75202
(214) 214-757-1796
CONTACT: BEVERLY FORNOF

OWNER:
ROCKWALL ISD
801 EAST WASHINGTON ST,
ROCKWALL TEXAS, 75087
(469) 698-7031
CONTACT: WILLIAM SALEE

ENGINEER:
GLENN ENGINEERING CORP.
FIRM REG. NO. F-303
105 DECKER COURT, SUITE 910
IRVING, TEXAS 75062
TBPE FIRM NO. F-303
(972) 989-2174 CELL
(972) 717-5151 OFFICE
CONTACT: ROBERT HOWMAN

MARCH 2022

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A NEIGHBORHOOD SERVICES (NS) DISTRICT FOR A 76.068-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 14-01 & 14-11 OF THE J. M. GLASS SURVEY, ABSTRACT NO. 88, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD) for a change in zoning from an Agricultural (AG) District to a Neighborhood Services (NS) District for a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Neighborhood Services (NS) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Neighborhood Services (NS) District as stipulated in Section 01.01*, Use of Land and Buildings,* of Article 04*, Permissible Uses*, and Section 04.01*, General Commercial District Standards*, and Section 04.03, *Neighborhood Services* (*NS*) *District,* of Article 05*, District Development Standards,* of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

DRAFT 03.29.2022

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF MAY, 2022.

_____
Kevin Fowler, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *April 18, 2022*

2nd Reading: *May 2, 2022*

DRAFT ORDINANCE 03.29.2022

Exhibit 'A'
Legal Description

Being a tract of land situated in the JOHN M. GLASS SURVEY, ABSTRACT NO. 88, Rockwall County, Texas, and being part of the same tracts of land described as first and second tract in a deed to G.C. Rochell, Jr. of record in Volume 38, Page 377, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner near the center of Quail Run Road (asphalt surface) at the Southeast corner of a tract of land described in a deed to Michael R. Nalley et ux of record in Volume 1024, Page 324, deed Records, Rockwall County, Texas;

THENCE North 00° 01' 51" East, along the East line of said Nalley tract at a distance of 330.80 feet passing a 1/2" iron rod found for corner at the Northeast corner thereof and continuing along the East line of a tract of land described in a deed to Doyl C. Tulley et ux of record in Volume 951, Page 61, Deed Records, Rockwall County, Texas, and a tract of land described in a deed to DR-Horton, Texas, Ltd. of record in Volume 2329, Page 27, Deed Records, Rockwall County, Texas, respectively for a total distance of 1207.83 feet to a 1/2" iron rod found for corner at the Southeast corner of a called 38.320 acre tract of land described in a deed to Holm, Inc. of record in Volume 1805, Page 296, Deed Records, Rockwall County, Texas;

THENCE North 00° 15' 59" West, along the most Southern East line of said 38.320 acre tract a distance of 538.84 feet to a 1/2" iron rod found for corner at the base of an old wood fence post at the Southwest corner of a called 77.018 acre tract of land described in a deed to the Thomas Tschoepe, Bishop of the Roman Catholic Diocese of Dallas of record in Volume 115, Page 438, Deed Records, Rockwall County, Texas, from which a 1/2" iron rod found for reference bears South 58° 00' 00" West, a distance of 3.00 feet;

THENCE North 88° 25' 52" East, along the South line of said 77.018-acre tract a distance of 730.90 to a point at the beginning of a non-tangent curve to the left having a central angle of 18°26'48", a radius of 632.50 feet, a chord distance 202.76 feet and a chord bearing of South 82°20'48" East;

THENCE along said curve to the left an arc length of 203.64 feet to a point for corner;

THENCE North 88°25'52" East a distance along the Southerly right-of-way line of North Country Lane a distance of 410.02 feet to a point at the beginning of a curve to the right having a central angle of 28°58'41", a radius of 567.50 feet, a chord distance of 283.97 feet and a chord bearing of South 77°04'47" East;

THENCE along said curve to the left along the Southerly right-of-way line of North country lane an arc length of 287.02 feet to a point for corner at the beginning of a curve to the left having a central angle of 26° 57'36', a radius of 632.50 feet, a chord distance of 294.88 feet and a chord bearing of South 76°04'13" East;
THENCE along the Southerly right-of-way of North Country Lane an arc length of 297.62 feet to a point for
Corner in the Westerly right-0f-way line of F.M. 1141:

THENCE South 01° 07' 03" East, continuing along the West right-of-way line of said F.M. 1141 a distance of 572.38 feet to a 1/2" iron rod set for corner at the Northeast corner of a tract of land described in a deed to William A. Noah et ux of record in Volume 690, Page 188, Deed Records, Rockwall County, Texas;

DRAFT
08.23.22

THENCE South 89° 06' 54" West, along the North line of said Noah tract a distance of 234.56 feet to a 1/2" iron rod found for corner at the Northwest corner thereof;

THENCE South 00° 45' 19" East, along the West line of said Noah tract a distance of 235.00 feet to a 1/2" iron rod found for corner at the Southwest corner thereof;

THENCE North 89° 06' 54" East, along the South line of said Noah tract a distance of 235.47 feet to a 1/2" iron rod found for corner at the Southeast corner thereof and being in the West right-of-way line of said F.M. 1141;

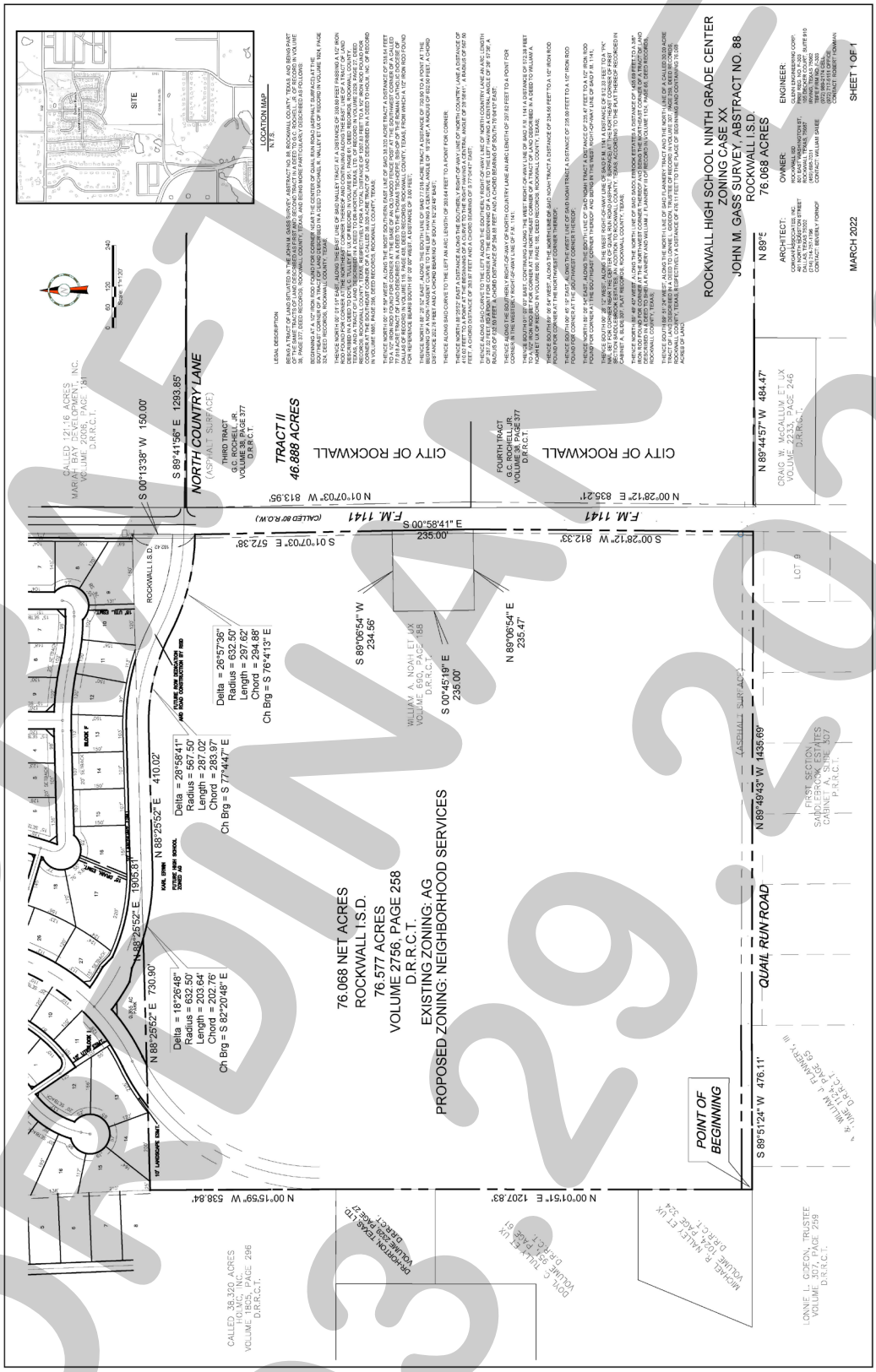
THENCE South 00° 28' 12" West, along the West right-of-way line of said F.M. 1141 a distance of 812.33 feet to a "PK" nail set for corner near the center of Quail Run Road (asphalt surface) at the Northeast corner of first section Saddlebrook Estates, an addition to Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 307, Plat Records, Rockwall County, Texas;

THENCE North 89° 49' 43" West, along the North line of said Saddlebrook Estates a distance of 1435.69 feet to a 3/8" iron rod found for corner at the Northwest corner thereof and being the Northeast corner of a tract of land described in a deed to Sheila Flannery and William J. Flannery III of record in Volume 1124, Page 65, Deed Records, Rockwall County, Texas;

THENCE South 89° 51' 24" West, along the North line of said Flannery tract and the North line of a called 30.00-acre tract of land described in a deed to Lonnie L. Gideon, trustee of record in Volume 307, Page 259, Deed Records, Rockwall County, Texas, respectively a distance of 476.11 feet to the place of beginning and containing 76.068 acres of land.

DRAFT ORDINANCE 03.29.2022

Exhibit 'B'
Zoning Exhibit



DRAFT
03-29-2022

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	SP2022-009	CASE MANAGER:	Bethany ross
PROJECT NAME:	Site Plan for Horizon Ridge Addition	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:	1200 SUMMER LEE DR	CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Kilburg of Apex Design Build for the approval of a Site Plan for a Multi-Tenant Medical Office Building on a 1.2531-acre parcel of land identified as Lot 5, Block B, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated at the northeast corner of the intersection of Ralph Hall Parkway and Summer Lee Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany ross	03/25/2022	Approved w/ Comments

03/25/2022: SP2022-009; Site Plan for a Medical Office Building
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a Medical Office Building on a 1.2531-acre tract of land identified as Lot 5, Block B, Horizon Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 9 (PD-9), for General Retail (GR) District land uses, situated at the northeast corner of the intersection of Rockwall Parkway and Summer Lee Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. April 5, 2022 is the deadline to have all comments; please provide staff revised plans before April 7, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-009) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

I.4 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.5 Site Plan:
(1) Indicate the project title within the title block. (Subsection 03.04. A, of Article 11)
(2) Indicate the perimeter dimensions of the site in feet. (Subsection 03.04. B, of Article 11)
(3) Indicate the total square footage of proposed buildings on site. (Subsection 03.04. B, of Article 11)
(4) Indicate the dimensions of all proposed buildings on site. (Subsection 03.04. B, of Article 11)
(5) Indicate distance between buildings and property lines. (Subsection 03.04. B, of Article 11)
(6) Indicate and label the widths of all fire lanes existing and proposed for the site. (Subsection 03.04. B, of Article 11)
(7) Indicate and label all fire hydrants existing and proposed for the site. (Subsection 03.04. B, of Article 11)
(8) Label all properties lines. (Subsection 03.04.B of Article 11)
(9) Indicate the street centerline for Rockwall Parkway. (Subsection 03.04. B, of Article 11)
(10) Revise parking table to reflect medical office as opposed to restaurant. The medical office requirement (1/200). (Table 5: Parking Requirement Schedule, of Article 06)
(11) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening.

(Subsection 01.05. C, of Article 05)
(12) The dumpster enclosure must include a self-latching gate and be faced with materials matching the primary structure. (Subsection 01.05. B, of Article 05)

M.6 Landscape Plan:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(2) Ensure all trees are planted far enough away from utility lines; confirm that the Engineering Standards are being met. (Subsection 05.03. E, of Article 08)
(3) Provide note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08)
(4) Crape Myrtle are not considered an accent tree and cannot be within the landscape buffer. Provide a different plant to serve as the accent tree within the landscape buffer. (Subsection 01.01. B, of Article 05)
(5) Include a berm along Summer Lee Drive and Rockwall Parkway. (Subsection 05.01. B, of Article 08)
(6) Provide note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08)
(7) Provide one canopy and one accent tree for every 50 linear feet of frontage along Summer Lee Drive and Rockwall Parkway. The landscape plan is currently deficient four (4) Canopy trees along Summer Lee Drive and five (5) canopy trees along Rockwall Parkway.
(8) Provide updated headlight screening with berm. (Subsection 05.02, of Article 08)

M.7 Treescape Plan:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.

M.8 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(2) Included with the photometric plan must be lighting cutsheets for the light fixtures. (Subsection 3.04 of Article 07)
(3) Indicate the mounting height for all proposed light fixtures. No light pole, base or combination thereof shall exceed 30 feet. (Subsection 03.03. D, of Article 07)
(4) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle (Subsection 03.03. C, of Article 07). The current light intensity measured at the property line along Summer Lee Drive exceeds this maximum light intensity. If you are requesting an exception for this, provide a letter outlining the requested exception and the corresponding two (2) compensatory measures. See M.11 below for more information.

M.9 Building Elevations:
(1) Revise the elevations to provide a sheet with continuous building facades (i.e. do not cut the façade over multiple sections). Re-evaluate building elevations and orientation. Specify each of the four façades as either North, South, East, or West. See markup attached for more information.
(2) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(3) Indicate the surface area of each façade and the percentage and square footage of each material used on each façade. (Subsection 04.01 of Article 5)
(4) Specify building materials on each façade. (Subsection 04.01, of Article 05)
(5) Provide all specifications and descriptions of each proposed building materials in compliance with UDC standards and please provide a physical material sample board that meets the City's submittal requirements.(Subsection 04.01 of Article 5)
(6) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 5)

I.10 Based on the materials submitted staff has identified the following exceptions for this project:

(1) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades (i.e. the Northeast and Northwest building elevations) do not meet these standards.
(2) Primary Materials. According to Subsection 08.B, General Retail District Standards, of Planned Development 9 (PD-09), exterior walls should consist of 90% masonry materials.
(3) Landscaping. According to Subsection 05.01, of Article 08, all landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures. (Subsection 09.02, of Article 11). Compensatory measures to consider:

(1) Higher caliper trees.
(2) Increased building articulation
(3) Increased architectural elements

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on April 5, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 29, 2022 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:
(1) Planning & Zoning Work Session meeting will be held on March 29, 2022.
(2) Planning & Zoning meeting/public hearing meeting will be held on April 12, 2022.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Needs Review

03/23/2022: - Driveway radius must be 25'.
- Parking turnaround must be 15'x24' minimum.
- Minimum easement is 20' wide.
- Add note to landscape plan that all ROW to be sodded before project closeout.
- There is a proposed water line along Summer Lee, make sure the trees are 5' away from the line.
- Show the proposed water and sewer lines on the landscape plans to verify the tree spacing.
-

The following items are informational for the engineering design process.
General Items:
I - Must meet City Standards of Design and Construction
I - 4% Engineering Inspection Fees
I - Impact Fees (Water, Wastewater & Roadway)
I - Minimum easement width is 20'. No structures allowed in easements.
I - Retaining walls 3' and over must be engineered.
I - All retaining walls (18" and taller) must be rock or stone face. No smooth concrete walls.
I- No signage in easements or right-of-way
M - Must loop min 8" water line through the site
I - If any portion of Summer Lee and/or Rockwall Parkway is cut for utility installation, full panel replacement is required

Drainage Items:
M - Dumpster must drain to an oil/water separator before draining to the storm lines.
M - Detention is required. No vertical wall allowed in detention
M - Rockwall Prkwy Road assessment = $92.52/lf

M - Rockwall 12" Wtr pro-rata = $16/lf

Roadway Paving Items:
M - Parking to be 20'x9'. Need to label all parking and drive aisle dimensions
I - Drive isles to be 24' wide.
- Fire Lane radii must be 20' minimum. If the building is 30' or taller, the radii are increased to 30'R.
M - Driveway spacing is 200' from the intersection and 100' after.
M - Install 5' sidewalk along Rockwall Pkwy and Summer Lee. To be 2-ft inside ROW line.
M - Will require driveway spacing variance for driveway along Summer Lee

Landscaping:
I - No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
I - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
-Show the correct proposed and existing water and sanitary sewer on landscape plan
- See markups on landscape plan

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Needs Review

03/22/2022: #1 FDC shall be facing and visible from the fire lane.
#2 FDC must be within 100-feet of a fire hydrant.
#3 The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access to the connection.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved w/ Comments

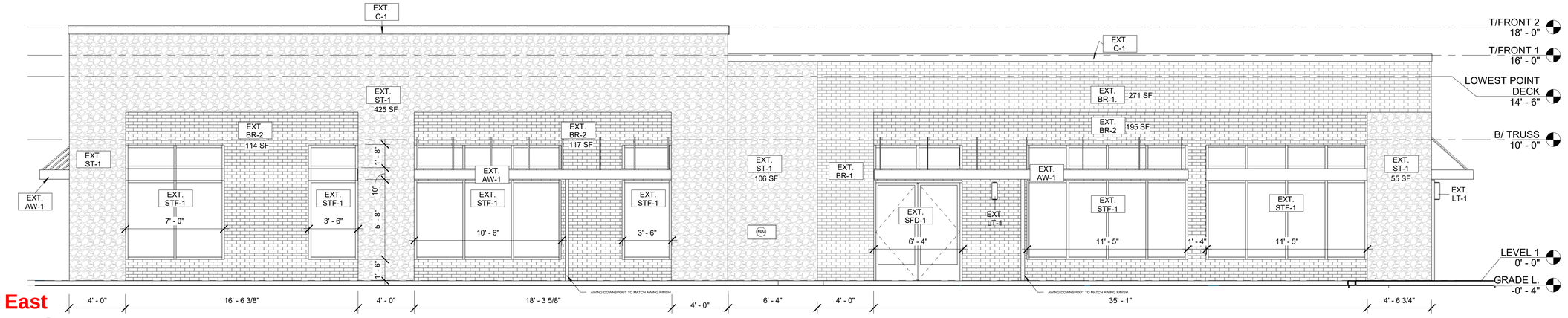
03/21/2022: Shell address will be *1200 Summer Lee Dr. Rockwall, TX 75032*.
If any suite numbers are needed, they will be issued at permitting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Bethany ross	03/25/2022	N/A

No Comments

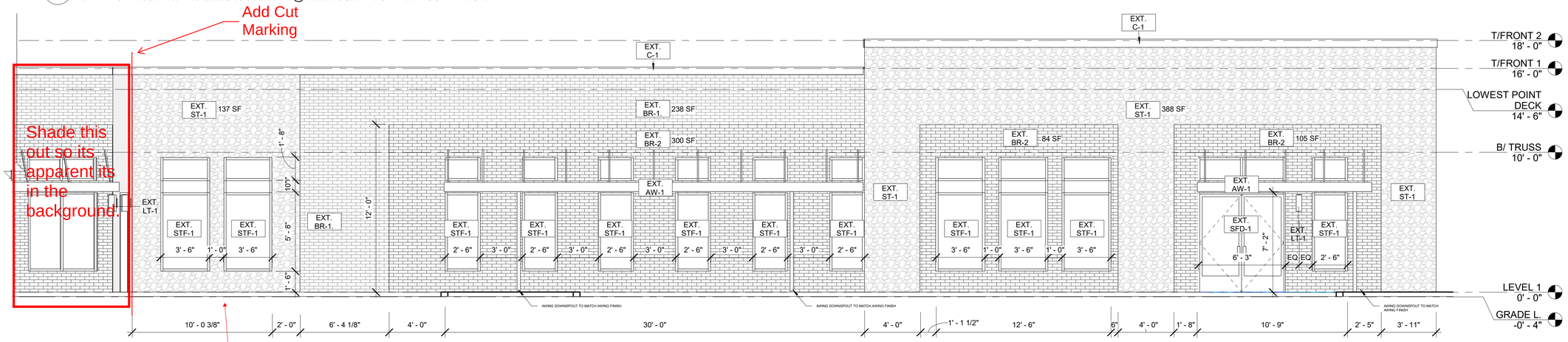
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved w/ Comments

03/21/2022: 1. Tree mitigation approved
2. Landscape plan approved; Please ensure that all trees are planted min 5' from water and sewer that is 10" or less and 10' form water and sewer that is 10" or greater.
3. There are several new varieties of Bermuda turfgrass that are more shade tolerate and drought tolerant than Tifway 419



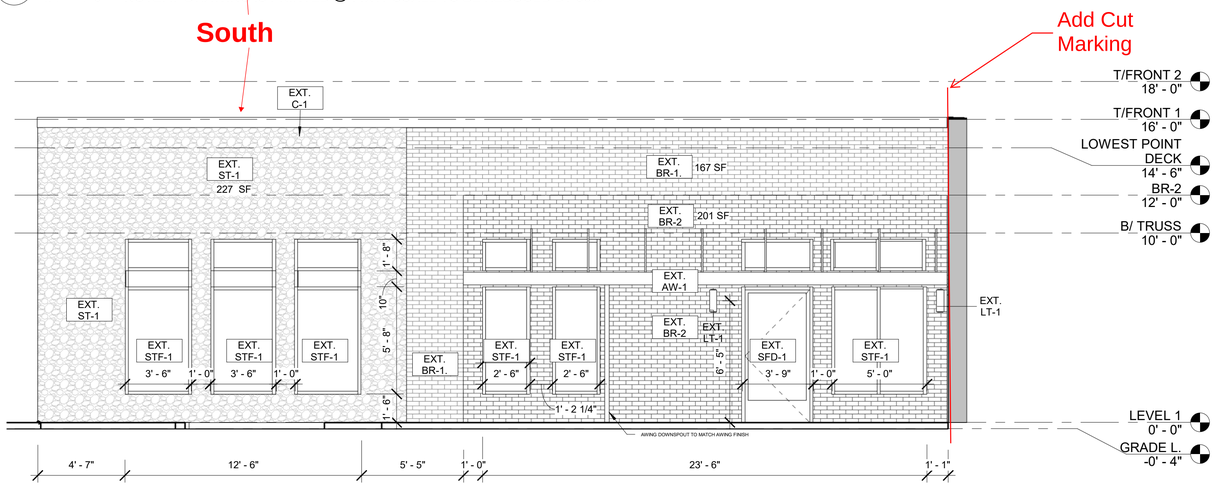
East

1 BUILDING ELEVATION - ROCKWALL PKWY (SOUTHEAST) TOTAL 1,226 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 545 SF + EXT.BR-1: 271 SF + EXT.BR-2: 426 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**



2 BUILDING ELEVATION - SUMMER LEE DR (SOUTHWEST) 1 TOTAL 1,250 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 525 SF + EXT.BR-1: 238 SF + EXT.BR-2: 489 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

South



3 BUILDING ELEVATION - SUMMER LEE (SOUTHEAST) 2 TOTAL 594 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 227 SF + EXT.BR-1: 167 SF + EXT.BR-2: 201 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL MANSONRY SURFACE AREA (Square Feet)
Excluding Door and Windows

EXT.ST-1 = 2,122 SF TOTAL (34.40 %)

EXT.BR-1 = 2,137 SF TOTAL (34.60 %)

EXT.BR.2 = 1,917 SF TOTAL (31.00 %)

MANSONRY = 6,176 SF TOTAL

apex DESIGN › BUILD
9550 W.Higgins Rd. 170
Rosemont, IL 60018

Dr. Capps, Dr. Hodges & Dr. Morgan
CHM Real Estate, LLC

Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

LOT 5, BLOCK B HORIZON RIDGE ADDITION

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No.	Description	Date

EXTERIOR ELEVATIONS

Project number 10422

A1-4.0

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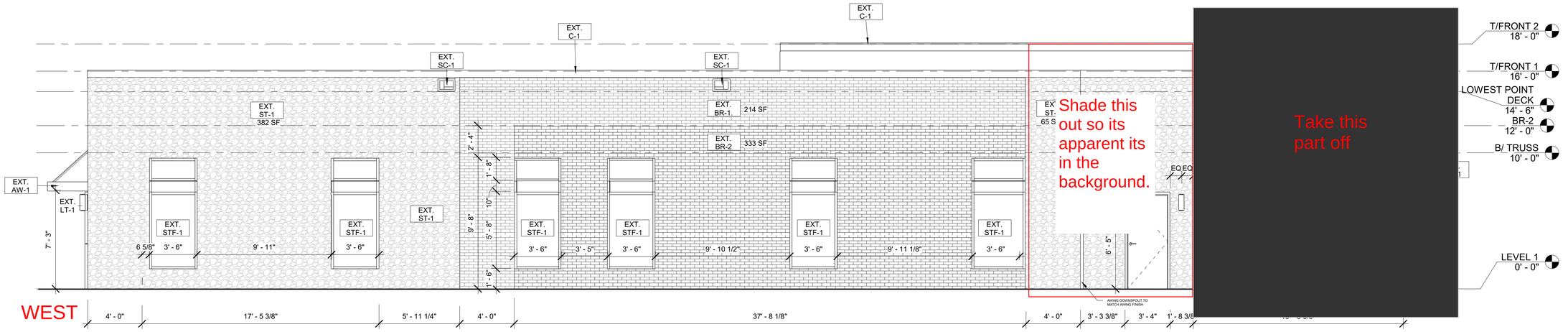
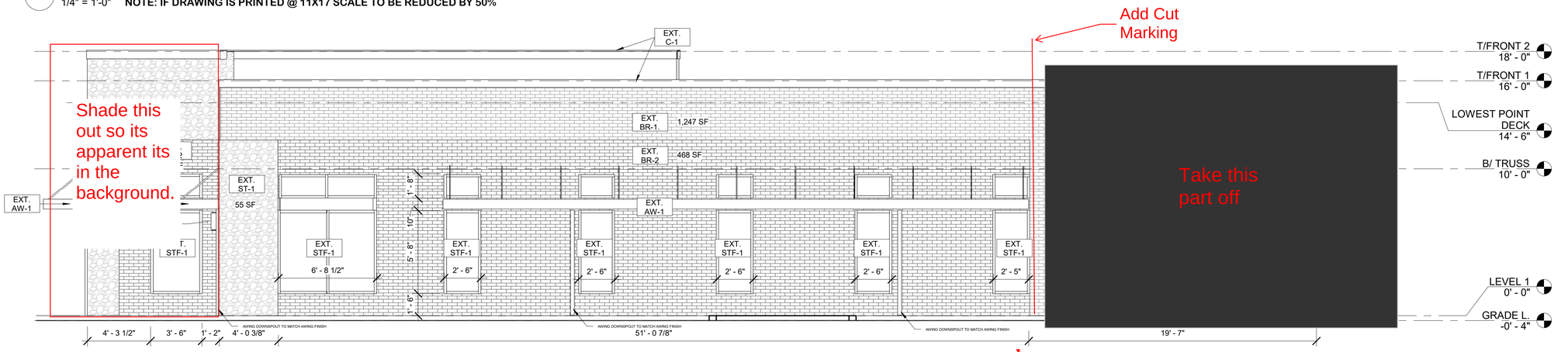
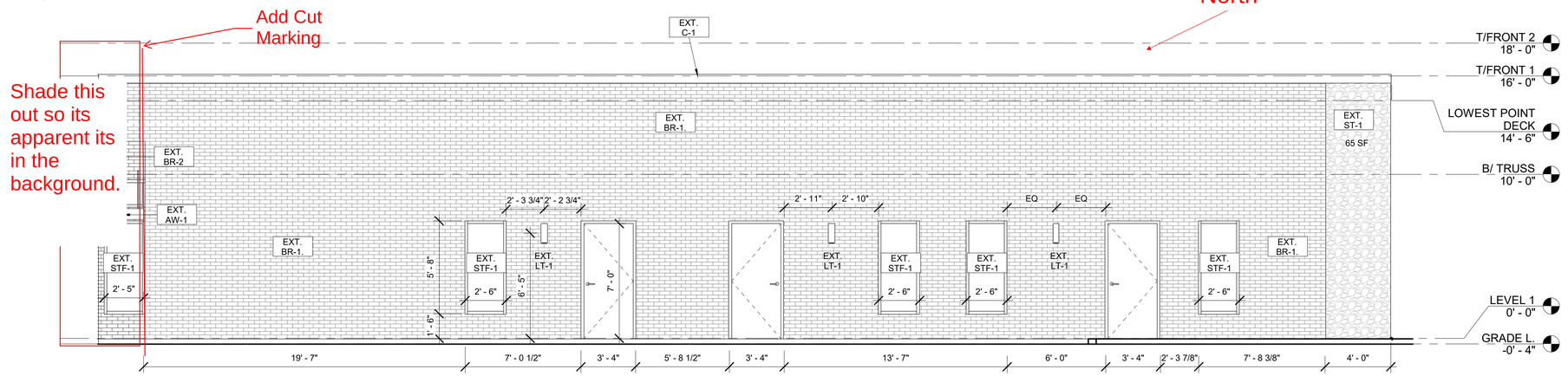


1 BUILDING ELEVATION - NORTHWEST TOTAL 1,106 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 560 SF + EXT.BR-1: 214 SF + EXT.BR-2: 333 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**



2 BUILDING ELEVATION - NORTHEAST 1 TOTAL 1,910 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 141 SF + EXT.BR-1: 1,247 SF + EXT.BR-2: 522 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**



3 BUILDING ELEVATION - NORTHEAST 2 TOTAL 65 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 65 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL MANSONRY SURFACE AREA (Square Feet)
Excluding Door and Windows

EXT.ST-1 = 2,122 SF TOTAL (34.40 %)

EXT.BR-1 = 2,137 SF TOTAL (34.60 %)

EXT.BR.2 = 1,917 SF TOTAL (31.00 %)

MANSONRY = 6,176 SF TOTAL

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Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

LOT 5, BLOCK B HORIZON RIDGE ADDITION

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EXTERIOR ELEVATIONS

Project number 10422

A1-4.1

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BUILDING ELEVATION - SUMMER LEE DR (SOUTHWEST)

South



BUILDING ELEVATION - ROCKWALL PKWY (SOUTHEAST)

East

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EXTERIOR ELEVATIONS RENDERINGS

Project number 10422

A1-4.2

Scale

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BUILDING ELEVATION - NORTHEAST

NORTH



BUILDING ELEVATION - NORTHWEST

WEST

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Rosemont, IL 60018

Dr. Capps, Dr. Hodges & Dr. Morgan
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Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

LOT 5, BLOCK B HORIZON RIDGE ADDITION

CUSTOMER SIGN-OFF OF LAYOUT AND DESIGN

- ☐ APPROVED AS SHOWN
- ☐ APPROVED WITH CHANGES

CUSTOMER NAME: _____

DATE: _____

SEAL:

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No.	Description	Date

EXTERIOR ELEVATIONS RENDERINGS

Project number	10422
Date	03.01.2022
Drawn by	Author
Checked by	Checker
	A1-4.3
Scale	

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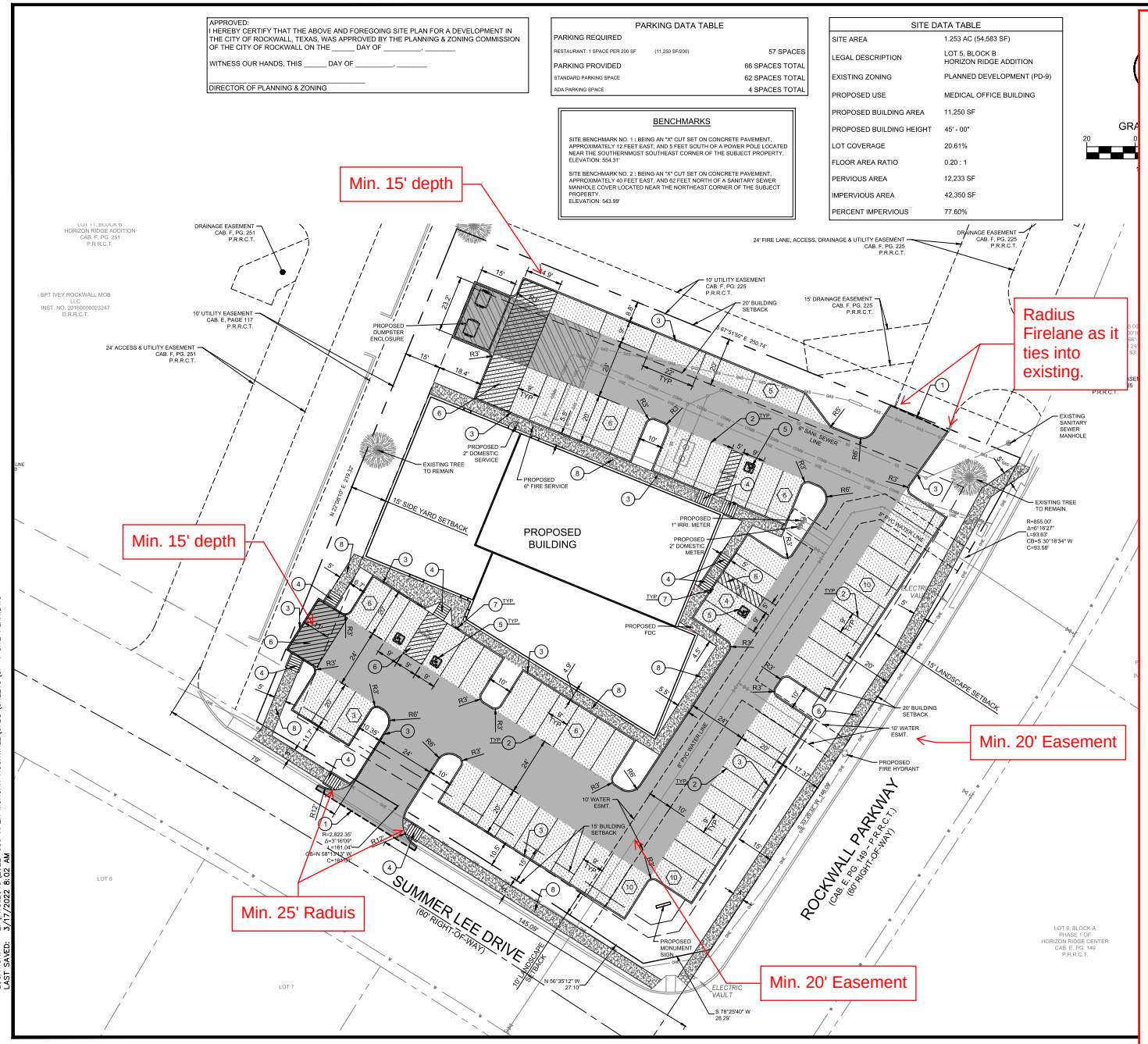

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-Show the correct proposed and existing water and sanitary sewer on landscape plan
- See markups on landscape plan

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0727
WWW.CLAYMOORE.COM

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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
DREW DONOSKY
Engineer, P.E. No. 125651 Date 3/17/2022

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. &
ROCKWALL PKWY.
ROCKWALL, TX 75032

No.	DATE	REVISION	BY

SITE PLAN

DESIGN: MKT
DRAWN: MKT
CHECKED: ASO
DATE: 3/17/2022
SHEET
SP-1
File No. 2020-021

PLOTTED BY: MARK HOWARD
PLOT DATE: 3/17/2022 9:11 AM
LOCATION: Z:\PROJECTS\2022-056 APEX MORGAN ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 3/17/2022 8:02 AM

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	11	ULMUS CRASSIFOLIA CEDAR ELM USE FOR MITIGATION	4" CAL	10`-12` HT
	13	QUERCUS VIRGINIANA LIVE OAK USE FOR MITIGATION	4" CAL	10`-12` HT

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	9	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS, 2" OVERALL	2" CAL MIN	8` -10` HT
	9	LAGERSTROEMIA INDICA CRAPE MYRTLE 3-5 STEMS, UPRIGHT	2" CAL MIN	8` -10` HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	120	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL
	27	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
	12,135 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD
	70 SF	2"-4" TEXAS COBBLE, 4"-6" DEEP, INSTALL OVER PERMEABLE WEED BARRIER FABRIC	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IH HEIGHT AS DETERMINED BY THE CITY.

Add: All right-of-ways to be sodded prior to City acceptance and CO

GE

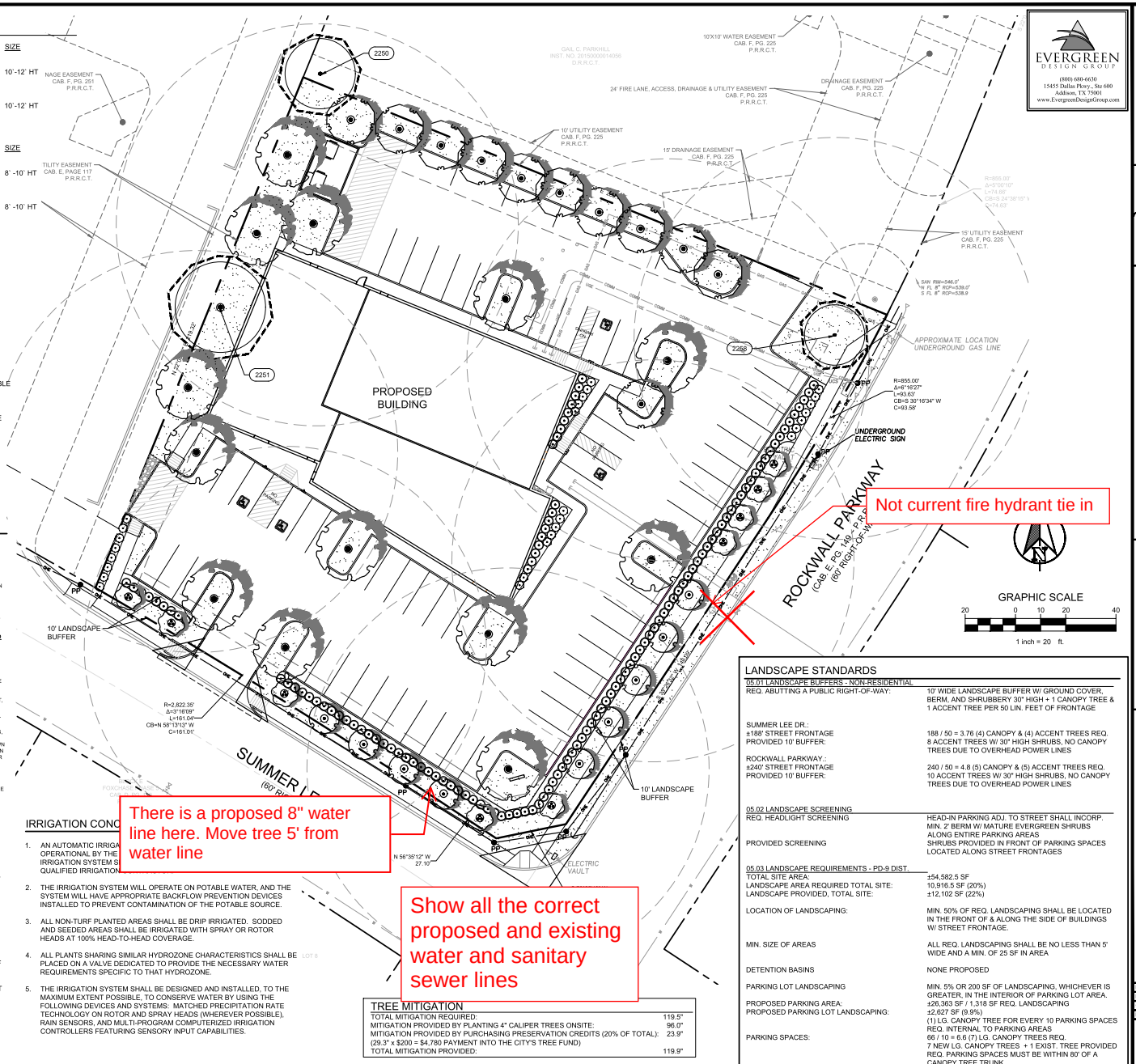
1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER, PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



IRRIGATION CONC

1. AN AUTOMATIC IRRIGA OPERATIONAL BY THE IRRIGATION SYSTEM S QUALIFIED IRRIGATION
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

TREE MITIGATION

TOTAL MITIGATION REQUIRED:	119.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES ONSITE:	96.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (29.3" x $200 = $4,780 PAYMENT INTO THE CITY'S TREE FUND)	23.9"
TOTAL MITIGATION PROVIDED:	119.9"

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
SUMMER LEE DR.:	
±188' STREET FRONTAGE	188 / 50 = 3.76 (4) CANOPY & (4) ACCENT TREES REQ.
PROVIDED 10' BUFFER:	8 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES
ROCKWALL PARKWAY.:	
±240' STREET FRONTAGE	240 / 50 = 4.8 (5) CANOPY & (5) ACCENT TREES REQ.
PROVIDED 10' BUFFER:	10 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES

05.02 LANDSCAPE SCREENING

REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES

05.03 LANDSCAPE REQUIREMENTS - PD-9 DIST.

TOTAL SITE AREA:	±54,582.5 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	10,916.5 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±12,102 SF (22%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±26,363 SF / 1,318 SF REQ. LANDSCAPING
PROPOSED PARKING LOT LANDSCAPING:	±2,627 SF (9.9%)
PARKING SPACES:	(1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES REQ. INTERNAL TO PARKING AREAS 66 / 10 = 6.6 (7) LG. CANOPY TREES REQ. 7 NEW LG. CANOPY TREES + 1 EXIST. TREE PROVIDED REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
NORTH TEXAS OFFICE: 214.217.9740
2405 MAYFIELD RD. SUITE 220
GRAPEVINE, TX 76051
WWW.CLAYMOOREENG.COM

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
2420
STATE OF TEXAS

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. & ROCKWALL PKWY.
ROCKWALL, TX 75032

No.	DATE	REVISION	BY

LANDSCAPE PLANTING PLAN

DESIGN: MKT
DRAWN: MKT
CHECKED: ASD
DATE: 03/16/2022

SHEET
LP-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON PM
PLOT DATE: 3/16/2022 8:24 AM
LOCATION: C:\EVERGREEN DESIGN GROUP\DOCUMENTS\DBLA_PROJECTS\2022\EDG\MORGAN - ROCKWALL, TX\MORGAN_ROCKWALL_LP.DWG
LAST SAVED: 3/16/2022 6:23 PM

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northwest Corner of Summer Lee Drive & Rockwall Parkway, Rockwall, TX 75032				
SUBDIVISION	Horizon Ridge Addition	LOT	5	BLOCK	B
GENERAL LOCATION	Northwest Corner of Summer Lee Drive & Rockwall Parkway				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-9	CURRENT USE	Undeveloped		
PROPOSED ZONING	PD-9	PROPOSED USE	Commercial / Retail		
ACREAGE	1.253 acres	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER		☒ APPLICANT	Apex Design Build
CONTACT PERSON		CONTACT PERSON	Jeff Kilburg
ADDRESS		ADDRESS	9550 W Higgins Rd
			Suite 170
CITY, STATE & ZIP		CITY, STATE & ZIP	Rosemont, IL 60018
PHONE		PHONE	847-288-0100
E-MAIL		E-MAIL	raquellek@apexdesignbuild.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad J Capps [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $275.06 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 8th *DAY OF* March, 2022 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

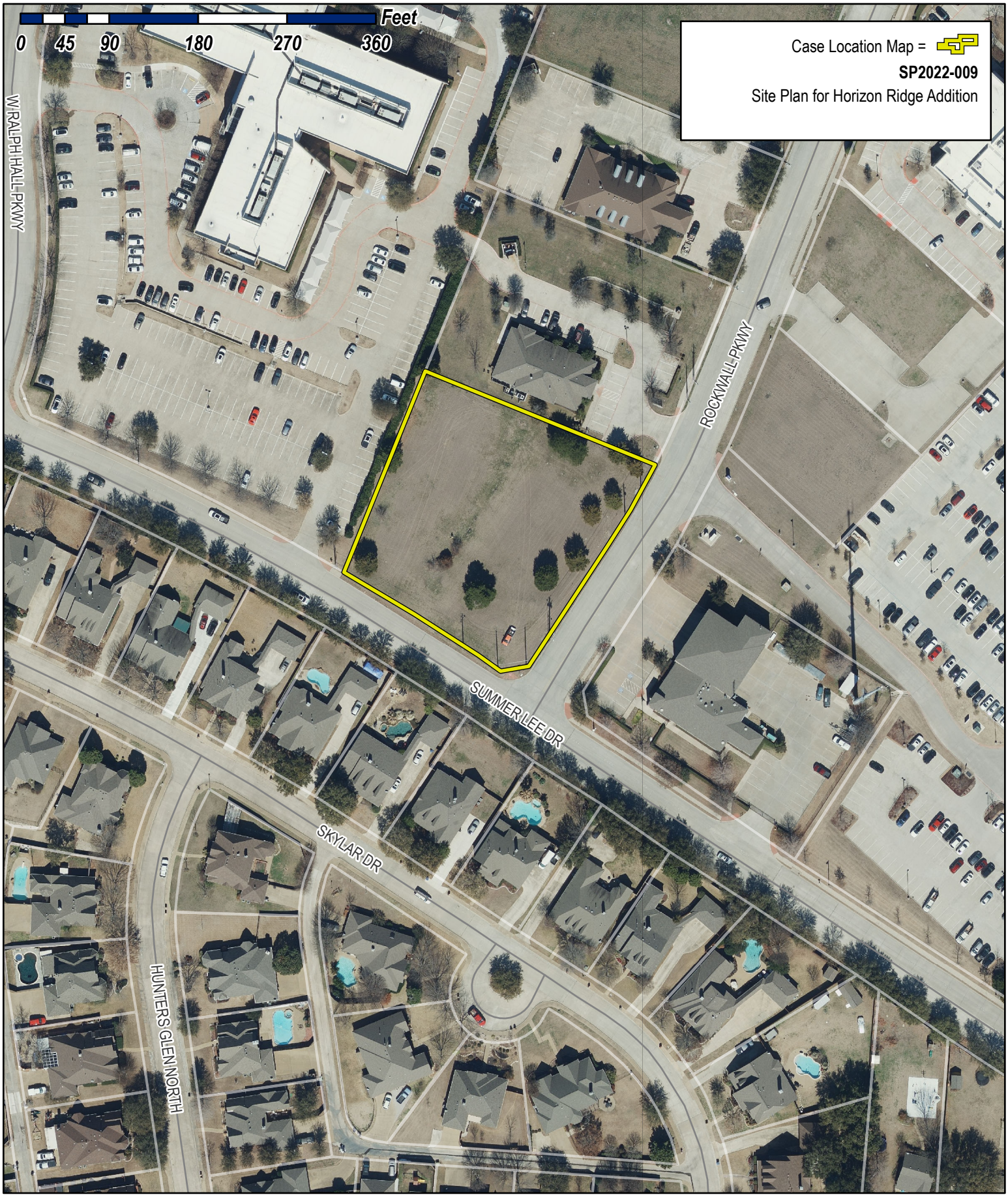
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 *DAY OF* March, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DUSTIN BISHOP
Notary Public, State of Texas
Comm. Expires 08-14-2022
Notary ID 131682525

MY COMMISSION EXPIRES 08-14-2022



Case Location Map =

SP2022-009

Site Plan for Horizon Ridge Addition

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____

WITNESS OUR HANDS, THIS _____ DAY OF _____, _____

_____
DIRECTOR OF PLANNING & ZONING

PARKING DATA TABLE

PARKING REQUIRED		
RESTAURANT: 1 SPACE PER 200 SF	(11,250 SF/200)	57 SPACES
PARKING PROVIDED		66 SPACES TOTAL
STANDARD PARKING SPACE		62 SPACES TOTAL
ADA PARKING SPACE		4 SPACES TOTAL

BENCHMARKS

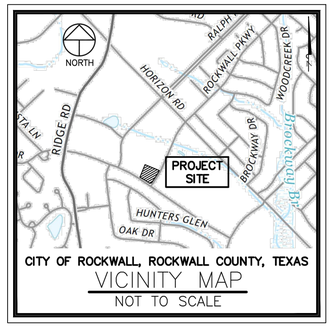
SITE BENCHMARK NO. 1 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 12 FEET EAST, AND 5 FEET SOUTH OF A POWER POLE LOCATED NEAR THE SOUTHERNMOST SOUTHEAST CORNER OF THE SUBJECT PROPERTY.
ELEVATION: 554.31'

SITE BENCHMARK NO. 2 : BEING AN "X" CUT SET ON CONCRETE PAVEMENT, APPROXIMATELY 40 FEET EAST, AND 62 FEET NORTH OF A SANITARY SEWER MANHOLE COVER LOCATED NEAR THE NORTHEAST CORNER OF THE SUBJECT PROPERTY.
ELEVATION: 543.99'

SITE DATA TABLE

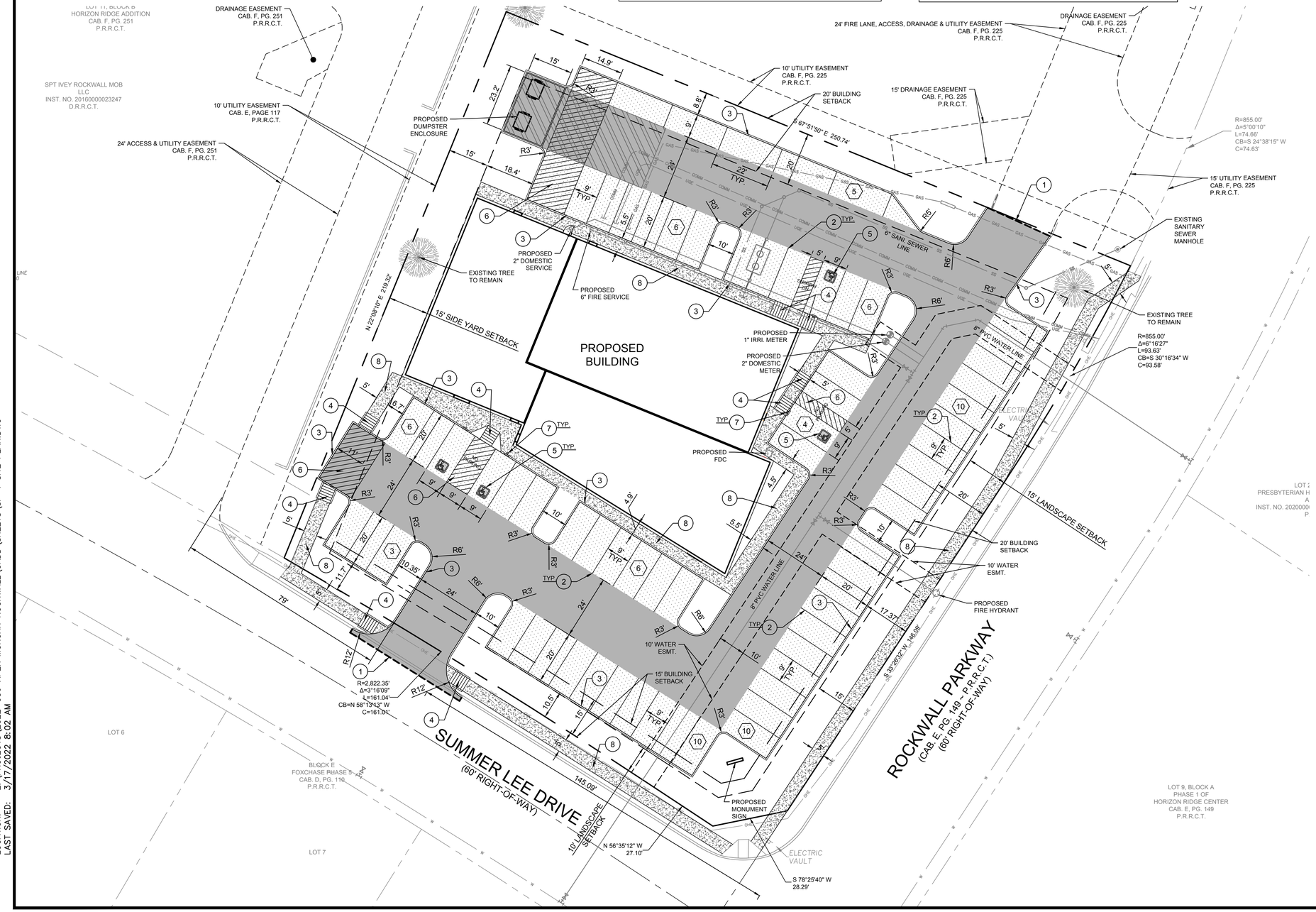
SITE AREA	1.253 AC (54,583 SF)
LEGAL DESCRIPTION	LOT 5, BLOCK B HORIZON RIDGE ADDITION
EXISTING ZONING	PLANNED DEVELOPMENT (PD-9)
PROPOSED USE	MEDICAL OFFICE BUILDING
PROPOSED BUILDING AREA	11,250 SF
PROPOSED BUILDING HEIGHT	45' - 00"
LOT COVERAGE	20.61%
FLOOR AREA RATIO	0.20 : 1
PERVIOUS AREA	12,233 SF
IMPERVIOUS AREA	42,350 SF
PERCENT IMPERVIOUS	77.60%

GRAPHIC SCALE
20 0 10 20 40
1 inch = 20 ft.



CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
VICINITY MAP
NOT TO SCALE

VICINITY MAP
N.T.S.



LEGEND

	6" HEAVY DUTY CONCRETE PAVEMENT
	5" LIGHT DUTY CONCRETE PAVEMENT
	7" DUMPSTER CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPERTY LINE
	FULL-DEPTH SAWCUT
	EASEMENT LINE
(10)	PARKING COUNT

CONSTRUCTION SCHEDULE

(1)	SAW CUT FULL DEPTH EXISTING PAVEMENT
(2)	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
(3)	CURB & GUTTER
(4)	PROPOSED PEDESTRIAN RAMP
(5)	HANDICAP SYMBOL
(6)	PAVEMENT STRIPING
(7)	HANDICAP SIGN
(8)	PROPOSED SIDEWALK

CASE # : SP2022-###

OWNER:
DR. CAPPS, DR. HODGES & DR. MORGAN
CHM REAL ESTATE, LLC
740 WILFORD WAY, HEATH, TX 75032
PHONE: 972-771-9500
EMAIL: CHADJCAPPS@GMAIL.COM

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572 CONTACT NAME: DREW DONOSKY

SURVEYOR
WINDROSE LAND SURVEYING
220 ELM STREET, SUITE #200
LEWISVILLE, TX 75057
PH: 214.217.2544 CONTACT NAME: MARK N. PEEPLES

LEGAL DESCRIPTION:
LOT 5, BLOCK B,
HORIZON RIDGE ADDITION

CITY:	STATE:
ROCKWALL	TEXAS

COUNTY	SURVEY:	ABSTRACT NO.
ROCKWALL	E. TEAL SURVEY	207

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOORE.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/17/2022

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. & ROCKWALL PKWY. ROCKWALL, TX 75032

No.	DATE	REVISION	BY

SITE PLAN

DESIGN:	MKT
DRAWN:	MKT
CHECKED:	ASD
DATE:	3/17/2022

SHEET
SP-1

File No. 2020-021

PLOTTED BY: MARK TORRES
PLOT DATE: 3/17/2022 9:11 AM
LOCATION: Z:\PROJECTS\2022-056 APEX MORGAN ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 3/17/2022 8:02 AM

EXTERIOR FINISH SCHEDULE

1. EQUAL PRODUCTS ARE ACCPETABLE AFTER IT HAS BEEN SUBMITTED & APPROVED BY ARCHITECT.

2. ALL PRODUCTS TO BE INSTALLED PER MANUFACTURER REQUIREMENTS

TAG	MATERIAL	MFG.	SPECIFICATION / DESCRIPTION	LOCATION	REMARKS
EXT. AW-1	AWNING	GENERAL AWNING	PROFILE: IMPERIAL MARQUEE AWNING W/ 8" FLAT PANELS, 3" DEEP W/ BLACK FINISH AND BLACK GUTTER DOWNSPOUT KIT	PER ELEVATIONS	
EXT. BR-1.	BRICK	GLEN-GERY	PROFILE:MODULAR; COLOR: SILVER CITY WIRECUT; MORTAR COLOR: Portland Cement & Lime Blend	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. BR-2	BRICK	GLEN-GERY	PROFILE: MODULAR; COLOR: EBONITE SMOOTHZ; MORTAR COLOR: G-602	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. C-1	COPING	PAC-CLAD	PROFILE: PAC TITE GOLD COPING; COLOR: BLACK ALUMINUM	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. R1	TPO ROOFING	FIRESTONE	PROFILE: FIRESTONE TPO SELF-ADHERED MEMBRANE; fINISH COLOR: WHITE	AT ROOF	
EXT. SC-1	OVERFLOW SCUPPER	JOHNS MANVILLE	PROFILE: 3E-DV-06 WALL OVERFLOW WELDED SCUPPER SLEEVE; COLOR: BLACK	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. SFD-1	STORE FRONT DOOR	AMC	PROFILE: HOLLOW METAL 2"X5" RECTANGULAR; FINISH: BLACK ALUMIMUN: GLASS FINISH: SOLAR CONTROL GREY	PER ELEVATIONS	
EXT. ST-1	STONE	ARRISCRAFT	PROFILE: URBAN LEDGESTONE STEEL GREY; SHA/UL22: 2-5/16" H x 23-5/8" L x 3-5/8" (±1/4") D; COLOR MORTAR: GLEN-GERY - PORLAND CEMENT & LIME BLEND	PER ELEVATIONS	EQUAL PRODUCT IS ACCEPTABLE WITH ARCHITECT APPROVAL
EXT. STF-1	STORE FRONT	AMC	PROFILE: HOLLOW METAL 2"X5" RECTANGULAR; FINISH: BLACK ALUMIMUN: GLASS FINISH: SOLAR CONTROL GREY	PER ELEVATIONS	

EXTERIOR LIGHT FIXTURE SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	LAMP	WATTAGE	COLOR TEMPERATURE	QTY	IMAGE	REMARKS	LOCATION
EXT. LT-1	EXTERIOR SCONCE	TECH LIGHTING	DVI236277; 12" HEIGHT Summerside: Finish: Black; Size: 4.75"W x 12"H x 7.25"D: Backplate: 4.1" Sq: 16 watts: Labels: Damp Location;	LED- 2 x A19/Medium (E26)/8W/120V LED	12 W		8			EXTERIOR

SUBCONTRACTOR NOTES

A. PROVIDE WEATHER BARRIER OVER ALL EXTERIOR SHEATHING PRIOR TO THE INSTALLATION OF ANY EXTERIOR FINISH MATERIAL.
B. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND PROVIDE ALL MANUFACTURER'S ACCESSORIES TO FULLY FLASH AND COUNTER-FLASH AT ALL WINDOWS, DOORS, AND EXTERIOR PENETRATIONS.
C. PROVIDE A WEATHER TIGHT BARRIER AT ALL SURFACES.
D. COORDINATE FLASHING WITH WINDOW, DOOR, VENT, ETC. MANUFACTURER'S FOR A WEATHER TIGHT SEAL AT ALL OPENINGS.
E. TAPE FLASH AROUND ALL OPENINGS AND ON WALL JOINTS PER MANUFACTURER REQUIREMENTS.

apex DESIGN › BUILD
9550 W.Higgins Rd. 170
Rosemont, IL 60018

Dr. Capps, Dr. Hodges & Dr. Morgan
CHM Real Estate, LLC

Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

LOT 5, BLOCK B HORIZON RIDGE ADDITION

SEAL:

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No.	Description	Date
	ISSUED FOR PERMIT	XX/XX/2020

EXTERIOR SCHEDULES

Project number 10422

A1-3

Scale 12" = 1'-0"

3/17/2022 9:54:48 AM

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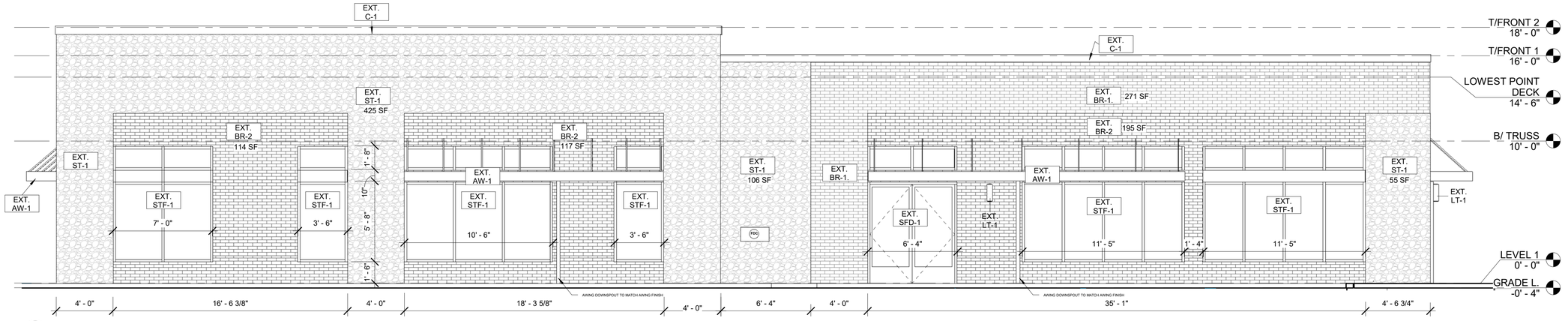
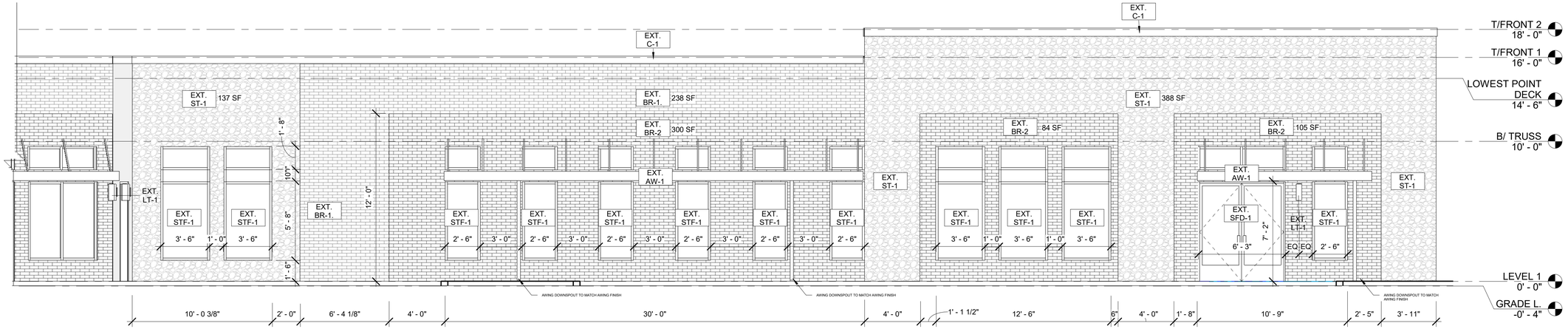
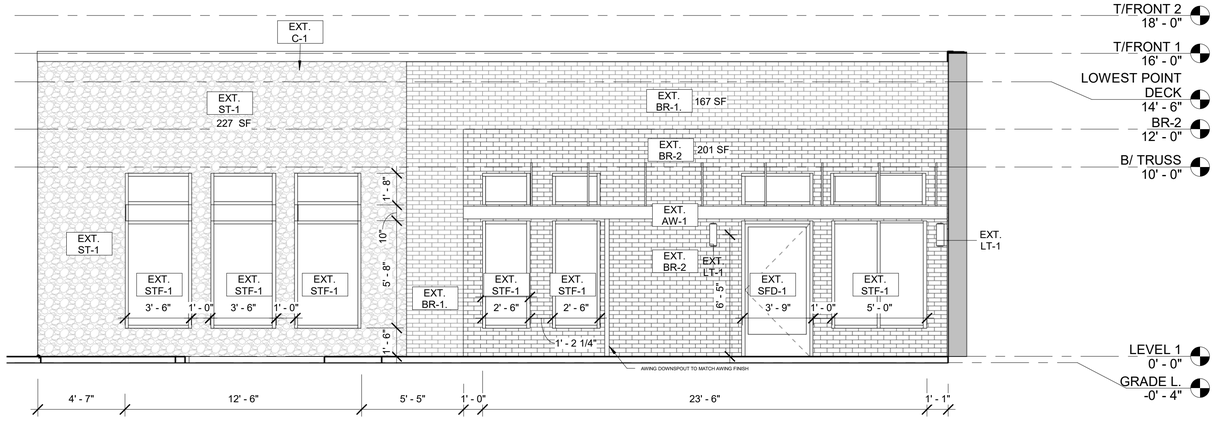


1 BUILDING ELEVATION - ROCKWALL PKWY (SOUTHEAST) TOTAL 1,226 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 545 SF + EXT.BR-1: 271 SF + EXT.BR-2: 426 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**



2 BUILDING ELEVATION - SUMMER LEE DR (SOUTHWEST) 1 TOTAL 1,250 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 525 SF + EXT.BR-1: 238 SF + EXT.BR-2: 489 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**



3 BUILDING ELEVATION - SUMMER LEE (SOUTHEAST) 2 TOTAL 594 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 227 SF + EXT.BR-1: 167 SF + EXT.BR-2: 201 SF)
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL MANSONRY SURFACE AREA (Square Feet)
Excluding Door and Windows

EXT.ST-1 = 2,122 SF TOTAL (34.40 %)

EXT.BR-1 = 2,137 SF TOTAL (34.60 %)

EXT.BR.2 = 1,917 SF TOTAL (31.00 %)

MANSONRY = 6,176 SF TOTAL

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CHM Real Estate, LLC

Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

LOT 5, BLOCK B HORIZON RIDGE ADDITION

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No.	Description	Date

EXTERIOR ELEVATIONS

Project number 10422

A1-4.0

Scale 1/4" = 1'-0"

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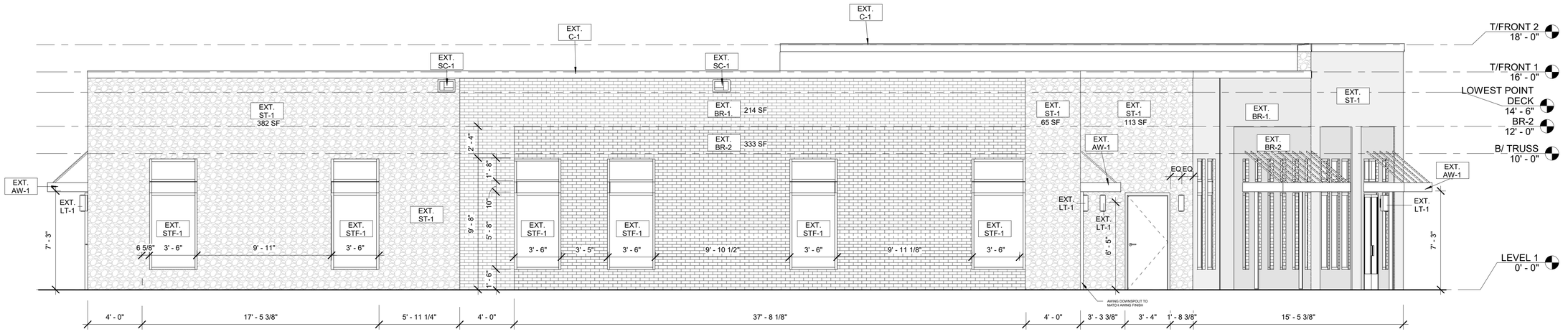
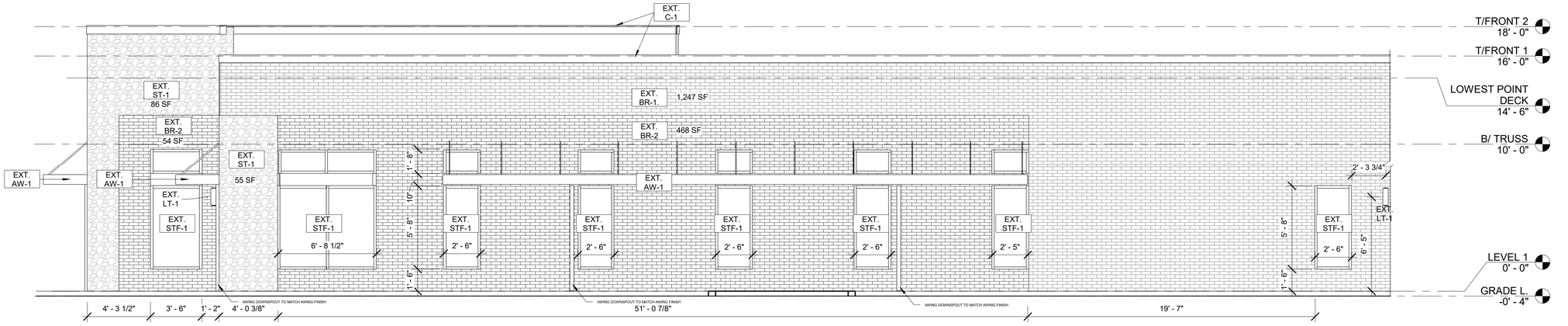


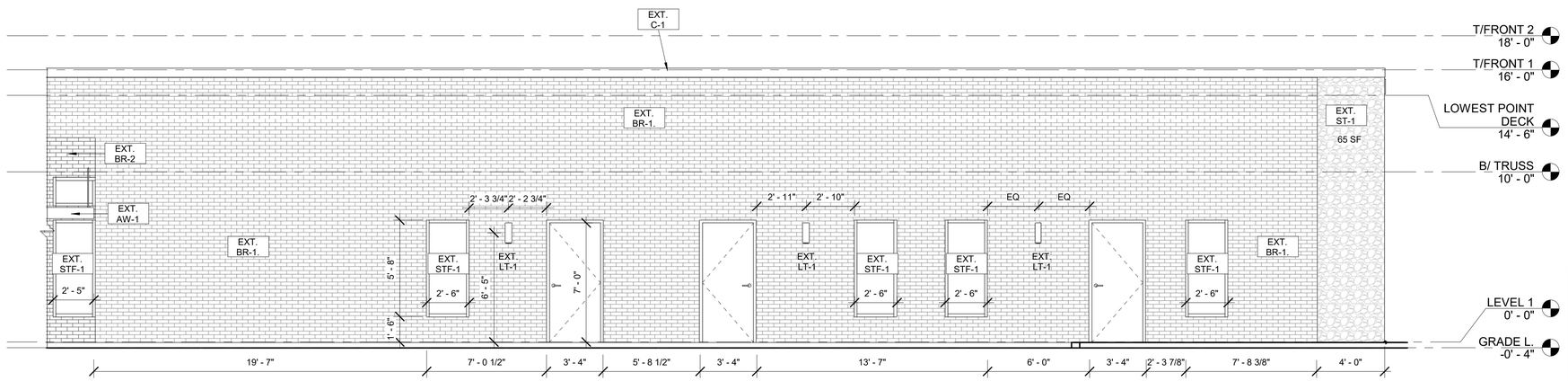
1 BUILDING ELEVATION - NORTHWEST
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL 1,106 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 560 SF + EXT.BR-1: 214 SF + EXT.BR-2: 333 SF)



2 BUILDING ELEVATION - NORTHEAST 1
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL 1,910 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 141 SF + EXT.BR-1: 1,247 SF + EXT.BR-2: 522 SF)



3 BUILDING ELEVATION - NORTHEAST 2
1/4" = 1'-0" **NOTE: IF DRAWING IS PRINTED @ 11X17 SCALE TO BE REDUCED BY 50%**

TOTAL 65 SF EXCLUDING DOORS AND WINDOWS (EXT.ST-1: 65 SF)

TOTAL MANSONRY SURFACE AREA (Square Feet)
Excluding Door and Windows

EXT.ST-1 = 2,122 SF TOTAL (34.40 %)

EXT.BR-1 = 2,137 SF TOTAL (34.60 %)

EXT.BR.2 = 1,917 SF TOTAL (31.00 %)

MANSONRY = 6,176 SF TOTAL

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EXTERIOR ELEVATIONS

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BUILDING ELEVATION - SUMMER LEE DR (SOUTHWEST)



BUILDING ELEVATION - ROCKWALL PKWY (SOUTHEAST)

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EXTERIOR ELEVATIONS RENDERINGS

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BUILDING ELEVATION - NORTHEAST



BUILDING ELEVATION - NORTHWEST

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LOT 5, BLOCK B HORIZON RIDGE ADDITION

CUSTOMER SIGN-OFF OF LAYOUT AND DESIGN

☐ APPROVED AS SHOWN

☐ APPROVED WITH CHANGES

CUSTOMER NAME:

_____

DATE:_____

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EXTERIOR ELEVATIONS RENDERINGS

Project number	10422
Date	03.01.2022
Drawn by	Author
Checked by	Checker

A1-4.3

Scale

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3D VIEW - SUMMER LEE DR & ROCKWALL PKWY



3D VIEW - SUMMER LEE DR & NORTHWEST



3D VIEW - ROCKWALL PKWY & NORTHEAST

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Rosemont, IL 60018

Dr. Capps, Dr. Hodges & Dr. Morgan
CHM Real Estate, LLC

Summer Lee Drive & Rockwall Parkway Drive, Rockwall, TX 75032

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No.	Description	Date

EXTERIOR RENDERINGS

Project number 10422

GA0-1

Scale

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1. Tilt-Wall, Natural Stone, Steel Gray



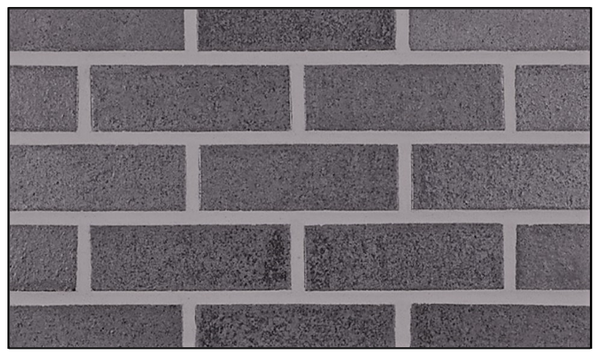
2. Solar Control Glass, Grey



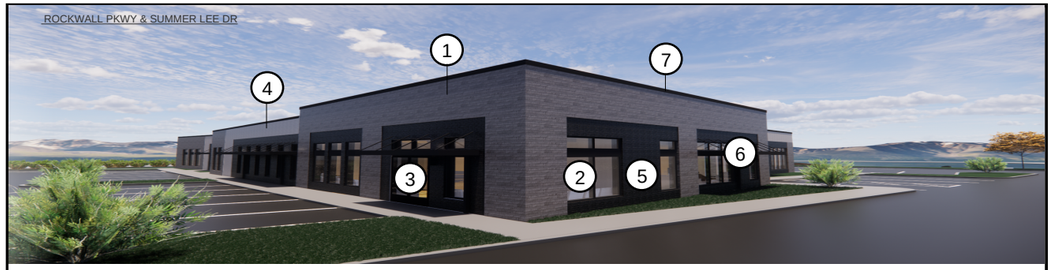
3. Aluminum, Black, Store Front



4. Tilt-Wall, Brick, Light Silver



5. Tilt-Wall, Brick, Dark Gray









6. Aluminum, Black, Awning



7. Aluminum, Black, Coping

Application Information

Jeff Kilburg
Apex Design Build
9550 W Higgins Rd, Suite 170,
Rosemont, IL 60018
Phone: 847-288-0100
Email: raquellek@apexdesignbuild.net

Owner Information

Dr. Capps, Dr. Hodges & Dr. Morgan
CHM Real Estate, LLC
740 Wilford Way, Heath, TX 75032
Phone: 972-771-9500
Email: chadjcapps@gmail.com

Project Name Capps, Hodges & Morgan
.
Case Number Capps, Hodges & Morgan

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	11	ULMUS CRASSIFOLIA CEDAR ELM USE FOR MITIGATION	4" CAL.	10`-12` HT
	13	QUERCUS VIRGINIANA LIVE OAK USE FOR MITIGATION	4" CAL	10`-12` HT

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	9	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS, 2" OVERALL	2" CAL MIN	8` -10` HT
	9	LAGERSTROEMIA INDICA CRAPE MYRTLE 3-5 STEMS, UPRIGHT	2" CAL MIN	8` -10` HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	120	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL
	27	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
	12,135 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD
	70 SF	2"-4" TEXAS COBBLE, 4"-6" DEEP, INSTALL OVER PERMEABLE WEED BARRIER FABRIC	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

GENERAL GRADING AND PLANTING NOTES

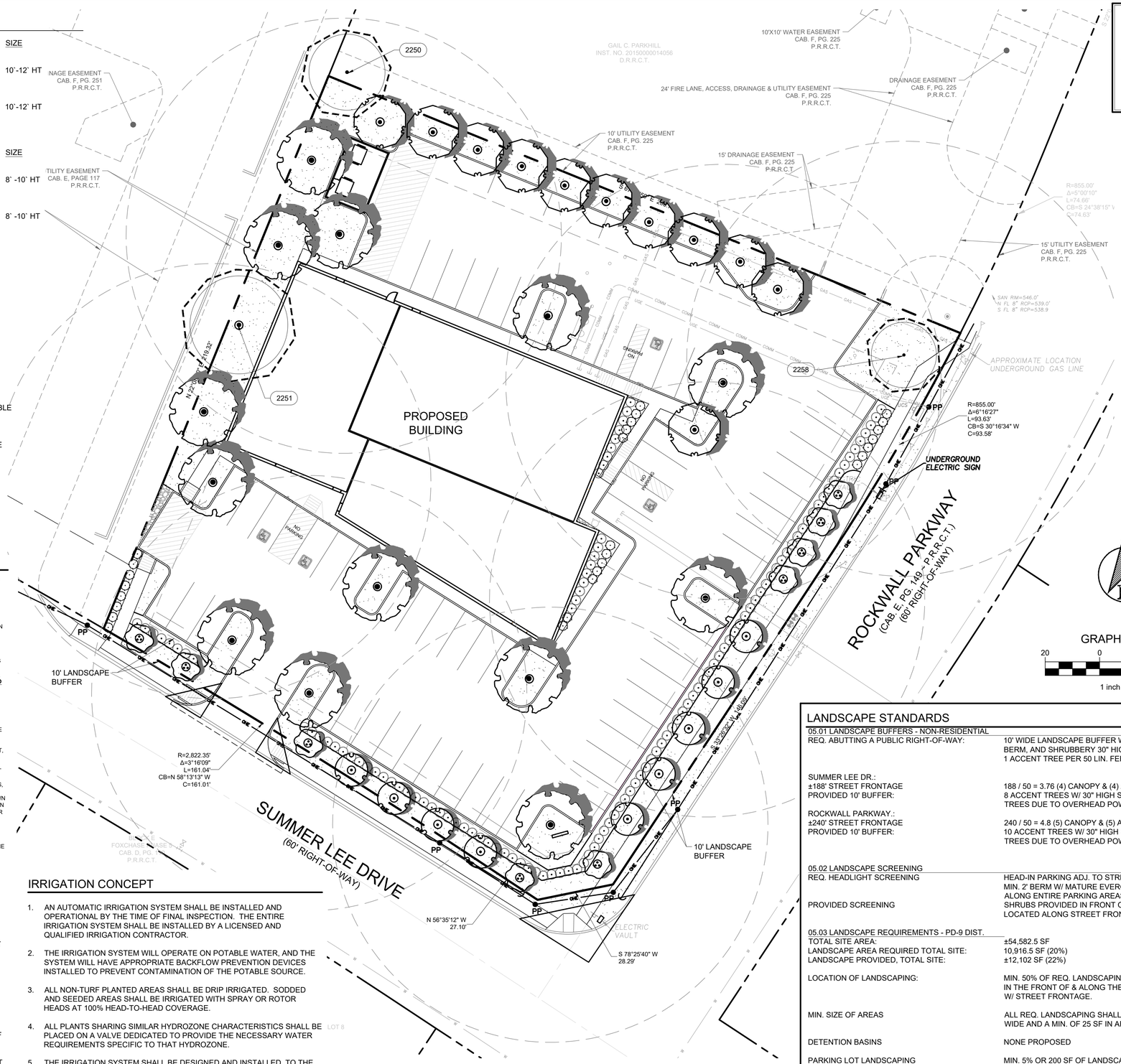
1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).



IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

TREE MITIGATION

TOTAL MITIGATION REQUIRED:	119.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES ONSITE:	96.0"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	23.9"
(29.3" x $200 = $4,780 PAYMENT INTO THE CITY'S TREE FUND)	
TOTAL MITIGATION PROVIDED:	119.9"

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL	
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
SUMMER LEE DR.:	
±188' STREET FRONTAGE	188 / 50 = 3.76 (4) CANOPY & (4) ACCENT TREES REQ.
PROVIDED 10' BUFFER:	8 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES
ROCKWALL PARKWAY.:	
±240' STREET FRONTAGE	240 / 50 = 4.8 (5) CANOPY & (5) ACCENT TREES REQ.
PROVIDED 10' BUFFER:	10 ACCENT TREES W/ 30" HIGH SHRUBS, NO CANOPY TREES DUE TO OVERHEAD POWER LINES

05.02 LANDSCAPE SCREENING	
REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES

05.03 LANDSCAPE REQUIREMENTS - PD-9 DIST.	
TOTAL SITE AREA:	±54,582.5 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	10,916.5 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±12,102 SF (22%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±26,363 SF / 1,318 SF REQ. LANDSCAPING
PROPOSED PARKING LOT LANDSCAPING:	±2,627 SF (9.9%)
PARKING SPACES:	(1) LG. CANOPY TREE FOR EVERY 10 PARKING SPACES REQ. INTERNAL TO PARKING AREAS 66 / 10 = 6.6 (7) LG. CANOPY TREES REQ. 7 NEW LG. CANOPY TREES + 1 EXIST. TREE PROVIDED REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

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BEDFORD, TX 76021
PHONE: 817.281.0572
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REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. & ROCKWALL PKWY.
ROCKWALL, TX 75032

No.	DATE	REVISION	BY

LANDSCAPE PLANTING PLAN

DESIGN:	MKT
DRAWN:	MKT
CHECKED:	ASD
DATE:	03/16/2022

SHEET
LP-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/16/2022 6:24 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\MORGAN - ROCKWALL, TX\MORGAN ROCKWALL_LP.DWG
LAST SAVED: 3/16/2022 6:23 PM

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
   1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
   2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
   3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK
   1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
   2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
   3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

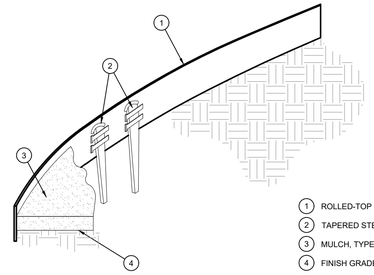
PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
   1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
   2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
   3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
   4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY BE REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
   5. ALL TREES SHALL BE IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
   6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
   7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
   8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
   1. STAKES: 6' LONG GREEN METAL T-POSTS.
   2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
   3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
   1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
   2. SOIL TESTING:
      a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
      b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
      c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
      d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
   3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
   4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
      a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
         i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
         ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
         iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
         i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
         ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
         iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
         iv. IRON SULPHATE - 2 LBS. PER CU. YD.
   5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
      a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
      b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
      c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
      d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
   6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

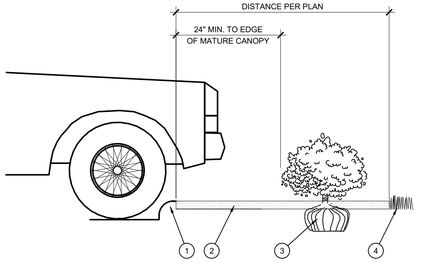
B. SUBMITTALS
   1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
   2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
   3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
   4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
C. GENERAL PLANTING
   1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
   2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
   3. TRENCHING NEAR EXISTING TREES:
      a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
      b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
      c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
      d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
D. TREE PLANTING
   1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
   2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
   3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
   4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
   5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
   6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
      a. 1"-2" TREES — TWO STAKES PER TREE
      b. 2-1/2"-4" TREES — THREE STAKES PER TREE
      c. TREES OVER 4" CALIPER — GUY AS NEEDED
      d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
      e. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
   7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
   1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
   2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
   3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
   1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
   2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
   3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
   4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
   5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
   1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
   2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
   1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
   2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
   1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
   2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
   3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
   1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
   2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
   3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
      a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
      b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
      c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES (105 BEFORE FIRST MOWING). BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
   1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
   2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

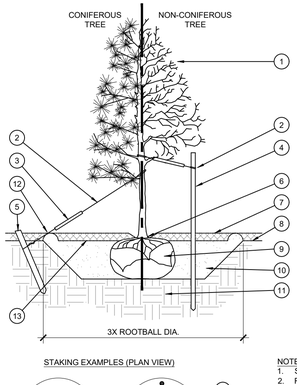
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
SCALE: NOT TO SCALE



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

E PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



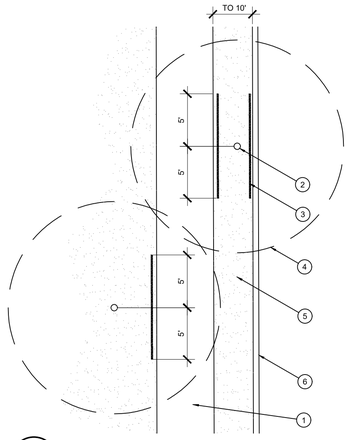
1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE

OPEN LANDSCAPE — PARKWAY OR ISLAND



1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED F

TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
(1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
(2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
(3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

(B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.

(C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.

(D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.

(E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.

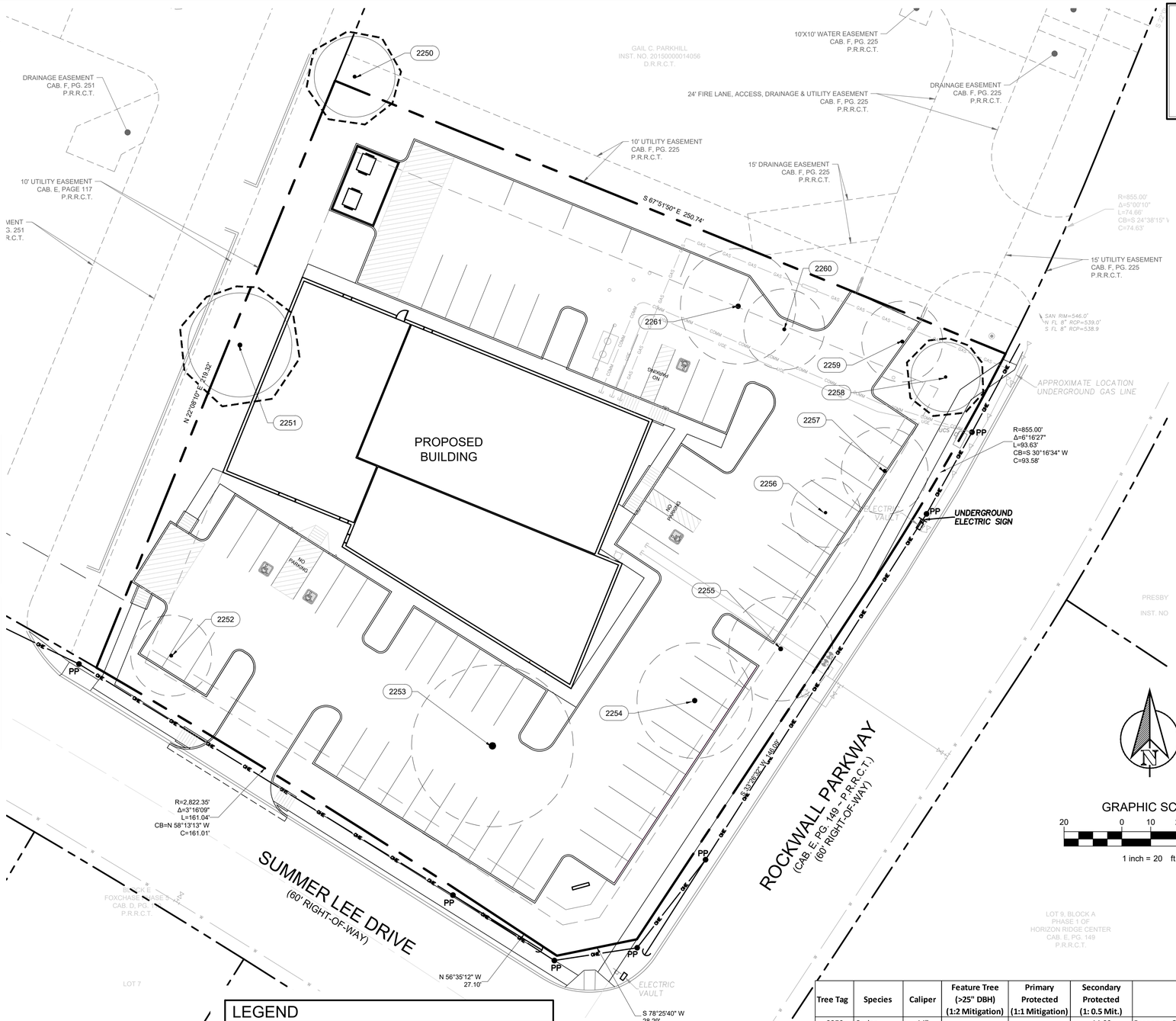
(F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.

(G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



LEGEND

XXXX INDICATES TREE NUMBER

EXISTING TREES TO BE PROTECTED IN PLACE

TREE PROTECTION FENCE

XXXX INDICATES TREE NUMBER

EXISTING TREE TO BE REMOVED

GRAPHIC SCALE

20 0 10 20 40

1 inch = 20 ft.

Tree Tag	Species	Caliper	Feature Tree (>25" DBH) (1:2 Mitigation)	Primary Protected (1:1 Mitigation)	Secondary Protected (1: 0.5 Mit.)	Comments
2250	Cedar	14"			14.00	Preserve, Off site
2251	Cedar	18"			18.00	Preserve
2252	Cedar	14"			14.00	Remove
2253	Cedar	28"	28.0			Remove
2254	Cedar	20"			20.00	Remove
2255	Cedar	18"			18.00	Remove
2256	Cedar	12"			12.00	Remove
2257	Cedar	10" x 2			15.00	Remove
2258	Cedar	12"			12.00	Preserve
2259	Cedar	14"			14.00	Remove
2260	Cedar	14"			14.00	Remove
2261	Cedar	20"			20.00	Remove
TOTALS			28.0		157.00	
TOTAL REMOVED			28.0		127.00	
TOTAL MITIGATION			56.0		63.50	
TOTAL MITIGATION FOR SITE						119.5

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(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. &
ROCKWALL PKWY.
ROCKWALL, TX 75032

No.	DATE	REVISION	BY

TREESCAPE PLAN

DESIGN: MKT
DRAWN: MKT
CHECKED: ASD
DATE: 03/16/2022

SHEET
TD-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/16/2022 5:36 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\MORGAN – ROCKWALL, TX\MORGAN ROCKWALL_TD.DWG
LAST SAVED: 3/16/2022 5:34 PM

TREE PROTECTION SPECIFICATIONS

MATERIALS

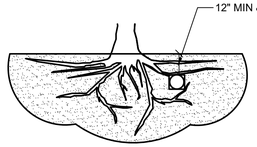
1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE,
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

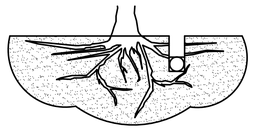
1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
7. WITHIN THE CRZ:
   a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
   b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
   c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
   d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
   e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
   f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



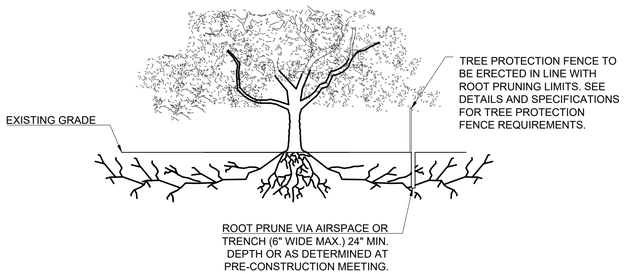
TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



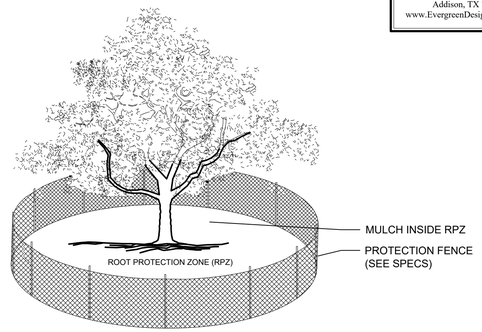
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

NOTES
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR .
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.

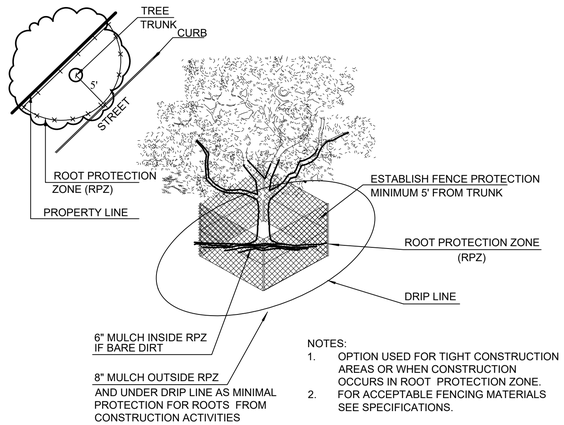


D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



NOTES:
1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

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15455 Dallas Pkwy., Ste 600
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1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021
PHONE: 817-281-0572
WWW.CLAYMOOREENG.COM

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS

CAPPS, MORGAN, & HODGES
SUMMER LEE DR. & ROCKWALL PKWY.
ROCKWALL, TX 75032

No.	DATE	REVISION	BY

TREESCAPE PLAN
SPECS & DETAILS

DESIGN: MKT
DRAWN: MKT
CHECKED: ASD
DATE: 03/16/2022

SHEET
TD-2

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/16/2022 11:30 AM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\MORGAN – ROCKWALL, TX\MORGAN ROCKWALL_TD.DWG
LAST SAVED: 3/16/2022 11:30 AM

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	7	4M-16L w BLS	SINGLE	1.000	12350	104	OSQM-B-16L-40K7-4M-UL-NM-__ w/OSQ-ML-B-DA-__ + OSQ-BLSMF
	2	3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-40K-UL-__

Calculation Summary; 1.00 LLF

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.83	7.4	0.0	N.A.	N.A.
Paved Parking	Fc	2.45	4.4	0.4	6.13	11.00

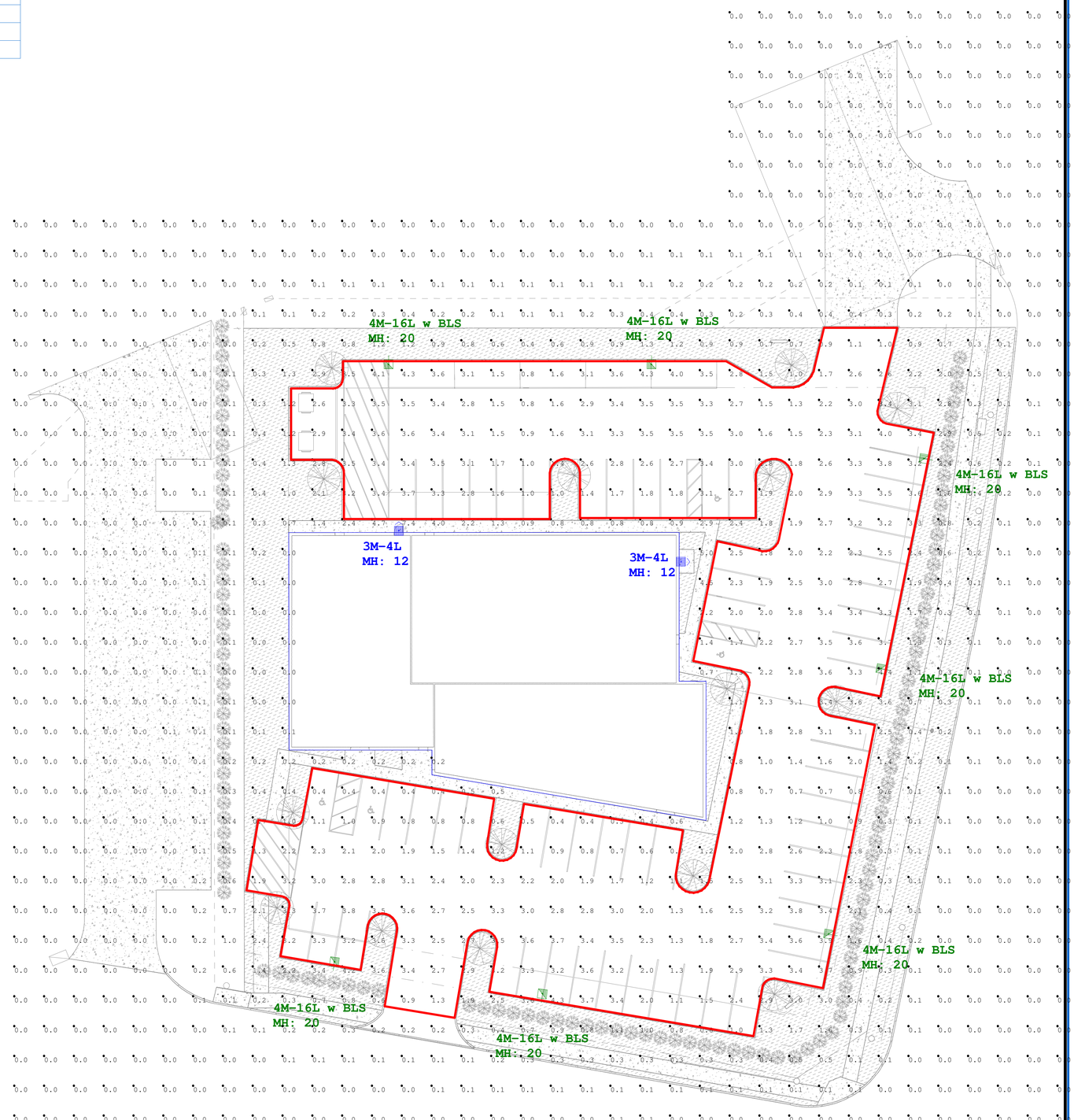
Fixture Mounting Height: 20' AFG (17' Pole + 3.0' Base)

Pole Schedule
(7) SSS-4-11-17-CW-BS-1D-C-__ (17' X 4" X 11ga STEEL SQUARE POLE, Single)

Proposed poles meet 130MPH sustained winds.

Additional Equipment:
(7) - OSQ-ML-B-DA-__ - (Direct Arm Mount)
(7) - OSQ-BLSMF - (Medium Backlight Shield)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



CREE LIGHTING
A COMPANY OF IDEAL INDUSTRIES, INC.
9201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used inconjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting,or energy code.

Project Name: Capps, Morgan & Hodges - Rockwall Pkwy & Summer Lee Dr - Rockwall, TX - EXT

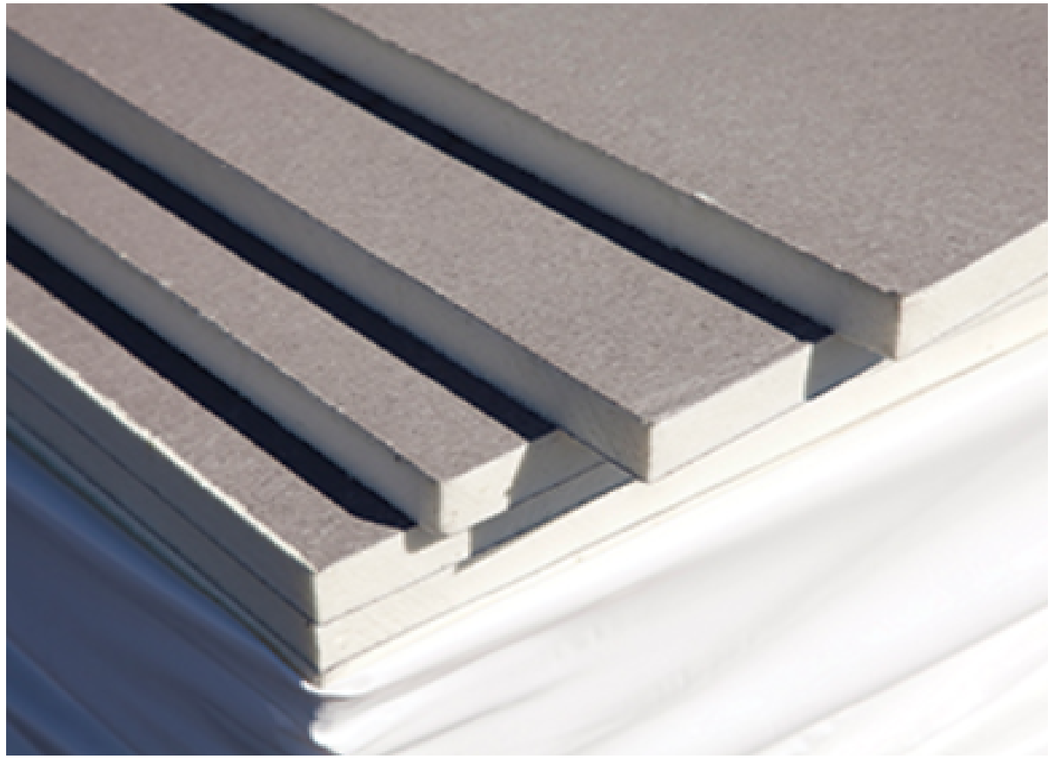
CASE #: 00483715 | Footcandles calculated at grade | Filename: 220302CM1CJW.AGI

Layout By:
Collin Witherow

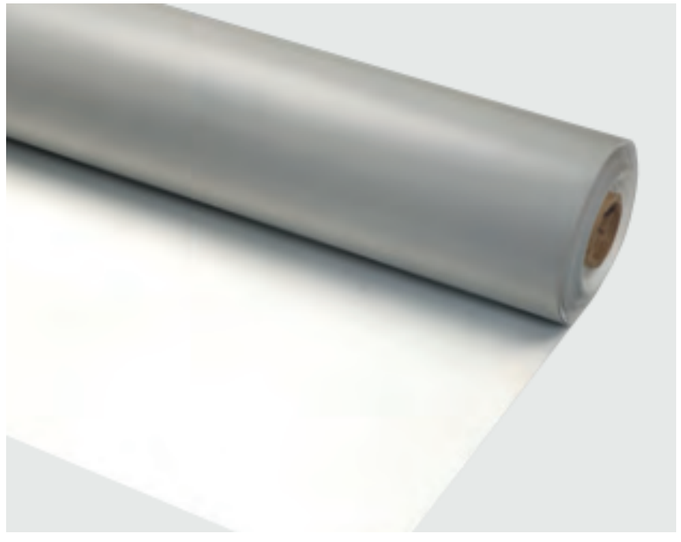
Date:3/2/2022

Scale 1" = 20'

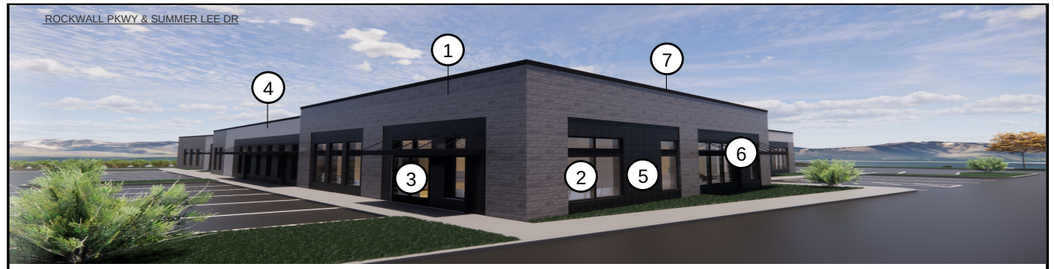
0 40 80



8. Roofing System Insulation



9. Roofing Membrane







Application Information

Jeff Kilburg
Apex Design Build
9550 W Higgins Rd, Suite 170,
Rosemont, IL 60018
Phone: 847-288-0100
Email: raquellek@apexdesignbuild.net

Owner Information

Dr. Capps, Dr. Hodges & Dr. Morgan
CHM Real Estate, LLC
740 Wilford Way, Heath, TX 75032
Phone: 972-771-9500
Email: chadjcapps@gmail.com

Project Name Capps, Hodges & Morgan
.
Case Number Capps, Hodges & Morgan

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	SP2022-010	CASE MANAGER:	Henry Lee
PROJECT NAME:	Site Plan for Fuji Ceramics	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	2686 S GOLIAD ST	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Kip Estep for the approval of a Site Plan for an Office Building in conjunction with an existing medical manufacturing company on a 1.617-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/25/2022	Approved w/ Comments

03/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Office Building in conjunction with an existing medical manufacturing company on a 1.617-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. April 5, 2022 is the deadline to have all comments; please provide staff revised plans before April 5, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-010) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The proposed building will be reviewed by the Architecture Review Board (ARB). When the ARB reviews the building elevations they may want a material sample board showing the Stucco colors and the proposed stone.

M.5 Please provide a North Point, Numeric and Graphic scale, and a Vicinity Map. (Subsection 03.04. A. of Article 11)

M.6 Provide the City standard Site Plan Signature Block on all sheets of the plans; the current signature block only has the Planning Director signature. Also remove the placeholder text (i.e. [Day] [Month] [Year]). (Subsection 03.04. A. of Article 11)

M.7 Site Plan:

(1) Indicate the Lot area in acres and square feet. (Subsection 03.04. B, of Article 11)
(2) Indicate the proposed building square footage. (Subsection 03.04. B, of Article 11)
(3) Indicate the distance between buildings. (Subsection 03.04. B, of Article 11)
(4) Indicate the distance between the proposed building and the property lines. (Subsection 03.04. B, of Article 11)
(5) Indicate the building setbacks. (Subsection 03.04. B, of Article 11)
(6) Please indicate all easements. Are there any utility easements on the property? (Subsection 03.04. B, of Article 11)
(7) Indicate the location of all existing and any proposed fire hydrants. (Subsection 03.04. B, of Article 11)
(8) Please label the Right-of-Way for S. Goliad Street. (Subsection 03.04. B, of Article 11)
(9) Please label the centerline for S. Goliad Street. (Subsection 03.04. B, of Article 11)
(10) Is there any pad mounted or roof mounted utility equipment? If so indicate the subsequent screening. (Subsection 01.05. C, of Article 05)
(11) Is there a dumpster on site? If so, please indicate it as well as the screening. (01.05. B, of Article 05)

M.8 Landscape Plan:
(1) Please provide the same site data as provided on the site plan. (See Section 2.1 of the site plan checklist)
(2) Indicate the pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)
(3) Please indicate the landscape buffer along S. Goliad Street. (Subsection 05.01, of Article 08)
(4) All parking spaces must be within 80-feet of a canopy tree. (Subsection 05.03. E. of Article 08)
(5) Within the landscape buffer along S. Goliad Street there must be a total of five (5) canopy trees and nine (9) accent trees. (Subsection 05.01, of Article 08)

M.9 Photometric Plan:
(1) Is there any new lighting being added to the site? If so, please provide a photometric plan showing conformance to the Non-Residential Lighting standards. (Subsection 03.03, of Article 07)

M.10 Building Elevations:
(1) Provide the material percentages for all materials on the building. (Subsection 05.01, of Article 05)
(2) Depending on the material percentages you may not meet the 20% natural stone requirement and you may exceed the 50% Stucco allowance. These would be variances to the code if not corrected. (Subsection 05.01, of Article 05)
(3) The horizontal articulation standard is not met; the wall lengths are greater than three (3) times the height of the proposed building. This will serve as a requested variance to the Unified Development Code (UDC). (Subsection 05.01. C, of Article 05)

M.11 There are currently three (3) variance associated with this request, see below. Please provide a variance letter that outlines the variances being requested along with the six (6) compensatory measure being provided; for each variance two (2) offsetting compensatory measures are required per the Unified Development Code (UDC).

(1) Less than 20% natural stone
(2) Greater than 50% cementitious (i.e. Stucco) material
(3) Horizontal Articulation

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on April 5, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 5, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 12, 2022 Planning & Zoning Meeting.
I.14 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on March 29, 2022.
2) Planning & Zoning meeting/public hearing meeting will be held on April 12, 2022.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Needs Review

03/23/2022: - Show the 24x15' parking turnaround location at the northwest corner.

Th following items are informational for the engineering design process.
General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures or signage allowed in easements.

- Retaining wall 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Water and Wastewater Items (if Fire Department is requiring water line and fire hydrant):
- Only one use allowed off a dead end line.
- Building may need to be fire sprinklered check with Fire Marshal.
- If upsizing water service line, will need to upsize meter (impact fees apply)
- No bull head services
- May need to install a fire hydrant

Roadway Paving Items:
- Parking to be 20'x9'
- Drive aisles to be a min. 24' wide
- Need a turn around for dead end parking

Landscaping:
- No trees to be within 5' of any public water, sewer, or storm line that is less than 10" in diameter.
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Denied

03/22/2022: The fire lane shall have a minimum of 24-feet in width.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	03/23/2022	Approved w/ Comments

03/23/2022: I would be willing to discuss any CPTED suggestions to help deter potential criminal activities and civil liability with the business owners or architects.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved w/ Comments

03/21/2022: 1. Please ensure existing trees are protected during construction

General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures or signage allowed in easements.
- Retaining wall 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Water and Wastewater Items (if Fire Department is requiring water line and fire hydrant):
- Only one use allowed off a dead end line.
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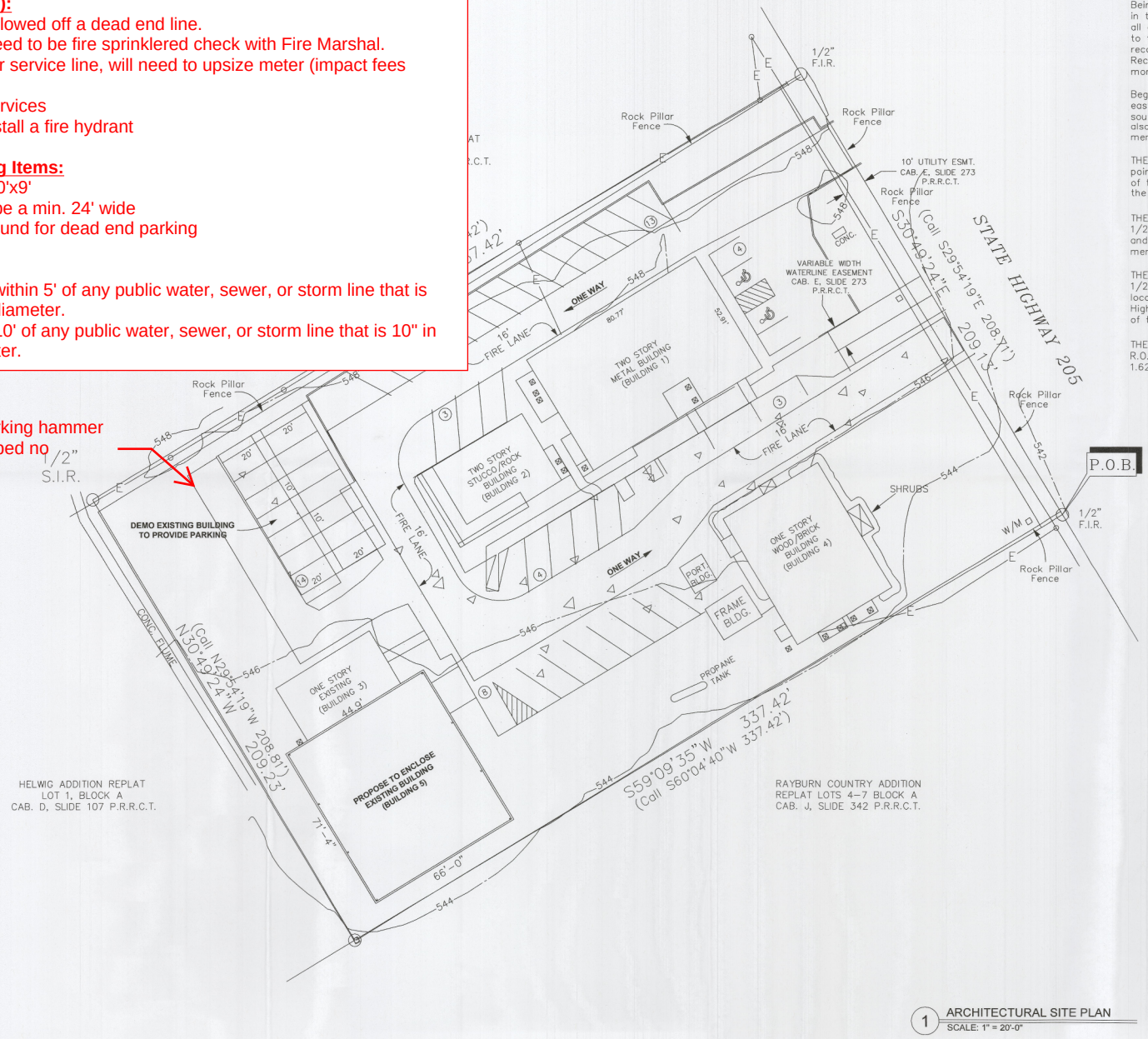
- No trees to be 10' of any public water, sewer, or storm line that is 10" in diameter or greater.

Show dead end parking hammer head (24'x15'). Striped no parking



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

LOT 1, BLOCK "A"
ESTEP SUBDIVISION
CAB. E, SLIDE 273
P.R.R.C.T.

Field Notes

Being all that certain lot, tract or parcel of land in the William H. Barns Survey, A-26, and being all of Lot 1, Block "A", of the Estep Subdivision to the City of Rockwall as shown by plat recorded in Cabinet E, Slide 273 of the Plat Records of Rockwall County, Texas and being more particulary described as follows;

Beginning at a found 1/2" iron rod for the east corner of this tract and being in the southwest R.O.W. of State Highway 205 and also being the east corner of the above mentioned Lot 1;

THENCE S59°09'35"W 337.42 feet to a point in a rock pillar for the south corner of this tract and also being the south corner of the above mentioned Lot 1;

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PARKING TABLE	
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TOTAL STORAGE S.F./PARKING	4,705 S.F./1000 = 5
TOTAL PARKING REQUIRED	47 SPACES
TOTAL PARKING PROVIDED	49 SPACES

FUJI CERAMICS, LLC.

LEGAL DESCRIPTION AND OR ADDRESS:
FUJI CERAMICS, LLC.
LOT 1, BLOCK A, ESTEP SUBDIVISION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
Kip Estep
Fuji Ceramics, LLC.
2685 S. Goliad (SH. 205)
Rockwall, TX 75032

APPLICANT
Carroll Architects, INC.
750 E. Interstate 30 #110
Rockwall, TX 75087
P: 972-732-6085
E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-XXX

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____day of_____,_____.

WITNESS OUR HANDS, this_____day of_____,_____.

Director of Planning & Zoning

ISSUE
OWNER REVIEW 03-04-2022

COPYRIGHT NOTICE:
These drawings and specifications are copyrighted and subject to common law and statutory protection under sec. 102 of the copyright act, 17 U.S.C. Unauthorized use of these plans includes, without limitation, the reuse, copying, modification, publication or transfer to any third party, in whole or in part, by any means whatsoever, without the express written consent of the designer. Visual contact with these plans shall constitute prima facie evidence of acceptance of these restrictions. Any unauthorized use may result in cessation of construction, removal and destruction of infringing objects, and/or monetary claims.

ENCLOSED EXISTING METAL BUILDING #5
FUJI CERAMICS
MANUFACTURING FACILITIES
2685 S. Goliad (SH. 205)
Rockwall, Texas 75032

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX. 75087
P. 972-732-6085
F. 972-732-8058

ARCHITECTURAL SITE PLAN

DATE: MAR 2022
SHEET NO: A100
PROJECT NO: 2022029
DRAWN BY:
CHECKED BY:

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☑ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A $1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2686 S. Goliad Street, Rockwall, TX. 75087

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Kip Estep	☑ APPLICANT Carroll Architects, INC.
CONTACT PERSON	CONTACT PERSON Jeff Carroll
ADDRESS 11162 FM 2588	ADDRESS 750 E. Interstate 30 Suite 110
CITY, STATE & ZIP La Rue, TX 75770	CITY, STATE & ZIP Rockwall, TX 75087
PHONE (972) 979-4471	PHONE 214.632.1762
E-MAIL Kip@fujidentallab.com	E-MAIL JC@carrollarch.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kip Estep [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF February, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF February, 20 22

OWNER'S SIGNATURE Kip Estep

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Patricia K Stevens

MY COMMISSION EXPIRES

PATRICIA K STEVENS NOTARY PUBLIC STATE OF TEXAS ID# 841307 EXPIRES 8-8-2022



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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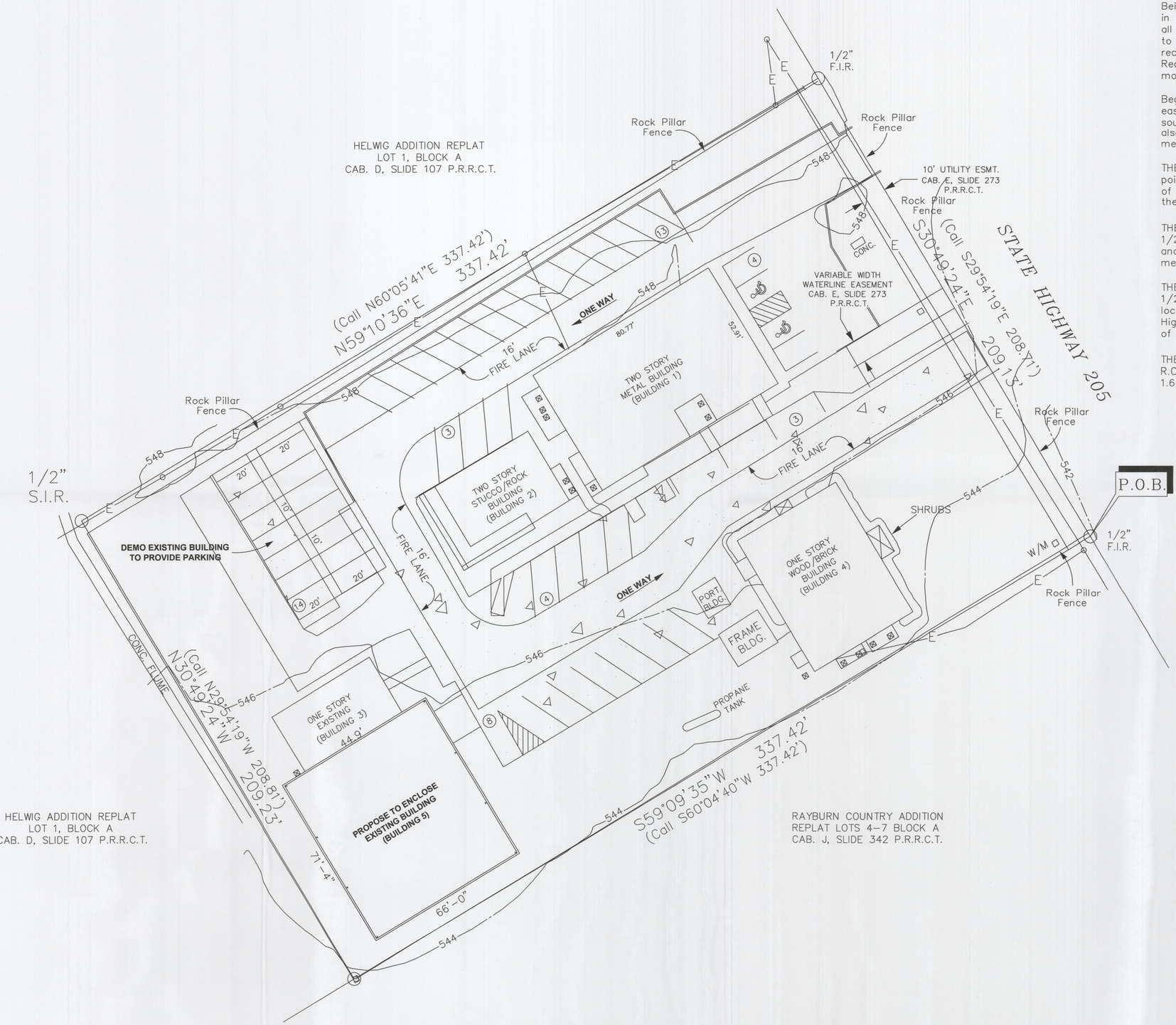

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

LOT 1, BLOCK "A"
ESTEP SUBDIVISION
CAB. E, SLIDE 273
P.R.R.C.T.

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TOTAL STORAGE S.F./PARKING	4,705 S.F./1000 = 5
TOTAL PARKING REQUIRED	47 SPACES
TOTAL PARKING PROVIDED	49 SPACES

FUJI CERAMICS, LLC.
LEGAL DESCRIPTION AND OR ADDRESS: FUJI CERAMICS, LLC. LOT 1, BLOCK A, ESTEP SUBDIVISION CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS
OWNER Kip Estep Fuji Ceramics, LLC. 2685 S. Goliad (SH. 205) Rockwall, TX 75032
APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll
CITY OF ROCKWALL CASE NUMBER: SP2022-XXX
SITE PLAN SIGNATURE BLOCK APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the_____day of_____,____. WITNESS OUR HANDS, this_____day of_____,____. Director of Planning & Zoning

ISSUE:
OWNER REVIEW: 03-04-2022

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ENCLOSED EXISTING METAL BUILDING #5

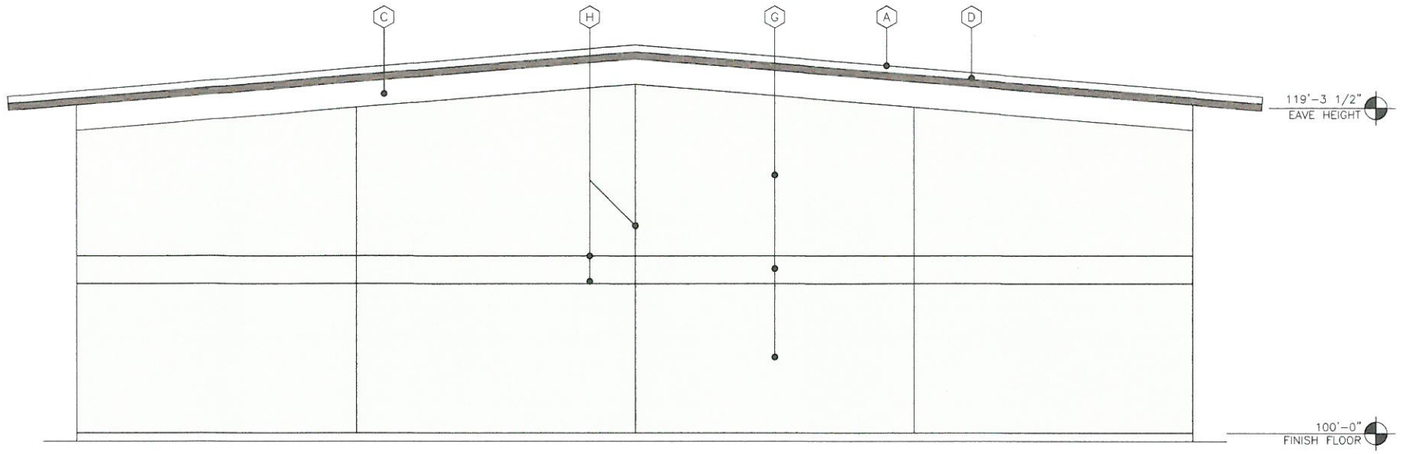
FUJI CERAMICS MANUFACTURING FACILITIES

2685 S. Goliad (SH. 205)
Rockwall, Texas 75032

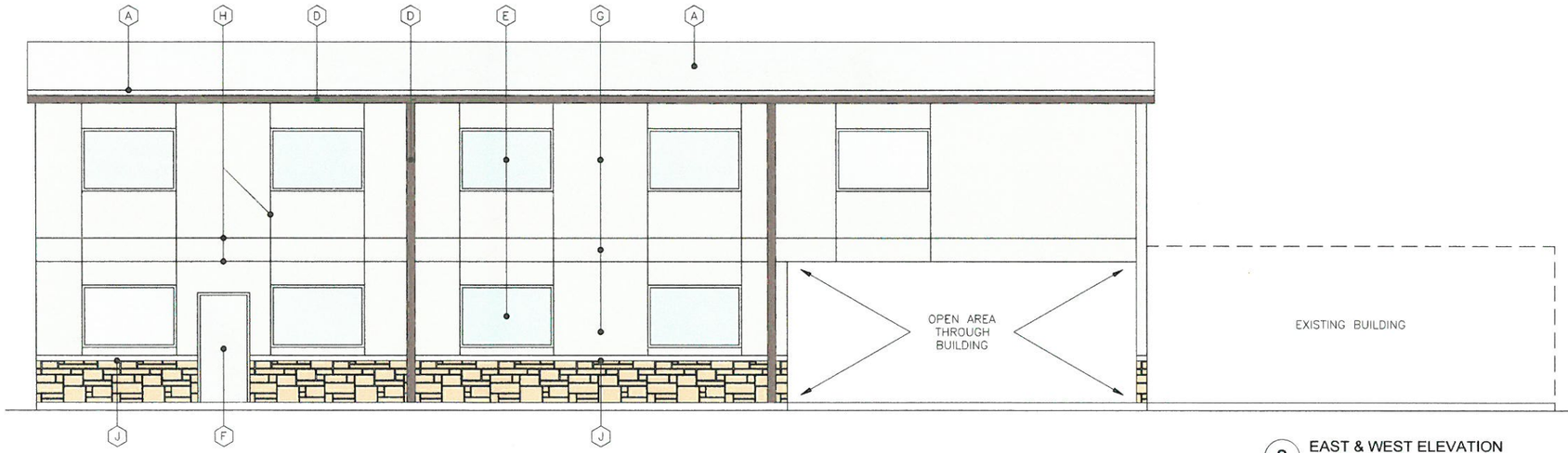
CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

ARCHITECTURAL SITE PLAN

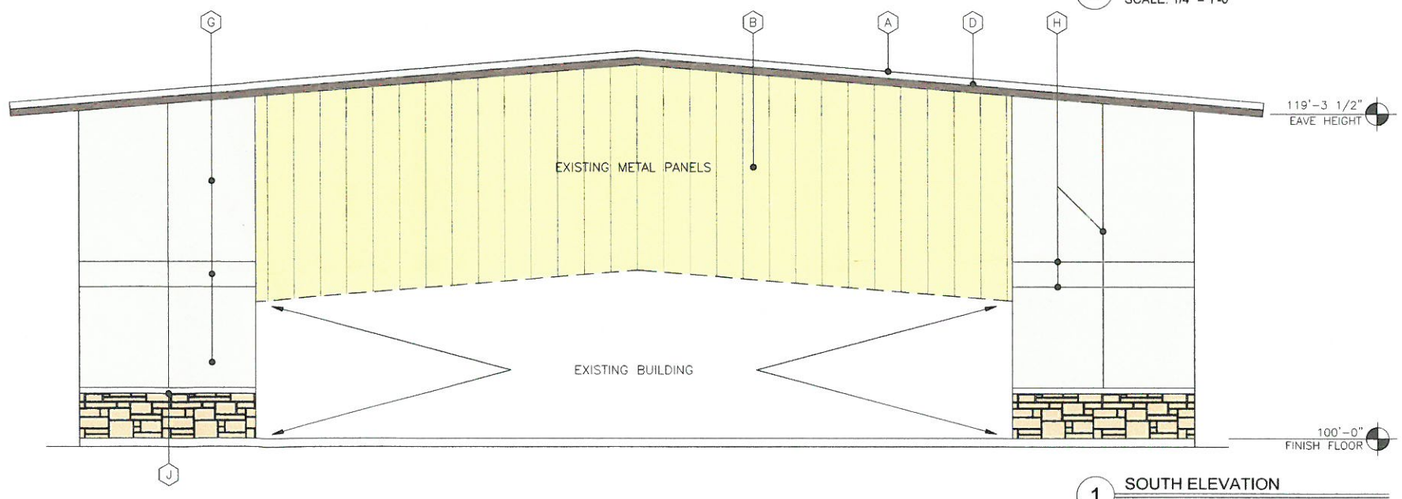
DATE: MAR 2022
PROJECT NO: 2022029
DRAWN BY:
CHECKED BY:
SHEET NO: A100



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST & WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	EXISTING METAL ROOFING
B	EXISTING METAL WALL PANELS
C	EXISTING FASCIA ELEMENT
D	PREFINISHED GUTTER, DOWNSPOUTS, OR TRIM COLOR: SELECTED BY OWNER TO MATCH EXISTING
E	4'-0"X6'-0" STOREFRONT METAL WINDOWS, TYP.
F	EXTERIOR HOLLOW METAL DOOR & FRAME, PAINT, COLOR: SELECTED BY OWNER TO MATCH EXISTING
G	STUCCO - 3-PART W/ EIFS FINISH COLOR - TO MATCH EXISTING
H	STUCCO CONTROL JOINTS
J	STONE TO MATCH EXISTING BUILDING

FUJI CERAMICS, LLC.

LEGAL DESCRIPTION AND OR ADDRESS:
FUJI CERAMICS, LLC.
LOT 1, BLOCK A, ESTEP SUBDIVISION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
Kip Estep
Fuji Ceramics, LLC.
2685 S. Goliad (SH. 205)
Rockwall, TX 75032

APPLICANT
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Rockwall, TX 75087
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E: jc@carrollarch.com
ATTN: Jeff Carroll

CITY OF ROCKWALL CASE NUMBER:
SP2022-XXX

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WITNESS OUR HANDS, this_____day of_____,_____,

Director of Planning & Zoning

ISSUE:
OWNER REVIEW: 03-15-2022

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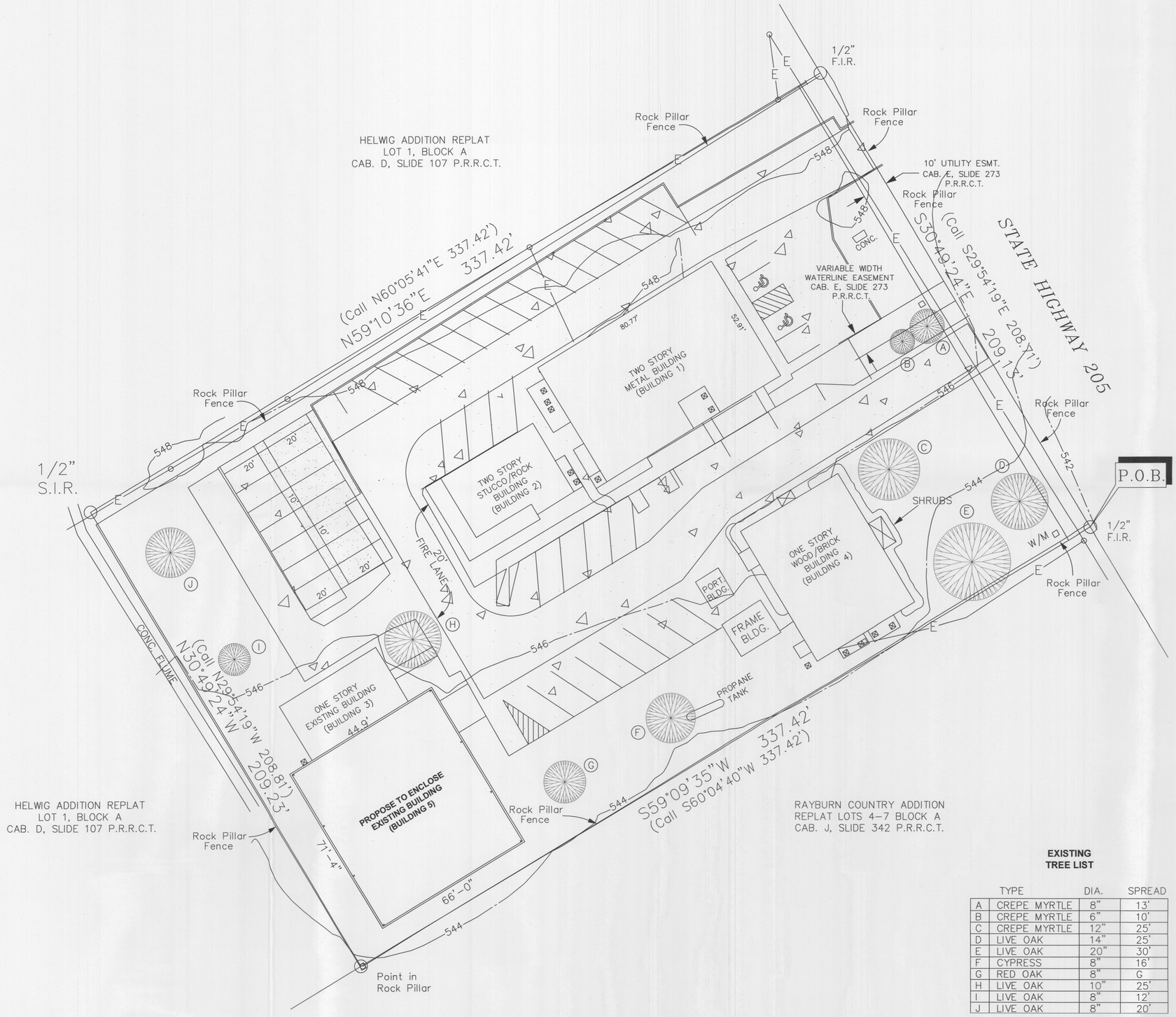
ENCLOSED EXISTING METAL BUILDING #5
FUJI CERAMICS
MANUFACTURING FACILITIES
2685 S. Goliad (SH. 205)
Rockwall, Texas 75032

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR ELEVATIONS

DATE: MAR 2022
SHEET NO: A501
PROJECT NO: 2022029
DRAWN BY:
CHECKED BY:



1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

EXISTING TREE LIST

	TYPE	DIA.	SPREAD
A	CREPE MYRTLE	8"	13'
B	CREPE MYRTLE	6"	10'
C	CREPE MYRTLE	12"	25'
D	LIVE OAK	14"	25'
E	LIVE OAK	20"	30'
F	CYPRESS	8"	16'
G	RED OAK	8"	G
H	LIVE OAK	10"	25'
I	LIVE OAK	8"	12'
J	LIVE OAK	8"	20'

FUJI CERAMICS, LLC.

LEGAL DESCRIPTION AND OR ADDRESS:
FUJI CERAMICS, LLC.
LOT 1, BLOCK A, ESTEP SUBDIVISION
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
Kip Estep
Fuji Ceramics, LLC.
2685 S. Goliad (SH. 205)
Rockwall, TX 75032

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CITY OF ROCKWALL CASE NUMBER:
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Director of Planning & Zoning

ISSUE:
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ENCLOSED EXISTING METAL BUILDING #5
FUJI CERAMICS
MANUFACTURING FACILITIES
2685 S. Goliad (SH. 205)
Rockwall, Texas 75032

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX. 75087
t: 972-732-6085
f: 972-732-8058

LANDSCAPE PLAN

DATE: MAR 2022
SHEET NO: L1
PROJECT NO: 2022029
DRAWN BY:
CHECKED BY:

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	SP2022-012	CASE MANAGER:	Henry Lee
PROJECT NAME:	Site Plan for DuWest Rockwall	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	159 & 165 E QUAIL RUN RD	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/25/2022	Approved w/ Comments

03/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. April 5, 2022 is the deadline to have all comments; please provide staff revised plans before April 5, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-012) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be replatted after the engineering process to establish the property line and new easements.

M.5 Please provide a material sample board that provides samples of all of the proposed materials. All the requirements for the material sample board are contained in the development packet. (Subsection 03.04. A. of Article 11)

M.6 Provide the City standard Site Plan Signature Block on all sheets of the plans. Also remove the placeholder text (i.e. [Day] [Month] [Year]).

I.7 Remove the signage from the building elevations. All signage will be covered in a separate permit. (Subsection 06.02. F, of Article 05)

M.8 Site Plan:

(1) Indicate the dimensions of the proposed buildings on site. (Subsection 03.04. B, of Article 11)

(2) Indicate the distance between buildings. (Subsection 03.04. B, of Article 11)

(3) Label the new fire lane as “Fire Lane, Public Access, and Utility Easement.” (Subsection 03.04. B, of Article 11)

(4) Label the Right-of-Way and centerline for E. Quail Run Road. (Subsection 03.04. B, of Article 11)

(5) Indicate what will be provided in the Amenity Area as this must be developed with this phase of the development. (Subsection 03.04. B, of Article 11)

(6) Please label the type and height of any proposed fencing. (Subsection 08.02. F. of Article 08)

(7) The roof mounted utility equipment must be fully screened by the parapet; please crosshatch the roof mounted equipment on the building elevations. The parapet must also be finished on both sides. (Subsection 01.05. C, of Article 05)

(8) Is there any pad mounted utility equipment? If so indicate the subsequent screening. (Subsection 01.05. C, of Article 05)

(9) Provide a dumpster detail that outlines the materials and the dimensions; it must be 8-feet tall, have a self-latching gate, and be clad in the same material as the building. (01.05. B, of Article 05)

M.9 Landscape Plan:
(1) Provide the site data table provided on the site plan (See table 2.1 of the site plan check list)
(2) Indicate the percentage of pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)
(3) The Specific Use Permit (SUP) and site plan for this project indicate 3-teired screening along the southern property line. Please update the landscape plan to reflect this. (Subsection 05.03. B. of Article 08)
(4) Please indicate the landscape buffers. (Subsection 05.01, of Article 08)
(5) Indicate the berm along the north property line on the landscape plans. (Subsection 05.01, of Article 08)
(6) Crape Myrtle are not considered an accent tree and cannot be within the landscape buffer. Provide a different plant to serve as the accent tree within the landscape buffer. (Subsection 01.01. B, of Article 05)
(7) Identify visibility triangles on all lots for all driveway intersection and public streets. (Subsection 05.01, of Article 08)
(8) Provide a note that all irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08)

M.10 Treescape Plan:
(1) Provide the site data table provided on the site plan (See table 2.1 of the site plan check list)
(2) Indicate the number of inches being replanted. (Subsection 03.01. G, of Article 09)
(3) Please review the mitigation requirements as the treescape table had a few errors that change the mitigation total for the project. The mitigation for the first column is 321 -inches and the second column is 436.5-inches. This brings the total balance to 757.5-inches. Based on the trees preserved the 20% preservation credit was reached, bringing the mitigation total down to 606-inches. This balance can be resolved in two (2) ways: [1] full planting, which would require 152 trees to be planted; [2] 80/20 planting, which means 122 trees (80%) would be planted and a fee of $12,120.00 (20%) would be collected.

M.11 Photometric Plan:
(1) Provide the site data table provided on the site plan (See table 2.1 of the site plan check list)
(2) Light levels cannot exceed 20 FC anywhere on the property and there are several points across the property that exceed the 0.2 FC. Please adjust the lighting with less intense lighting, LEDs, and shielding to meet these requirements. (Subsection 03.03. G. of Article 07)
(3) All pole lighting shall not be taller than 20-feet. (Subsection 03.03. E, of Article 07)
(4) Please provide cutsheets for all light fixtures. (Subsection 03.03, of Article 07)

M.12 Building Elevations:
(1) Provide the material percentages for all materials on the building. (Subsection 05.01, of Article 05)
(2) The building is required to incorporate 90% masonry materials and 20% natural or quarried stone. Also, cementitious materials may not exceed more than 50% of each façade. In this case there is no stone proposed on the building and there is less than 90% masonry material on each façade. EIFS is secondary material and cannot exceed more than 10% on each façade. Given this there are three (3) variances associated with the material requirements. (Subsection 06.02. C. of Article 05)
(3) Provide a note that the parapet will be finished on both sides. (Subsection 04.01, of Article 05)
(4) Please ghost in the parapets located in the background on the elevations. (Subsection 04.01, of Article 05)
(5) The electric wireway and gas manifold depicted on the rear of the building must be painted to match the proposed building. (Subsection 04.01, of Article 05)
(6) Consider adding small projecting elements to the drive-through façades to increase building articulation. (Subsection 04.01, of Article 05)
(7) Please crosshatch the roof mounted utility equipment to confirm conformance with the screening requirements. (Subsection 01.05.C. of Article 05)
(8) The vertical and horizontal articulation standards are not met on each side of the building. This would serve as two (2) variances to articulation standards. (Subsection 05.01. C, of Article 05)

M.13 There are currently five (5) variances associated with this request, see below. Provide a variance letter that outlines the variances you wish to request as well as the associated compensatory measures. For each variance requested two (2) offsetting compensatory measures. In this case ten (10) compensatory measures would be required.

(1) Less than 20% natural stone
(2) Less than 90% masonry material
(3) Greater than 10% secondary material
(4) Horizontal articulation
(5) Vertical articulation

Examples of compensatory measures are using natural stone for more than 20% of the facades, increasing articulation, an increased number or size of landscaping, etc. Subsection 09.01. of Article 11 lists some other examples of compensatory measures.

I.14 Please note that failure to address all comments provided by staff by 3:00 PM on April 5, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 5, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 12, 2022 Planning & Zoning Meeting.
I.16 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on March 29, 2022.
2) Planning & Zoning meeting/public hearing meeting will be held on April 12, 2022.

I.17 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Approved w/ Comments

03/23/2022: The following items are informational for the engineering design process.
General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Roadway Paving Items:
- Driveway to be steel reinforced concrete.
- Drive isles to be 24' wide minimum. Fire lane radii to be 20'.
- All parking 20'x9'.
- Quail Run pro-rata = $40,520.65

Water and Wastewater Items:
- Must loop 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)

Drainage Items:
- Detention is required.
- Manning's C-value is per zoning type.
- Must have a flood study if you touch the floodplain. Review fees apply. Paving to be 1' above the floodplain elevation, building to be 2' above.
-Establish Erosion Hazard Setback and drainage easements.
- No vertical walls allowed in detention.
- Dumpster to drain to oil/water separator and then to the storm lines.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved w/ Comments

03/22/2022: 1) FDC must be within 100-feet of a fire hydrant.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved w/ Comments

03/21/2022: Shell addresses will be: Bldg B= 159 East Quail Run Rd. Rockwall, TX 75087., Bldg C= 165 East Quail Run Rd. Rockwall, TX 75087

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	03/23/2022	Approved w/ Comments

03/23/2022: http://www.rockwall.com/pz/Planning/Development%20Cases/2022/SP2022-012.pdf

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved w/ Comments

03/21/2022: 1. tree mitigation approved

2. landscape plan approved: there are several new varieties of turfgrass that are more shade and drought tolerant than tifway 419

3. sidewalk running through landscape?

4. landscape berm required.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☒ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST ($100.00)

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: not yet assigned*

SUBDIVISION: LOT: BLOCK:

GENERAL LOCATION: NEC E Quail Run Road and 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-70
PROPOSED ZONING: PD-70
ACREAGE: 8.684 AC LOTS [CURRENT]:

CURRENT USE: Undeveloped land
PROPOSED USE: Commercial (Retail)
LOTS [PROPOSED]:

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER
CONTACT PERSON:
ADDRESS:
CITY, STATE & ZIP:
PHONE:
E-MAIL:

☒ APPLICANT: DuWest Realty, LLC
CONTACT PERSON: Bowen Hendrix
ADDRESS: 4403 North Central Expressway
Suite 200
CITY, STATE & ZIP: Dallas, TX 75025
PHONE: (214) 918-1804
E-MAIL: bowen@duwestrealty.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 230.26 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 11 *DAY OF* January *2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 *DAY OF* January *20*22

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Lisa Caldwell

LISA DIANE CALDWELL
Notary ID #742049
My Commission Expires
May 26, 2025

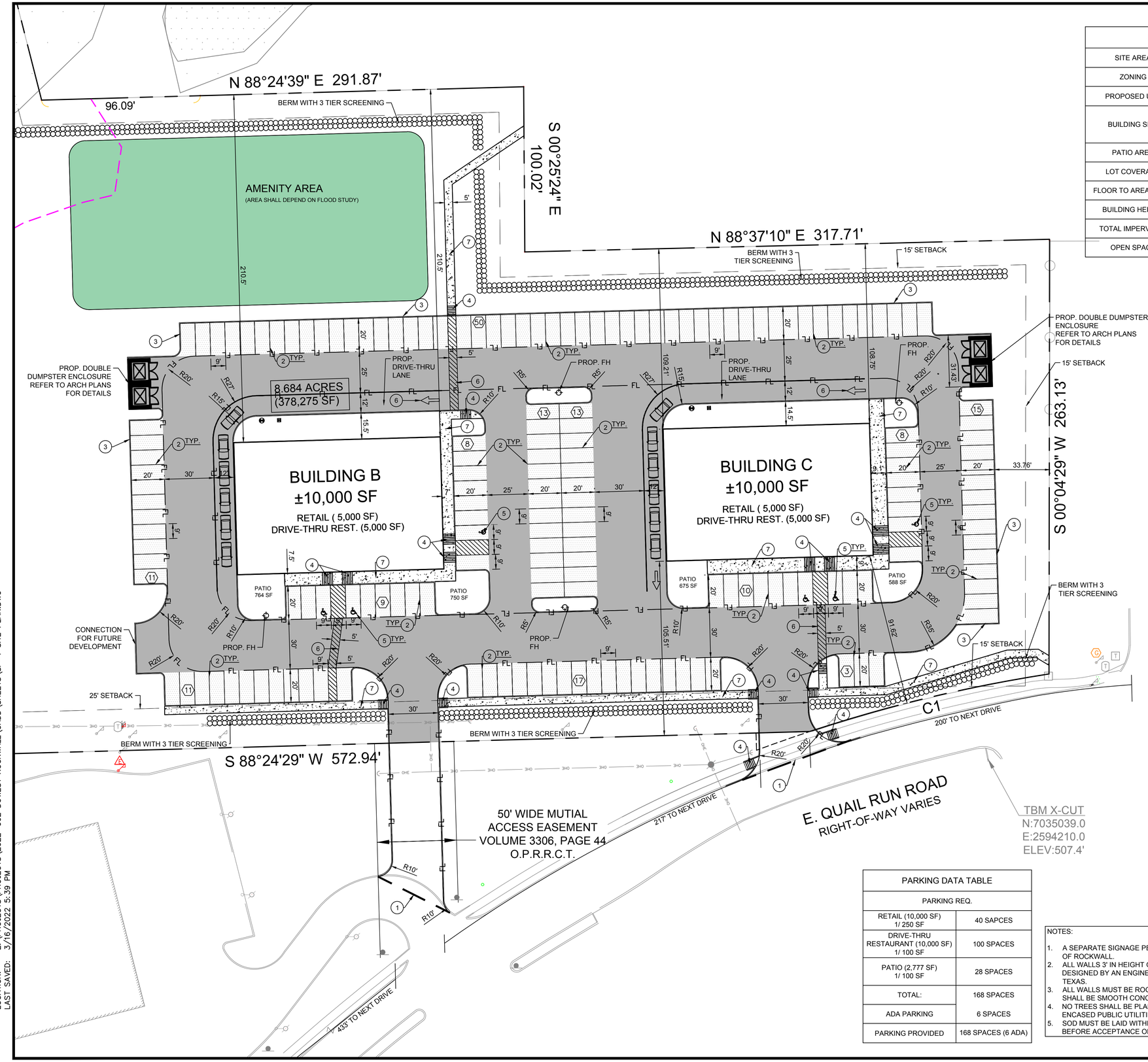
MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

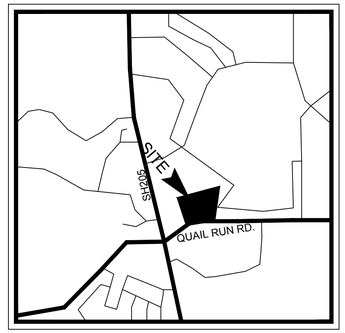


SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 10,000 SF
	BUILDING C- 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2 %
FLOOR TO AREA RATIO	0.05 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

GRAPHIC SCALE

30 0 15 30 60

1 inch = 30 ft.



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE
	PROPOSED SAWCUT
4	PARKING COUNT

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (10,000 SF) 1/ 250 SF	40 SAPCES
DRIVE-THRU RESTAURANT (10,000 SF) 1/ 100 SF	100 SPACES
PATIO (2,777 SF) 1/ 100 SF	28 SPACES
TOTAL:	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:

DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/16/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

CITY SITE PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	3/16/2022

SHEET

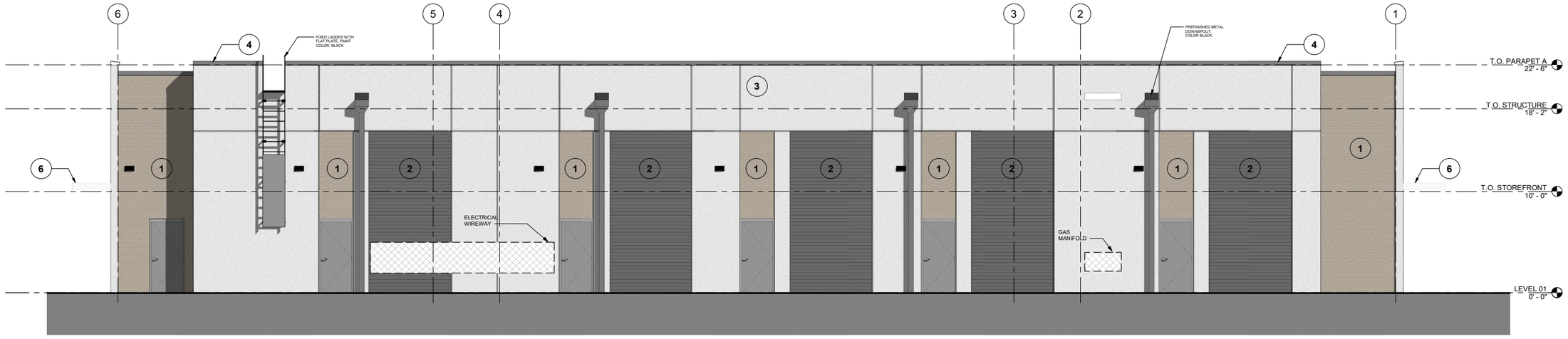
SP-1

File No. 2020-021

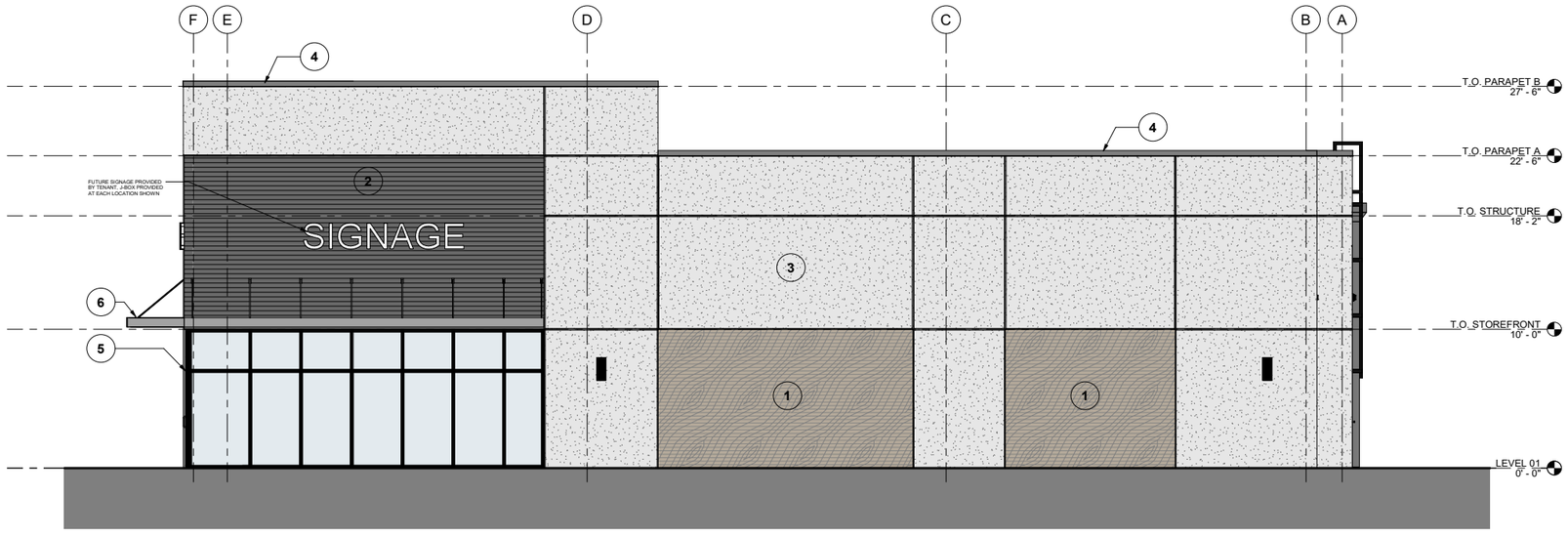
CASE # Z2022-003

PLOTTED BY: LYNN ROWLAND
PLOT DATE: 3/16/2022 7:09 PM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 3/16/2022 5:39 PM

ELEVATIONS



3 DESIGN SIGN OFF - NORTH ELEVATION
1/4" = 1'-0"



4 DESIGN SIGN OFF - EAST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION MATERIAL CALCULATION

ELEVATION	ARCH METAL	LAP SIDING	EIFS	GLAZING	TOTAL
NORTH	457 SF = 17%	638 SF = 23%	1665 SF = 60%	0 SF = 0%	2760 SF
SOUTH	225 SF = 7%	879 SF = 26%	1288 SF = 38%	985 SF = 29%	3377 SF
EAST	300 SF =15%	317 SF =16%	1151 SF = 56%	253 SF = 13%	2021 SF
WEST	284 SF = 14%	317 SF = 16%	1151 SF = 56%	269 SF =14%	2021 SF
TOTAL	1266 SF = 12%	2151 SF = 21%	5255 SF = 52%	1507 SF = 15%	10,179 SF

LEGEND

1. MAC METAL PANEL
   BOD: SMOKED BIRCH
2. LAP SIDING
   BOD: HARDIE PLANK LAP SIDING SMOOTH
   COLOR: NIGHT GRAY
3. EIFS W/ FIBERGLASS MESH
   BOD: CREAM
4. PREFINISHED COPING CAPS
5. STOREFRONT SYSTEM, BLACK ANODIZED
6. PREFINISHED METAL CANOPY

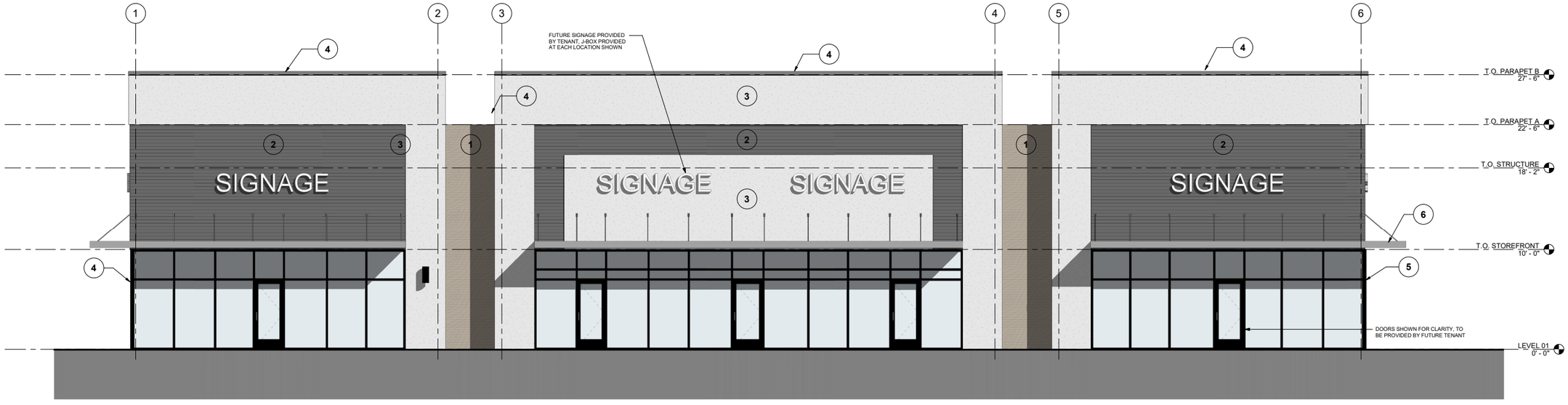
DUWEST ROCKWALL - DESIGN SIGN-OFF | ROCKWALL, TX

modus architecture

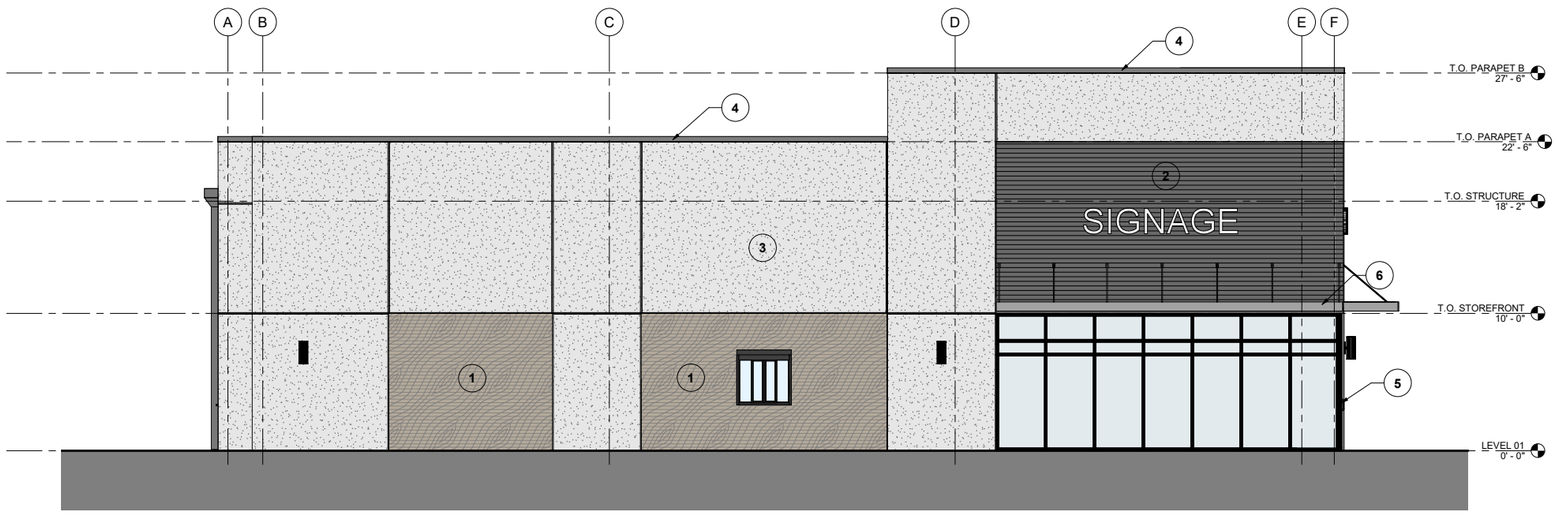
THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE:03/18/2022

ELEVATIONS



3 DESIGN SIGN OFF - SOUTH ELEVATION
1/4" = 1'-0"



4 DESIGN SIGN OFF - WEST ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATION MATERIAL CALCULATION

ELEVATION	ARCH METAL	LAP SIDING	EIFS	GLAZING	TOTAL
NORTH	457 SF = 17%	638 SF = 23%	1665 SF = 60%	0 SF = 0%	2760 SF
SOUTH	225 SF = 7%	879 SF = 26%	1288 SF = 38%	985 SF = 29%	3377 SF
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TOTAL	1266 SF = 12%	2151 SF = 21%	5255 SF = 52%	1507 SF = 15%	10,179 SF

LEGEND

1. MAC METAL PANEL
   BOD: SMOKED BIRCH
2. LAP SIDING
   BOD: HARDIE PLANK LAP SIDING SMOOTH
   COLOR: NIGHT GRAY
3. EIFS W/ FIBERGLASS MESH
   BOD: CREAM
4. PREFINISHED COPING CAPS
5. STOREFRONT SYSTEM, BLACK ANODIZED
6. PREFINISHED METAL CANOPY

DUWEST ROCKWALL - DESIGN SIGN-OFF | ROCKWALL, TX

modus architecture

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DATE:03/18/2022

MATERIALS



MAC - METAL PANEL - SMOKED BIRCH



HARDIE PLANK SMOOTH LAP SIDING - NIGHT GRAY



STUCCO - SW #6063 NICE WHITE



DUWEST ROCKWALL - DESIGN SIGN-OFF | ROCKWALL, TX

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

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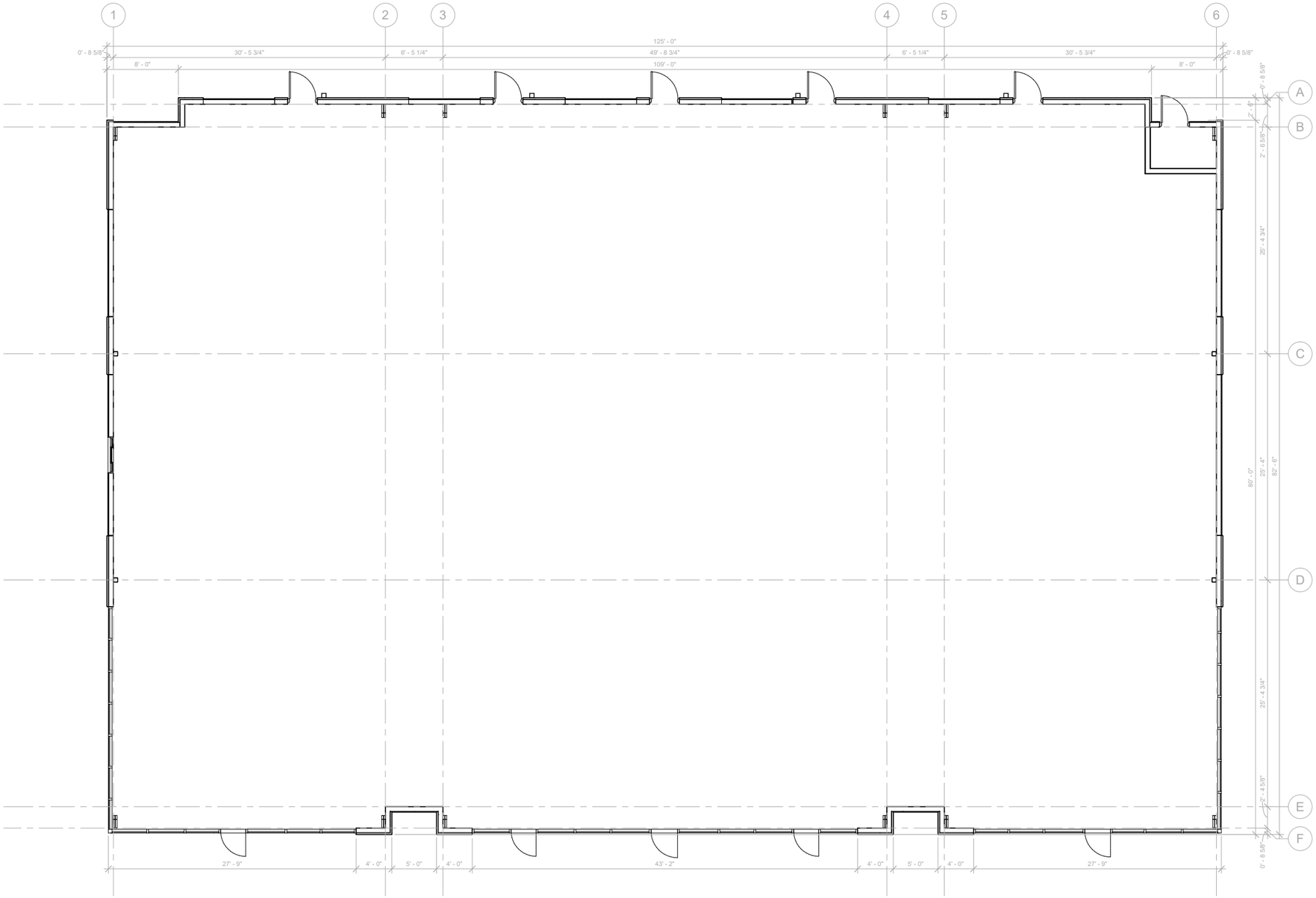
DATE:03/18/2022

FLOOR PLAN



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DATE:03/18/2022

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	29	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16`-18` HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14`-16` HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14`-16` HT

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	6	LAGERSTROEMIA INDICA CRAPE MYRTLE 3-5 STEMS, UPRIGHT	2" CAL MIN	8` -10` HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8` -10` HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	84	HESPERALOE PARVIFLORA RED YUCCA	3 GAL
	60	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL
	27	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL
	93	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
	61,845 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
E. QUAIL RUN RD.: ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
PROVIDED 10' BUFFER:	2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE 3 ACCENT TREES W/ BERM AND SHRUBS

05.02 LANDSCAPE SCREENING

REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
SCREENING FROM RESIDENTIAL	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT

TOTAL SITE AREA:	±192,080 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	38,416 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	± 76,804 SF (40%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±5,011 SF
PROPOSED PARKING LOT LANDSCAPING:	±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR MULCHED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	466"
MITIGATION PROVIDED BY PLANTING (94) 4" CALIPER TREES ONSITE:	376"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	93.2"
(93.2" x $200 = $18,640 PAYMENT INTO THE CITY'S TREE FUND)	
TOTAL MITIGATION PROVIDED:	469.2"

Scale 1" = 40'

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS
03/17/2022

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
180 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 3/17/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

LANDSCAPE PLANTING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	03/17/2022

SHEET
LP-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/17/2022 11:44 AM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP.DWG
LAST SAVED: 3/17/2022 11:43 AM

PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
   1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
   2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
   3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK
   1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
   2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
   3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

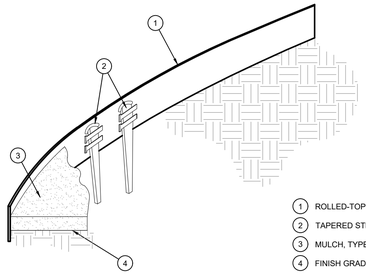
PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
   1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
   2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
   3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
   4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
   5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
   6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
   7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
   8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
   1. STAKES: 6' LONG GREEN METAL T-POSTS.
   2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
   3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
   1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
   2. SOIL TESTING:
      a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
      b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
      c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
      d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
   3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
   4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
      a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
         i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
         ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
         iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
         i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
         ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
         iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
         iv. IRON SULPHATE - 2 LBS. PER CU. YD.
   5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
      a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
      b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
      c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
      d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
   6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

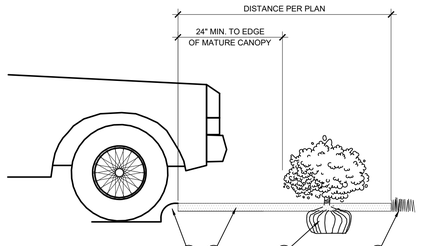
B. SUBMITTALS
   1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
   2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
   3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
   4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
C. GENERAL PLANTING
   1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
   2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
   3. TRENCHING NEAR EXISTING TREES:
      a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
      b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
      c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
      d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
D. TREE PLANTING
   1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
   2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
   3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
   4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
   5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
   6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
      a. 1"-2" TREES — TWO STAKES PER TREE
      b. 2-1/2"-4" TREES — THREE STAKES PER TREE
      c. TREES OVER 4" CALIPER — GUY AS NEEDED
      d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
      e. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
   7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
   1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
   2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
   3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
   1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
   2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
   3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
   4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
   5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
   1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
   2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
   1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
   2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
   1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
   2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
   3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
   1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
   2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
   3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
      a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
      b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
      c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
   1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (60 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
   2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

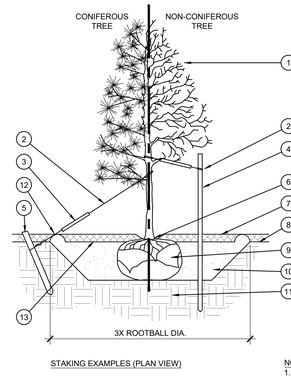
NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
SCALE: NOT TO SCALE



1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

E PLANTING AT PARKING AREA
SCALE: NOT TO SCALE

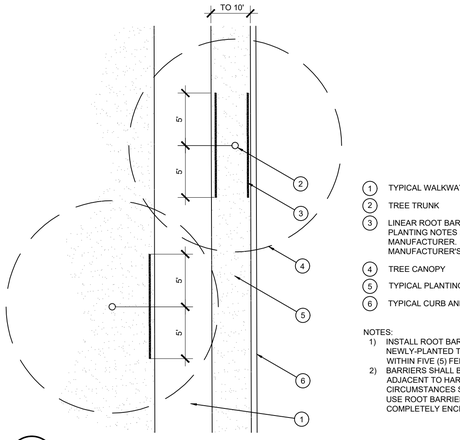


1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

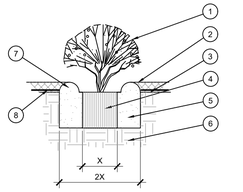
A TREE PLANTING
SCALE: NOT TO SCALE



1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.
8. WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS

TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
(1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
(2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
(3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

(B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.

(C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.

(D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.

(E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.

(F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.

(G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

LEGEND

- 5099 INDICATES TREE TAG NUMBER
- EXISTING TREES TO BE PROTECTED IN PLACE
- TREE PROTECTION FENCE
- 5101 INDICATES TREE TAG NUMBER
- EXISTING TREE TO BE REMOVED

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	466"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES ONSITE:	376"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL):	93.2"
(186.4" x $200 = $37,280 PAYMENT INTO THE CITY'S TREE FUND)	
TOTAL MITIGATION PROVIDED:	469.2"

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES

Scale 1" = 40'

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS
03/17/2022

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/17/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 03/17/2022
SHEET
TD-1
File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/17/2022 11:48 AM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD.DWG
LAST SAVED: 3/17/2022 11:48 AM

EXISTING TREE SURVEY

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY	10
5020	HACKBERRY	10
5021	HACKBERRY	11
5022	HACKBERRY	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY	8
5026	HACKBERRY	14
5027	HACKBERRY	10
5028	BOIS D'ARC **	12
5029	HACKBERRY	8
5030	HACKBERRY	7
5031	HACKBERRY	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY	10
5039	BOIS D'ARC **	14
5040	HACKBERRY	10
5041	HACKBERRY	10
5042	HACKBERRY	10
5043	HACKBERRY	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW **	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
5074	ELM	14
5075	HACKBERRY	6
5076	HACKBERRY	12
5077	HACKBERRY	17
5078	HACKBERRY	12
5079	HERCULES CLUB	8
5080	HACKBERRY	13
5081	BOIS D'ARC**	22
5082	BOIS D'ARC**	23
5083	BOIS D'ARC**	19
5084	BOIS D'ARC**	26
5085	BOIS D'ARC**	38
5086	BOIS D'ARC**	22
5087	BOIS D'ARC**	12
5088	BOIS D'ARC**	20
TOTAL CALIPER INCHES		1,457
CALIPER INCHES NON-PROTECTED		454
TOTAL CALIPER INCHES PROTECTED		1,003
TOTAL CALIPER INCHES REMOVED*		228
TOTAL CALIPER INCHES PRESERVED		775
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
**NON-PROTECTED TREES

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5089	BOIS D'ARC**	23
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY	8
5095	HACKBERRY	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY	10
5104	HACKBERRY	6
5105	HACKBERRY	12
5106	HACKBERRY	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY	6
5114	HACKBERRY	9
5115	HERCULES CLUB	6
5116	HACKBERRY	8
5117	BOIS D'ARC**	36
5118	LOCUST**	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY	8
5123	HACKBERRY	6
5124	BOIS D'ARC**	18
5125	HACKBERRY	10
5126	HACKBERRY	10
5127	HACKBERRY	10
5128	HACKBERRY	6
5129	HACKBERRY	12
5130	HACKBERRY	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR	7
5147	BOIS D'ARC**	10
5148	HACKBERRY	10
5149	BOIS D'ARC**	10
5150	HACKBERRY	7
5151	ELM	10
5152	HACKBERRY	7
5153	CEDAR	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR	8
5163	HERCULES CLUB	8
5164	CEDAR	10
5165	CEDAR	8
5166	CEDAR	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR	9
5170	CEDAR	10
5171	BOIS D'ARC **	40
5172	CEDAR	12
5173	CEDAR	7
5174	BOIS D'ARC**	31
5175	CEDAR	8
TOTAL CALIPER INCHES		1,198
CALIPER INCHES NON-PROTECTED		774
TOTAL CALIPER INCHES PROTECTED		424
TOTAL CALIPER INCHES REMOVED*		277
TOTAL CALIPER INCHES PRESERVED		147
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY	8
5177	CEDAR	6
5178	BOIS D'ARC**	21
5179	HACKBERRY	8
5180	HACKBERRY	8
5181	CEDAR	10
5182	BOIS D'ARC**	14
5183	CEDAR	6
5184	BOIS D'ARC**	26
5185	HACKBERRY	10
5186	BOIS D'ARC**	10
5187	HACKBERRY	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC**	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC**	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY	8
5199	HACKBERRY	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW**	13
5207	WILLOW**	12
5208	WILLOW **	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY	10
5213	BOIS D'ARC **	28
5214	HACKBERRY	10
5215	HACKBERRY	10
5216	HACKBERRY	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14
5221	BOIS D'ARC**	24
5222	BOIS D'ARC**	30
5223	BOIS D'ARC**	38
5224	BOIS D'ARC**	39
5225	BOIS D'ARC**	26
5226	HACKBERRY	6
5227	BOIS D'ARC**	6
5228	BOIS D'ARC**	36
5229	PECAN	35
5230	PECAN	30
5231	PECAN	18
5232	PECAN	21
5233	PECAN	22
5234	PECAN	25
5235	PECAN	20
5236	PECAN	25
5237	PECAN	19
5238	PECAN	31
5239	PECAN	29
5240	PECAN	33
5241	PECAN	34
5242	CEDAR	12
5243	PECAN	21
5244	PECAN	23
5245	ELM	9
5246	PECAN	55
5247	PECAN	21
5248	PECAN	18
5249	PECAN	18
5250	PECAN	33
5251	PECAN	22
5252	PECAN	19
5253	PECAN	34
5254	PECAN	28
5255	CEDAR	10
5256	PECAN	11
5257	PECAN	20
5258	PECAN	30
5259	PECAN	25
5260	PECAN	15
5261	PECAN	22
5262	PECAN	30
5263	PECAN	20
TOTAL CALIPER INCHES		1,645
CALIPER INCHES NON-PROTECTED		627
TOTAL CALIPER INCHES PROTECTED		1,018
TOTAL CALIPER INCHES REMOVED*		0
TOTAL CALIPER INCHES PRESERVED		1,018
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS

03/17/2022

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

PRELIMINARY
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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/17/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN
EXISTING TREE INVENTORY

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	03/17/2022

SHEET
TD-2

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 3/17/2022 11:53 AM
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TREE PROTECTION SPECIFICATIONS

MATERIALS

1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.

3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.

4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.

5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

7. WITHIN THE CRZ:
   a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
   b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
   c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
   d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
   e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
   f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.

10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES

11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.

12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.

13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.

14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.

15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

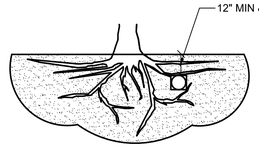
16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

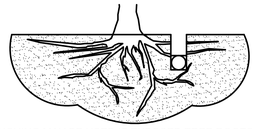
18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS TROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



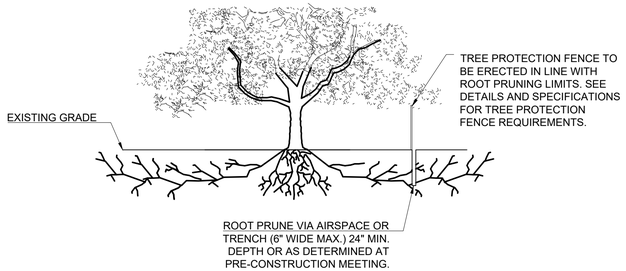
OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE

SCALE: NOT TO SCALE

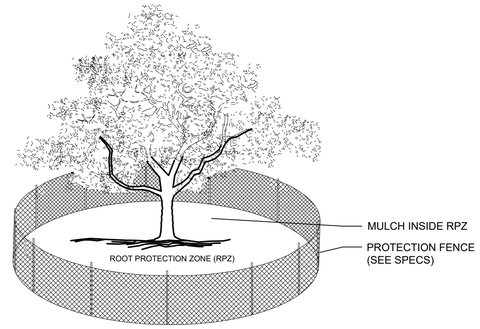
NOTES

1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



D ROOT PRUNING DETAIL

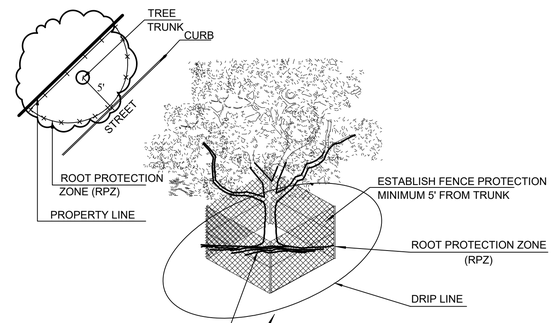
SCALE: NOT TO SCALE



NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE

SCALE: NOT TO SCALE



NOTES:
1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION

SCALE: NOT TO SCALE

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY B. BRANDON
3423
STATE OF TEXAS

03/17/2022

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/17/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN
DETAILS & SPECIFICATIONS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	03/17/2022

SHEET
TD-3

File No. 2020-021

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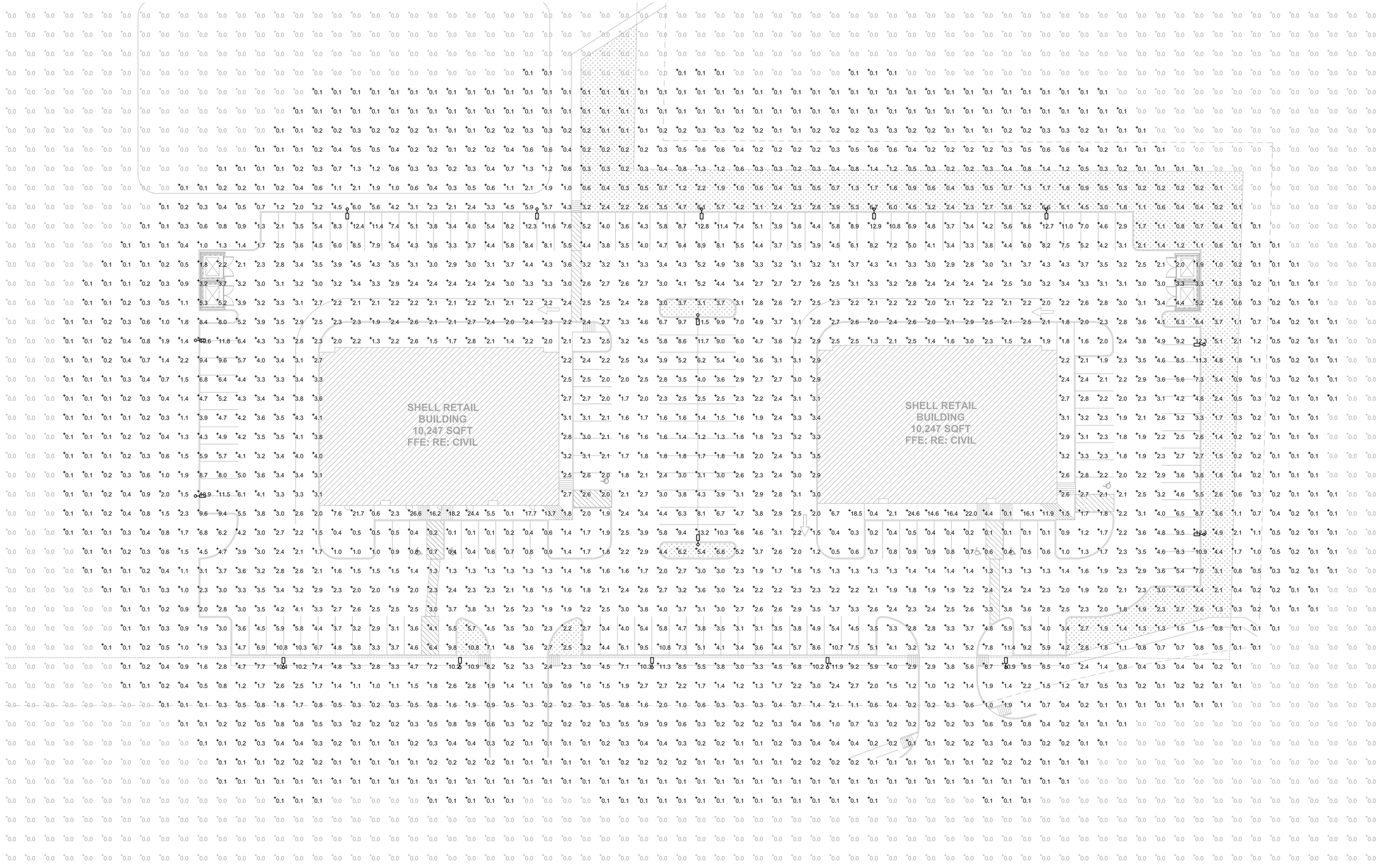


1 SITE PLAN - PHOTOMETRICS
SCALE: 1"=20'-0"

modus
211 N. ERVAY ST.
SUITE 610
DALLAS, TX 75201
t.314.322.6864
www.modusarchitect.com

PERMIT SET

DUWEST ROCKWALL - RETAIL SHELL

N.E. CORNER OF STATE HWY 205 AND
E. QUAIL RUN RD. ROCKWALL, TX 75087

ISSUE DATE:	03/16/2022
MODUS JOB #:	210409

REVISION DATES:

STATE OF TEXAS
STRIDER E. STEELE
108903
LICENSED
PROFESSIONAL ENGINEER
03/16/2022

SHEET NUMBER

PH1.01

SHEET NAME

SITE PLAN PHOTOMETRICS

V3 CONSULTING ENGINEERS
VIGILANT - VIABLE - VIRTUOUS
TEXAS REGISTRATION # F-20374
V3 PROJECT #: 22020

POB

N 75°41'15" E 310.00'

S 14°18'45" E 256.58'

N 88°24'39" E 291.87'

96.09'

S 00°35'24" E 100.02'

N 88°37'10" E 317.71'

S 00°04'29" W 263.13'

S 88°24'29" W 572.94'

N 14°18'55" W 490.04'

N 54°44'31" W 165.14'

EX. 18" RCP

EX. 12" WL

CONNECT TO EX SSWR MH

CONNECT TO EX 12" WL

CONNECT TO EX. 8" WL

TBM X-CUT
N:7035413.6
E:2593216.9
ELEV:486.4'

STATE HIGHWAY 205
100' RIGHT-OF-WAY

TBM X-CUT
N:7035023.1
E:2593510.9
ELEV:489.6'

TBM X-CUT
N:7035039.0
E:2594210.0
ELEV:507.4'

AMENTITY AREA

PROP. 1-CONCRETE HEADWALL

PROP. 24" RCP

PROP. 1-5' CURB INLET

PROP. 8" SSWR

PROP. MH

PROP. 12" WL

2" WL

PROP. IRR. METER

6" FIRE

PROP. DOM. METER

FH

BUILDING B
±10,000 SF
RETAIL (5,000 SF)
DRIVE-THRU REST. (5,000 SF)

BUILDING C
±10,000 SF
RETAIL (5,000 SF)
DRIVE-THRU REST. (5,000 SF)

25' WIDE MUTUAL ACCESS ESMT

50' WIDE MUTUAL ACCESS ESMT

ONE STORY BRICK BUILDING
FINISHED FLOOR ELEV. = 492.1'
BUILDING HEIGHT = 35.1'
FROM FINISHED FLOOR ELEV.

C1

C2

EX. 30" FM

E. QUAIL RUN ROAD
RIGHT-OF-WAY VARIES

GRAPHIC SCALE
50 0 25 50 100
1 inch = 50 ft.

LEGEND	
W	EXISTING WATER MAIN
SS (S)	EXISTING SANITARY SEWER AND MANHOLE
W	PROPOSED WATER LINE
SS (S)	PROPOSED SANITARY SEWER LINE AND MANHOLE
SS	PROPOSED SANITARY SEWER LINE AND CLEAN OUT
COMM	PROPOSED COMMUNICATION LINE
UGE	PROPOSED UNDERGROUND ELECTRICAL LINE
OHC	EXISTING OVERHEAD POWER LINE

LEGEND	
695	EX. CONTOURS
	STORM DRAIN
	CURB INLET

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 3/16/2022

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

PRELIMINARY UTILITY PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	3/16/2022

SHEET
C-1

File No. 2020-021

CASE # Z2022-003

PLOTTED BY: AMIRA ABDALLAH
PLOT DATE: 3/16/2022 2:29 PM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\PRELIMINARY UTILITY PLAN.DWG
LAST SAVED: 3/16/2022 1:54 PM

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	SP2022-013	CASE MANAGER:	Bethany ross
PROJECT NAME:	Site Plan for Alliance Addition	CASE MANAGER PHONE:	(972) 772-6488
SITE ADDRESS/LOCATIONS:		CASE MANAGER EMAIL:	bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Cameron Slown, PE of Teague, Nall, and Perkins, Inc. on behalf of Randall Noe of Rockwall Rental Properties, LP for the approval of a Site Plan for eight (8) Office Buildings on a 2.768-acre parcel of land identified as Lot 13, Block 1, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 6535, 6545 & 6605 Alliance Drive and 182, 194 & 214 Jeff Boyd Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany ross	03/25/2022	Approved w/ Comments

03/25/2022: SP2022-013; Site Plan for eight (8) Office Buildings
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for eight (8) Office Buildings on a 2.768-acre tract of land identified as Lot 13, Block 1, Alliance Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 57 (PD-57), addressed as 6535, 6545, 6595, & 6605 Alliance Drive and 182, 194, 202, & 214 Jeff Boyd Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. April 5, 2022 is the deadline to have all comments; please provide staff revised plans before April 5, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.4 Indicate the owner's name, address, and phone number in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 03.04. A, Article 11)

M.5 Indicate the name, address, and phone number of the person or company that prepared the plans in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 03.04. A, Article 11)

I.6 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.7 Site Plan:
(1) Indicate the legal description within the title block. (Subsection 03.04.A, of Article 11)
(2) Indicate all dimensions of the proposed buildings on site. (Subsection 03.04. B, of Article 11)
(3) Indicate distance between buildings and property lines. (Subsection 03.04. B, of Article 11)
(4) Label all properties lines. (Subsection 03.04.B of Article 11)
(5) The dumpster enclosure must include a self-latching gate and be faced with materials matching the primary structure. Wood is not a permitted material for dumpster enclosure gates. (Subsection 01.05. B, of Article 05)
(6) Dumpsters shall be oriented so as not to face a public street. The dumpster enclosures on Building Type A are currently oriented to face on to Jeff Boyd Road and Alliance

Drive. (Subsection 02.08, of PD-57)

M.8 Landscape Plan:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(2) Ensure all trees are planted far enough away from utility lines; confirm that the Engineering Standards are being met. (Subsection 05.03. E, of Article 08)
(3) Please add the symbol next to the plant list in the key so as to not clutter landscape plan.
(4) Indicate tree classification (i.e. canopy or accent) within plant list. See City of Rockwall Unified Development Code for correct classification. (Subsection 04, of Appendix C)
(5) Currently, the landscape plan shows 13 canopy and 25 accent trees along Jeff Boyd Road. The requirement is 17 canopy and 23 accent trees along Jeff Boyd Road. The landscape plan is currently deficient 4 canopy trees along Jeff Boyd Road (Subsection 2.5, of PD-57)
(6) Include a berm along Alliance Drive. (Subsection 05.01. B, of Article 08)
(7) Provide note indicating irrigation will meet requirements of the UDC. (Subsection 05.04, of Article 08)
(8) Screen A/C units with wing walls or landscaping that will completely impair visibility of the units from all public rights-of-way. (Subsection 01.05, of Article 05)

M.9 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(2) Included with the photometric plan must be lighting cut sheets for the light fixtures. (Subsection 03.04 of Article 07)
(3) All lighting fixtures shall focus light downward and be contained on the site. (Subsection 02.10, of PD-57)

M.10 Building Elevations:
(1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of the site plan checklist.
(2) Indicate the surface area of each façade and the percentage and square footage of each material used on that façade. (Subsection 04.01 of Article 5)
(3) Exterior walls should consist of 90% masonry materials. (Subsection 02.06, of PD-57)
(4) Remove glass and frames from all material calculations and adjust the material percentages.
(5) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements. (Subsection 04.01 of Article 5)
(6) Please carry the dumpster enclosures through on all elevations (i.e. Building Type A the dumpster is not shown on the back elevation).

I.11 Based on the materials submitted staff has identified the following exceptions for this project:
(1) Primary Materials. According to Subsection 02.06, of Planned Development 9 (PD-57), exterior walls should consist of 90% masonry materials.
(2) Building Articulation on Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C1. In this case the two (2) primary facades do not meet these standards.
(3) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades do not meet these standards.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures. (Subsection 09.02, of Article 11). Compensatory measures to consider:

(1) Higher caliper trees.
(2) Increased building articulation
(3) Increased architectural elements

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 5, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 7, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the March 29, 2022 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:
(1) Planning & Zoning Work Session meeting will be held on March 29, 2022.
(2) Planning & Zoning meeting/public hearing meeting will be held on April 12, 2022.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Needs Review

03/23/2022: - Include a small ROW clip at the northwest corner to include the sidewalk in Jeff Boyd ROW.
- SS can't be in detention easement. You'll need to keep this public line in a 20' easement on this property.
- SS to to connect perpendicular to existing SS Line. Do not angle across lot.
- SS to be public once crosses property lines. Min 20' Easement.

The following items are informational for the engineering design process.
General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:
- Must continue to drain per the existing drainage patterns/original design.

Water and Wastewater Items:
- Only one "use" can be off a dead-end water line (Domestic service, irrigation, fire hydrant, or fire line).
- May need a fire hydrant (check with the fire marshal's office)
- Dumpster area to drain to an oil/water separator or grease trap before draining to the storm lines.
- Sewer pro-rata of $432.74/acre.
- Additional water/sewer services might be required to be installed. Original plan was for 6 buildings.
- All services in ROW shall be bored or open cut with full panel concrete replacement.
- Water and sewer services and mains locations will need to be address during engineering.

Roadway Paving Items:
- Parking to be 20'x9'.
- Drive isles to be 24' wide.
- No dead-end parking allowed without a turnaround.
- Fire lane to have 20' min radius. Fire lane to be in a platted easement. If building is 30' or taller, the fire lane radii must be 30' minimum.
- Minimum 100' driveway spacing along Alliance and Jeff Boyd Roads.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Show all existing and proposed public water and sewer lines on landscape plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

BUILDING	Rusty McDowell	03/21/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/21/2022	Approved w/ Comments

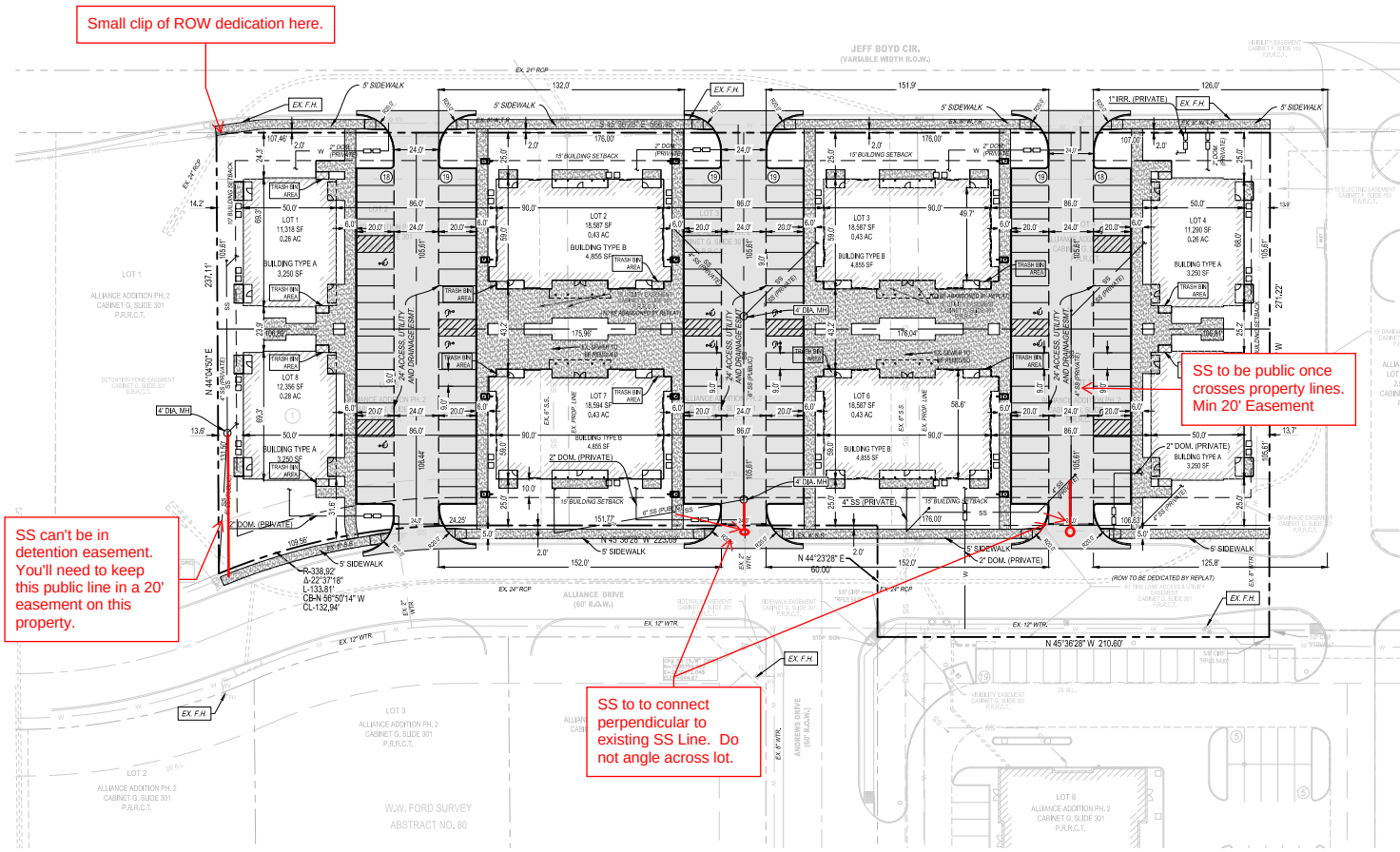
03/21/2022: +Address assignments are:+
Lot 1 182 Jeff Boyd Rd. Rockwall, TX 75032
Lot 2 194 Jeff Boyd Rd. Rockwall, TX 75032
Lot 3 202 Jeff Boyd Rd. Rockwall, TX 75032
Lot 4 214 Jeff Boyd Rd. Rockwall, TX 75032
Lot 5 6605 Alliance Dr. Rockwall, TX 75032
Lot 6 6595 Alliance Dr. Rockwall, TX 75032
Lot 7 6545 Alliance Dr. Rockwall, TX 75032
Lot 8 6535 Alliance Dr. Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	03/22/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	03/21/2022	Approved

No Comments



SITE INFORMATION	
LAND AREA:	2.768 ACRES (120,574 SF)
CURRENT ZONING:	PD-57
EXISTING USE:	UNUSED
PROPOSED USE:	COMMERCIAL
BUILDING AREA:	± 32,420 SF
BUILDING HEIGHT:	29'-8"
BUILDING TO LOT COVERAGE:	32,420/120,574=.269 -> 26.9%
BUILDING REQUIRED PARKING:	COMMERCIAL: 1/300 S.F = 108 SPACES
BUILDING PARKING PROVIDED:	112
IMPERVIOUS AREA:	92,260 SF
LANDSCAPE AREA REQUIRED:	15% OF TOTAL SITE
LANDSCAPE AREA PROVIDED:	28,372 SF (0.65 AC.) = 23.5% OF TOTAL SITE

LEGEND

- PROPOSED SIDEWALK
- PROPOSED STANDARD DUTY PAVEMENT
- PROPOSED LIGHT POLES
- PROPOSED WATER METER AND BACKFLOW
- PROPOSED SANITARY SEWER MANHOLE
- SCREENED TRASH BIN AREA

General Items:
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- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
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- Show all existing and proposed public water and sewer lines on landscape plan.

no.	revision	by	date

tnp

teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnpinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194388
GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.

CAMERON SLOWN, P.E. Date: 03/18/2022

Tx. Reg. # 106317

scale	
when bar is 1 inch long	
horiz	1"=30'
vert	N/A
MAR 2022	

NH LEGACY PARTNERS, LP.
P.O. BOX 818
Terrell, TX 75160

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS					
SUBDIVISION	Alliance Addition Phase 2	LOT	12-14	BLOCK	1
GENERAL LOCATION	Between intersections of Alliance Dr/H Wallace Ln and Jeff Boyd Rd/H Wallace Ln				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-57			CURRENT USE	
PROPOSED ZONING	PD-57			PROPOSED USE	Commercial
ACREAGE	2.768	LOTS [CURRENT]	3	LOTS [PROPOSED]	8

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Rockwall Rental Properties, L.P.	☒ APPLICANT	Teague, Nall, and Perkins, Inc.
CONTACT PERSON	Randall Noe	CONTACT PERSON	Cameron Slown, PE
ADDRESS	P.O. Box 818	ADDRESS	825 Watters Creek Blvd Suite M300
CITY, STATE & ZIP	Terrell, TX 75160	CITY, STATE & ZIP	Allen, TX 75013
PHONE	214.869.5862	PHONE	972.737.8720
E-MAIL		E-MAIL	cslown@tnpinc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RANDALL NOE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 305.36, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF MARCH, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF MARCH, 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

CHRISTINE LEANNE MARSDEN
My Notary ID # 133505232
Expires December 28, 2025

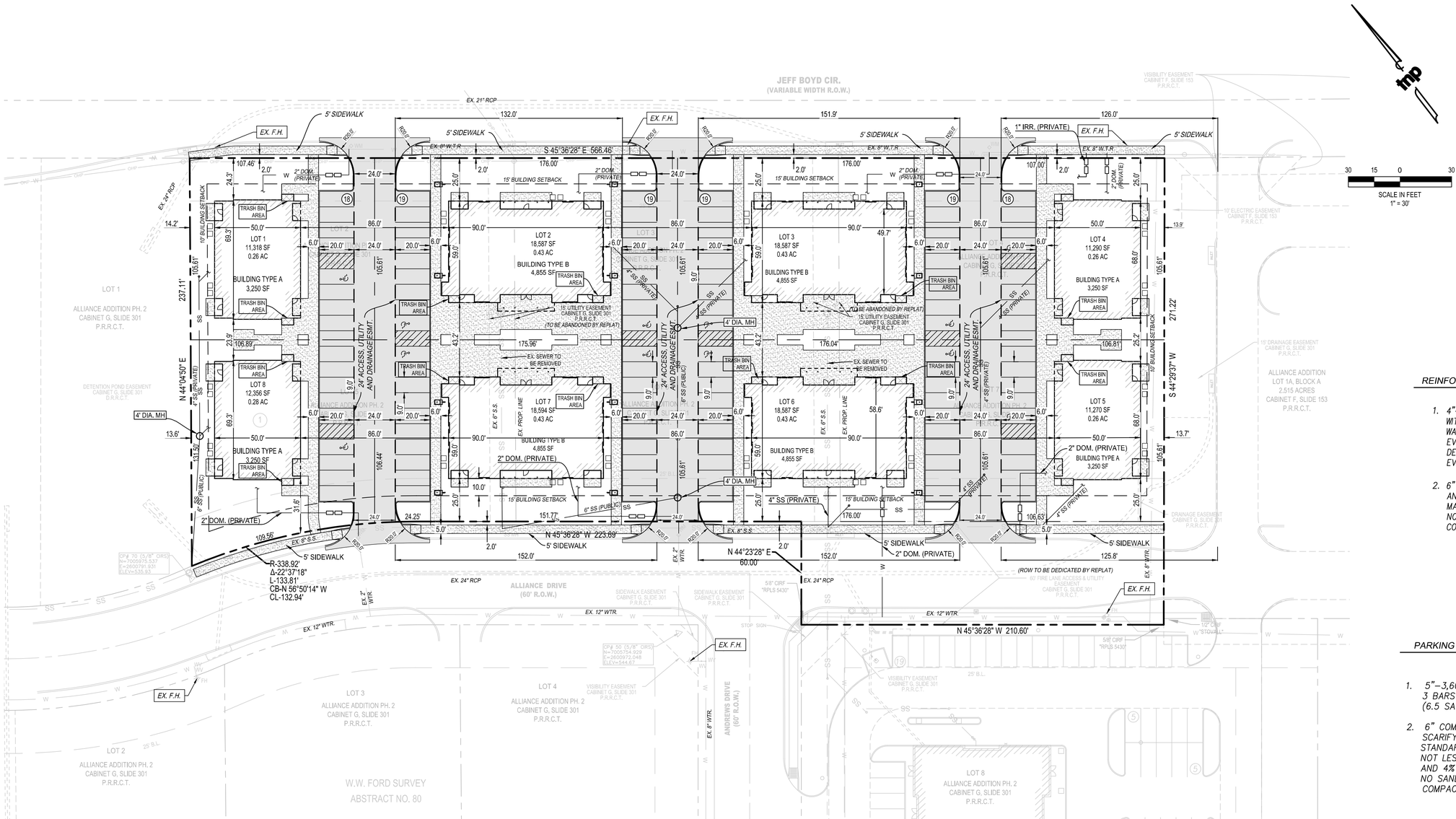
MY COMMISSION EXPIRES 12-28-2025

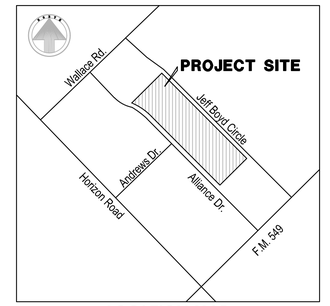


City of Rockwall

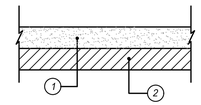
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



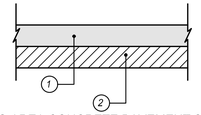


LOCATION MAP
N.T.S.



REINFORCED CONCRETE SIDEWALK SECTION
NTS

1. *4"–3,000 PSI CLASS "C" CONCRETE PAVEMENT WITH NO. 3 BARS @ 24" ON CENTER BOTH WAYS. EXPANSION JOINTS TO BE PROVIDED EVERY 115' AND AT ALL RADIUS POINTS. 1" DEEP SAW JOINTS TO BE CUT INTO SIDEWALK EVERY 5'. (5.5 SACK MIX MIN.)*
2. *6" COMPACTED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.*



PARKING AREA CONCRETE PAVEMENT SECTION
NTS

1. *5"–3,600 PSI CONCRETE PAVEMENT WITH NO. 3 BARS @ 18" ON CENTER BOTH WAYS. (6.5 SACK MIX MIN.)*
2. *6" COMPACTED LIME STABILIZED SUBGRADE. SCARIFY 6" DEEP AND COMPACT TO A STANDARD PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95% AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE COMPACTED WITH A SHEEP'S FOOT ROLLER.*

SITE INFORMATION

LAND AREA:	*2.768 ACRES (120,574 SF)*
CURRENT ZONING:	*PD-57*
EXISTING USE:	*UNUSED*
PROPOSED USE:	*COMMERCIAL*
BUILDING AREA:	*± 32,420 SF*
BUILDING HEIGHT:	*29'-8"*
BUILDING TO LOT COVERAGE:	*32,420/120,574=.269 -> 26.9%*
BUILDING REQUIRED PARKING:	*COMMERCIAL: 1/300 S.F = 108 SPACES*
BUILDING PARKING PROVIDED:	*112*
IMPERVIOUS AREA:	*92,260 SF*
LANDSCAPE AREA REQUIRED:	*15% OF TOTAL SITE*
LANDSCAPE AREA PROVIDED:	*28,372 SF (0.65 AC.) = 23.5% OF TOTAL SITE*

LEGEND

- *PROPOSED SIDEWALK*
- *PROPOSED STANDARD DUTY PAVEMENT*
- *PROPOSED LIGHT POLES*
- *PROPOSED WATER METER AND BACKFLOW*
- *PROPOSED SANITARY SEWER MANHOLE*
- *SCREENED TRASH BIN AREA*

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

Witness our hands this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman *Director of Planning & Zoning*

CASE NUMBER: SP2022-xxx

NOT FOR CONSTRUCTION

no.	revision	by	date

teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnpinc.com
TBPELS: ENGR F-230; SURV 10011600, 10011601, 10019438
GBPE: PEF007431; TBAE: BR 2673

This document is for interim review and is not intended for construction, bidding or permit purposes.

CAMERON SLOWN, P.E. Date: 03/18/2022

Tx. Reg. # 106317

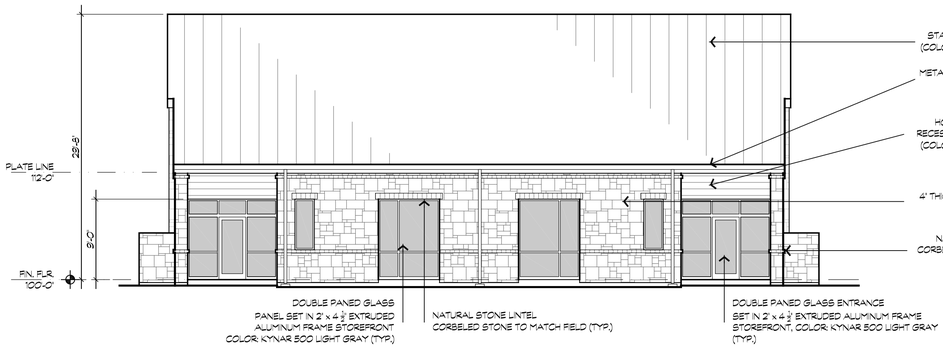
scale
when bar is 1 inch long
horiz 1"=30'
vert N/A
MAR 2022

NH LEGACY PARTNERS, LP.
P.O. BOX 818
Terrell, TX 75160

Rockwall, Texas
Improvements for
ALLIANCE DRIVE - 8-LOT DEVELOPMENT
SITE PLAN

tnp project RNP22123
sheet 1 of 1

Drawing: Q:\Projects\2022\Randall Noe - Alliance\CAD\SHEETS\RNP22123 -SITE PLAN.dwg at Mar 18, 2022 - 10:55am by cslown

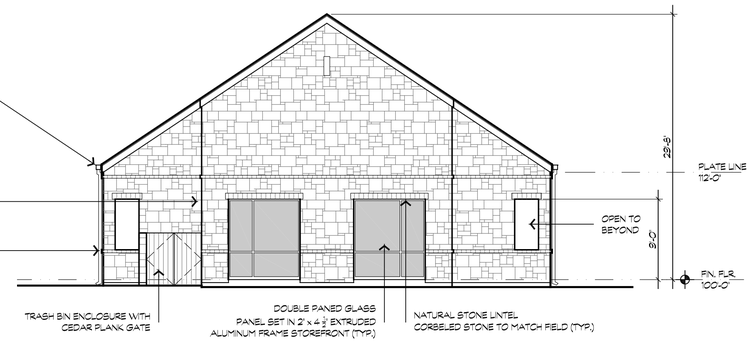


1 A3.01 Building "A" Front Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 405 S.F. (51%)
GLASS AND FRAME: 328 S.F. (41%)
METAL PANEL: 58 S.F. (8%)
TOTAL BUILDING FACADE AREA: 791 S.F.



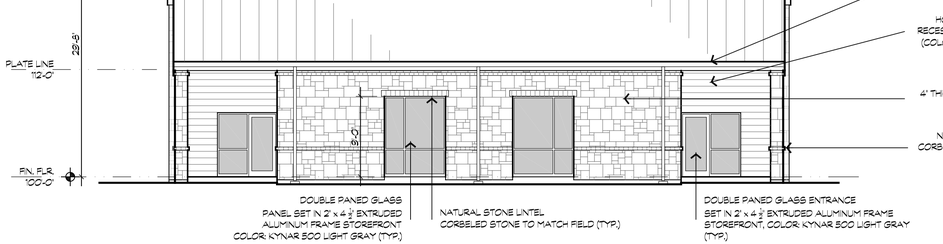
4 A3.01 Building "A" Right Elevation, North or South

Scale: 1/8" = 1'-0"

Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 669 S.F. (86%)
GLASS AND FRAME: 144 S.F. (14%)
TOTAL BUILDING FACADE AREA: 1,033 S.F.



3 A3.01 Building "A" Back Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 428 S.F. (54%)
GLASS AND FRAME: 220 S.F. (28%)
METAL PANEL: 142 S.F. (18%)
TOTAL BUILDING FACADE AREA: 791 S.F.



2 A3.01 Building "A" Left Elevation, North or South

Scale: 1/8" = 1'-0"

Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 889 S.F. (86%)
GLASS AND FRAME: 144 S.F. (14%)
TOTAL BUILDING FACADE AREA: 1033 S.F.

Case Number XXX

Seitz Architects, Inc.
506 Meadowlake Lane, Heath, Texas 75032
214.537.9981 www.seitzarchitects.com

2022

Alliance Drive Development
Address
Rockwall, Texas

file #
21-011 Elevations

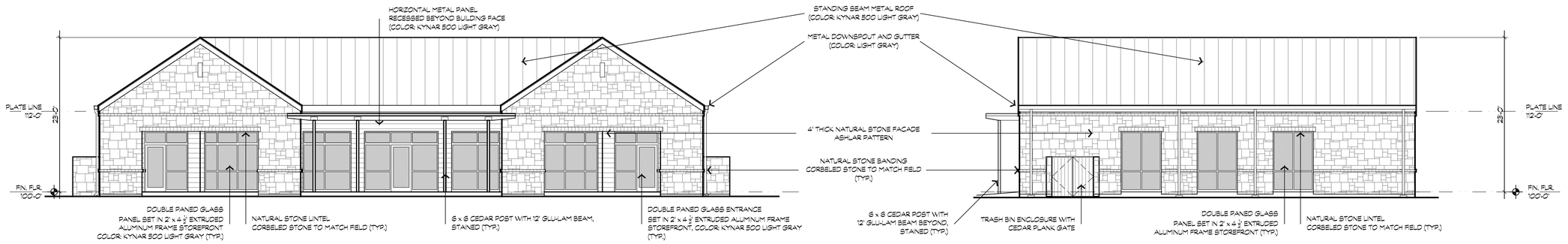
project #
21-011

date
18 March 2022

revisions

sheet

A3.01



1 A3.01 **Building "B" Front Elevation, North or South**

Scale: 1/8" = 1'-0"

MATERIALS:

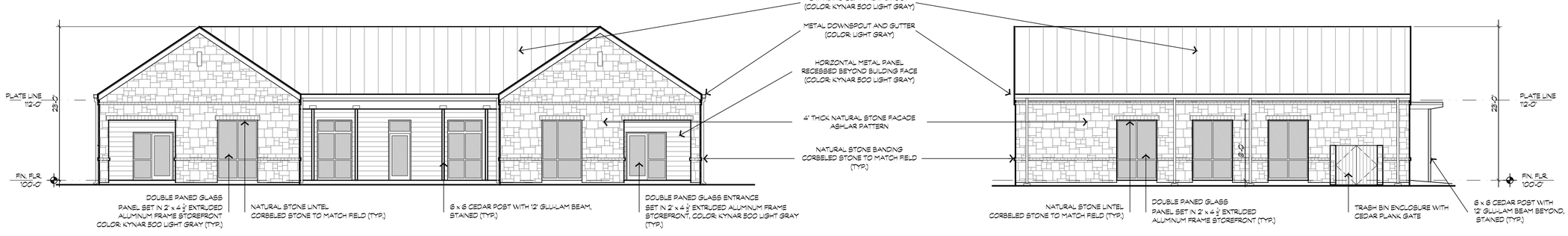
MASONRY AREA: 728 S.F. (53%)
GLASS AND FRAME: 481 S.F. (35%)
METAL PANEL: 171 S.F. (12%)
TOTAL BUILDING FACADE AREA: 1380 S.F.

4 A3.01 **Building "B" Right Elevation, East or West**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 558 S.F. (78%)
GLASS AND FRAME: 162 S.F. (22%)
TOTAL BUILDING FACADE AREA: 721 S.F.



1 A3.01 **Building "B" Back Elevation, North or South**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 746 S.F. (54%)
GLASS AND FRAME: 316 S.F. (23%)
METAL PANEL: 326 S.F. (23%)
TOTAL BUILDING FACADE AREA: 1380 S.F.

4 A3.01 **Building "B" Left Elevation, East or West**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 558 S.F. (78%)
GLASS AND FRAME: 162 S.F. (22%)
TOTAL BUILDING FACADE AREA: 721 S.F.

Case Number XXX

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revisions

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A3.02



1 A3.01 Front Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 405 S.F. (51%)
GLASS AND FRAME: 326 S.F. (41%)
METAL PANEL: 58 S.F. (8%)
TOTAL BULDING FACADE AREA: 791 S.F.



4 A3.01 Right Elevation, North or South

Scale: 1/8" = 1'-0"

Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 889 S.F. (86%)
GLASS AND FRAME: 144 S.F. (14%)
TOTAL BULDING FACADE AREA: 1,033 S.F.

3 A3.01 Back Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 428 S.F. (54%)
GLASS AND FRAME: 220 S.F. (28%)
METAL PANEL: 142 S.F. (18%)
TOTAL BULDING FACADE AREA: 791 S.F.

2 A3.01 Left Elevation, North or South

Scale: 1/8" = 1'-0"

Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 889 S.F. (86%)
GLASS AND FRAME: 144 S.F. (14%)
TOTAL BULDING FACADE AREA: 1033 S.F.

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A3.01C



1 A3.01 Front Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 405 S.F. (51%)
GLASS AND FRAME: 326 S.F. (41%)
METAL PANEL: 58 S.F. (8%)
TOTAL BULDING FACADE AREA: 791 S.F.



4 A3.01 Right Elevation, North or South

Scale: 1/8" = 1'-0"

Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 889 S.F. (86%)
GLASS AND FRAME: 144 S.F. (14%)
TOTAL BULDING FACADE AREA: 1,033 S.F.

3 A3.01 Back Elevation, West or East

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 428 S.F. (54%)
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METAL PANEL: 142 S.F. (18%)
TOTAL BULDING FACADE AREA: 791 S.F.

2 A3.01 Left Elevation, North or South

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Facing Alliance Drive or Jeff Boyd

MATERIALS:

MASONRY AREA: 889 S.F. (86%)
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A3.01C



1 A3.01 **Front Elevation, North or South**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 728 S.F. (53%)
GLASS AND FRAME: 481 S.F. (35%)
METAL PANEL: 171 S.F. (12%)
TOTAL BUILDING FACADE AREA: 1380 S.F.



4 A3.01 **Right Elevation, East or West**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 559 S.F. (78%)
GLASS AND FRAME: 162 S.F. (22%)
TOTAL BUILDING FACADE AREA: 721 S.F.



1 A3.01 **Back Elevation, North or South**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 746 S.F. (54%)
GLASS AND FRAME: 316 S.F. (23%)
METAL PANEL: 326 S.F. (23%)
TOTAL BUILDING FACADE AREA: 1390 S.F.



4 A3.01 **Left Elevation, East or West**

Scale: 1/8" = 1'-0"

MATERIALS:

MASONRY AREA: 559 S.F. (78%)
GLASS AND FRAME: 162 S.F. (22%)
TOTAL BUILDING FACADE AREA: 721 S.F.

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A3.02C



Standing Seam Metal Roof
Light Gray



Metal Soffit and Wall Panel
Zinc Gray



Natural Stone Facade, Ashlar Pattern
Sonoma Buff Lueders



DOUBLE PANED GLASS
PANEL SET IN 2" x 4 1/2" EXTRUDED
ALUMINUM FRAME STOREFRONT
LIGHT GRAY

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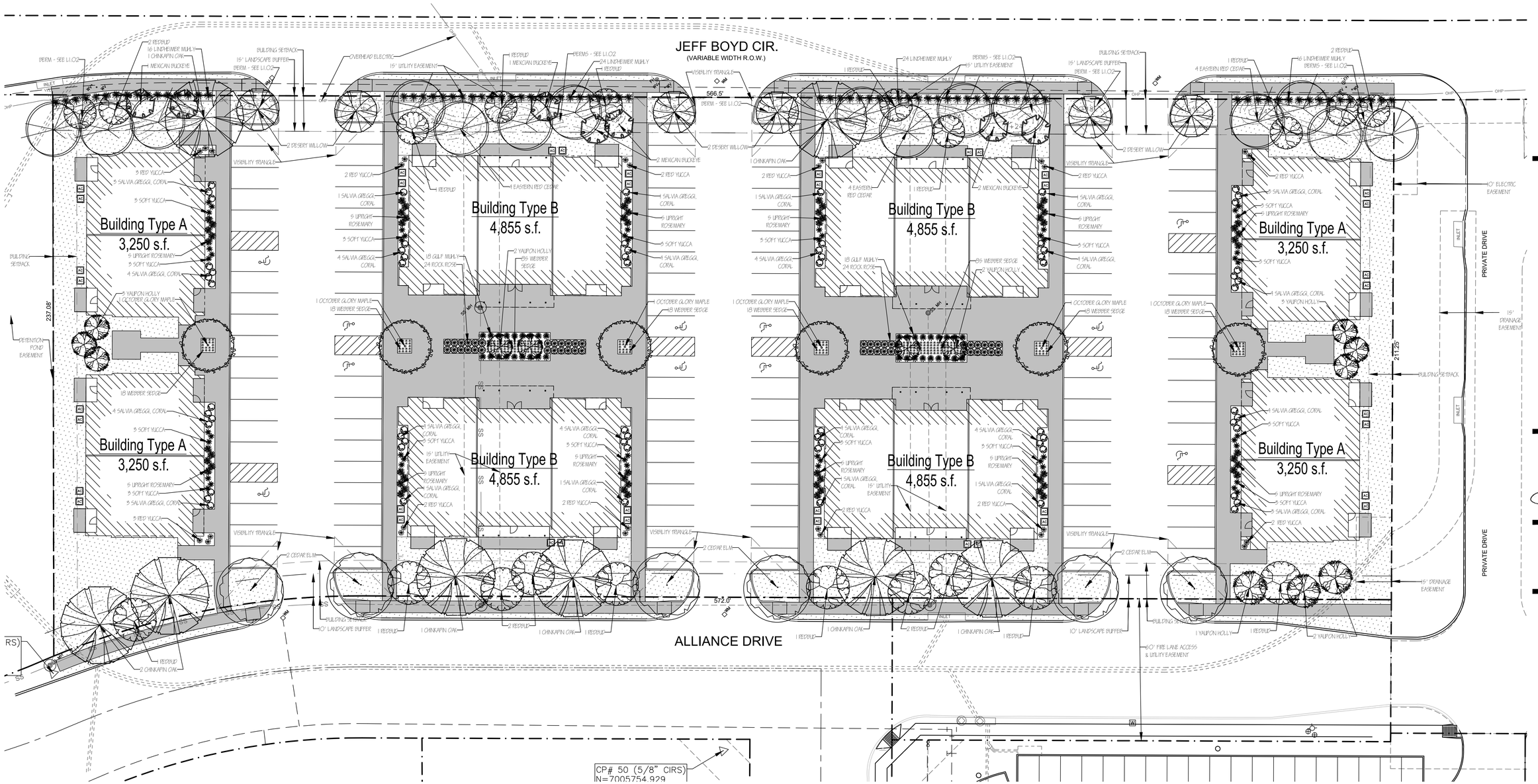


PLANTING PLAN

Scale: 1" = 20'

0 20' 40'

DRAWING KEY

OHP — OVERHEAD ELECTRIC
SS — UNDERGROUND SANITARY SEWE
W — UNDERGROUND WATER
PROPERTY LINE
BERMUDA TURF GRASS SOD
VISIBILITY TRIANGLE
VISIBILITY TRIANGLE

PLANT LIST

Common Name	Botanical Name		Texas Native	Size	Qty	Remarks
Cedar Elm	*Ulmus crassifolia*	Tree	Yes	100 gal	6	4" cal min.
Chinkapin Oak	*Quercus muhlenbergii*	Tree	Yes	100 gal	8	4" cal min.
Desert Willow	*Chiopsis linearis*	Tree	Yes	15 gal	6	4' height min
Drummond Maple	*Acer rubrum var. drummondii*	Tree	Yes	100 gal	6	4" cal min.
Eastern Red Cedar	*Juniperus virginiana*	Tree	Yes	65 gal	15	4" cal min.
Gulf Muhly	*Muhlenbergia capillaris*	Grass	Yes	3 gal	36	full pot
Mexican Buckeye	*Ungnadia speciosa*	Small tree	Yes	25 gal	7	4' height min
Muhly / Lindheimer Muhly / Big M.	*Muhlenbergia lindheimeri*	Grass	Yes	3 gal	80	full pot
Red Yucca	*Hesperaloe parviflora*	Shrub-like	Yes	5 gal	26	full pot
Redbud 'Oklahoma'	*Cercis canadensis var. texensis 'Oklahoma'*	Small tree	Yes	25 gal	20	4' height min
Rock Rose / Pavonia	*Pavonia lasiopetala*	Perennial	Yes	1 gal	48	full pot
Rosemary, Upright	*Rosimarinus officinalis*	Perennial	No	3 gal	60	full pot
Salvia greggii 'coral'	*Salvia greggii*	Perennial	Yes	1 gal	68	full pot
Softleaf Yucca	*Yucca recurvifolia*	Shrub-like	No	5 gal	48	full pot
Webber Sedge or Meadow Sedge	*Carex spp.*	Groundcove	Yes	4" pots	278	full pot
Yaupon Holly	*Ilex vomitoria*	Small tree	Yes	35 gal	13	tree form, 4' height min, min 4 canes
Bermuda grass sod	*Tiff 419*			sf	26,430	

Jurisdiction of Project

REGULATORY AUTHORITIES:

CITY OF ROCKWALL PLANNING & ZONING
385 SOUTH GOLIAD
ROCKWALL, TEXAS
972 771-7745

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED. SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR AND RPZ WITH ENCLOSURE.

Landscaping Requirements

CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE
ARTICLE 8: LANDSCAPE & FENCE STANDARDS
APPENDIX C, LANDSCAPING GUIDELINES AND REQUIREMENTS
PD NO. 57

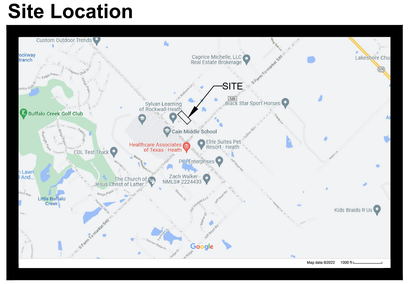
A. IMPERVIOUS AREA VS. LANDSCAPE /OPEN SPACE
LOT SIZE: 120,592 SF OR 2.77 ACRE - COMMERCIAL
20% PERVIOUS AREA REQUIRED: 24,118 SF
30% PERVIOUS AREA PROVIDED: 28,155 SF

B. LANDSCAPE BUFFERS
JEFF BOYD ROAD (FRONTAGE 566.5 LIN FT)
REQUIRED: 15 FT PROVIDED: 15 FT
3 CANOPY TREES = 4 ACCENT TREES PER 100 LIN FT OF FRONTAGE
REQUIRED: 17 CANOPY TREES + 23 ACCENT TREES
PROVIDED: 17 CANOPY TREES + 23 ACCENT TREES
ALLIANCE DRIVE (FRONTAGE 572 LIN FT)
REQUIRED: 10 FT PROVIDED: 10 FT
1 CANOPY TREE + 1 ACCENT TREE PER 50 LIN FT OF FRONTAGE
REQUIRED: 11 CANOPY TREES + 11 ACCENT TREES
PROVIDED: 13 CANOPY TREES + 11 ACCENT TREES

C. PARKING LOT LANDSCAPING
1 TREE WITHIN 80' OF EACH PARKING SPACE

D. LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Site Location



Owner & Professionals Information

OWNER

ARCHITECT
SEITZ ARCHITECTS, INC.
506 MEADOWLAKE LANE, HEATH, TEXAS 75032
ATTN: STEVE SEITZ, 214.537.9981
WWW.SEITZARCHITECTS.COM

LANDSCAPE ARCHITECT
FELDMAN DESIGN STUDIOS
P.O. BOX 832346, RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972-523-4944
CAROL@FELDMANDESIGN.COM

CITY OF ROCKWALL CASE #XXX
LANDSCAPE PLANTING PLAN

FELDMAN DESIGN STUDIOS
P.O. Box 832346, Richardson, Texas 75083
Mobile: 972 523-4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE:
1.	SUBMITTAL	3/18/22
2.		
3.		
4.		
5.		
6.		
7.		

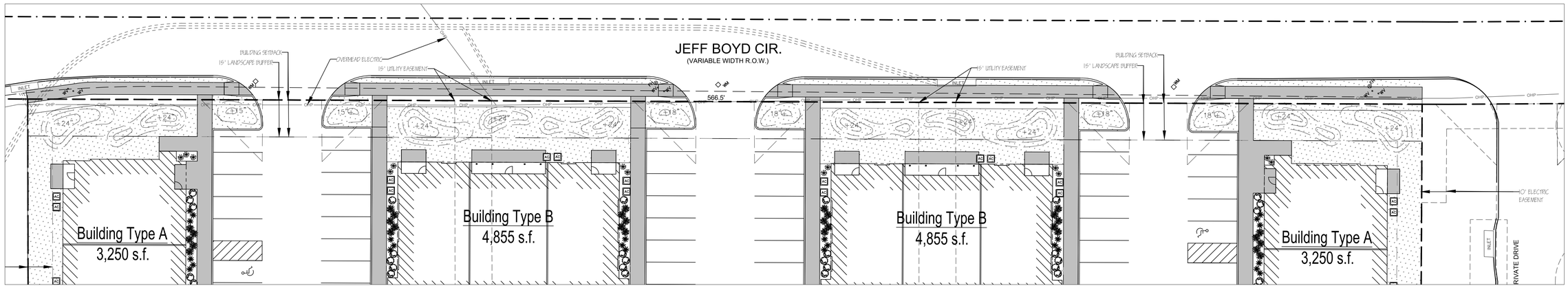
STATE OF TEXAS
CAROL FELDMAN
2080
REGISTERED LANDSCAPE ARCHITECT

These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

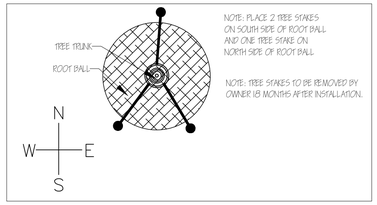
ALLIANCE DRIVE DEVELOPMENT
LOCATION (STREET ADDRESS)
ROCKWALL , TEXAS

SHEET NO.

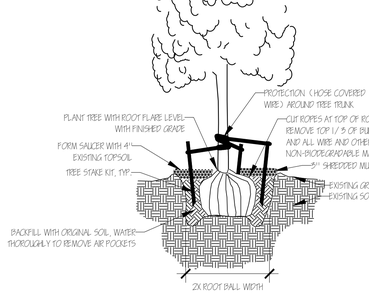
L1.01



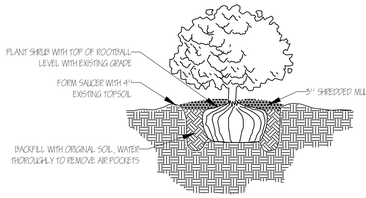
BERMING DETAIL
Scale: 1" = 20'



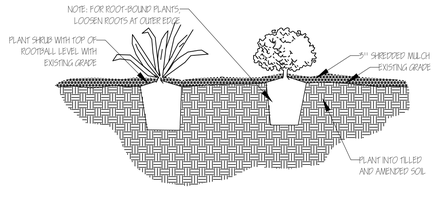
TREE STAKE DETAIL
Scale: 1/2"= 1'



TREE PLANTING
Scale: Not to scale



SHRUB & ORNAMENTAL GRASS PLANTING DETAIL
Scale: Not to scale



PERENNIAL PLANTING DETAIL
Scale: Not to scale

SECTION 02910 – SOIL PREPARATION
PART 1 – GENERAL
A. DESCRIPTION
1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
B. EXAMINATION
1. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
2. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED REPARATION WORK.
C. APPROVALS
1. ALL 'APPROVED EQUAL' MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.

PART 2 – PRODUCTS
A. MATERIALS
1. COMPOST:
1.1. COTTON BUR COMPOST.
1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX. OR, CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
2. FERTILIZERS AND SUPPLEMENTS:
2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE. OR APPROVED EQUAL.
3. MULCH
3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

PART 3 – EXECUTION
A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
1. GENERAL
1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
2. SHRUB BEDS:
2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES,
2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS,
2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 8 INCHES.
2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
3. SOD AND SEED AREAS
3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
3.2. ADD ½ INCH COMPOST TO ALL AREAS.
3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

END OF SECTION 02910

NOTES
GENERAL LANDSCAPE

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.

2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.

3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.

4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL.)

5. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

SECTION 02915 – LANDSCAPE PLANTING
PART 1 – GENERAL
A. SPECIAL CONDITIONS
1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
B. REFERENCE STANDARDS
1. AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, 2014 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.
C. PREPARATION
4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
6. COORDINATION WITH IRRIGATION SYSTEM:
6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.
D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES.
1. CONTAINER GROWN PLANTS SHALL HAVE BEEN "STEPPED-UP" AS NECESSARY TO PREVENT ROOT GIRDLING.
2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
3. THE 'ROOT FLARE' OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.
E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
2. DO NOT USE ANY TYPE OF PRUNING PAINT ON WOUNDS.
3. DO NOT USE ANY TYPE OF TREE WRAP, EXCEPT, TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
4. STAKE AND GUY ANY TREES AS PER DETAIL. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF STAKES AND GUYS AFTER TREES HAVE BEEN IN THE GROUND 6 MONTHS, AND BEFORE THE ONE YEAR ANNIVERSARY OF PLANTING.
5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.
F. WARRANTEE
1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHER WISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL FOR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

PART 3 – EXECUTION
A. PREPARATION FOR PLANT MATERIAL INSTALLATION
1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
B. TIME OF PLANTING
1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
C. TREE PLANTING
1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
2. DIG PITS WITH ROUGH SIDES AND WHICH HAVE TAPERED WALLS, A MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
7. COVER ALL TREE BALLS WITH A MINIMUM OF 3" OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING.
1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
2. GENTLY CUT OUTER ROOTS OF ANY ROOTBALLS THAT HAVE "POT-BOUND" PRIOR TO INSTALLATION.
3. COVER PLANTING BEDS WITH A MINIMUM 3" LAYER OF SPECIFIED MULCH.
E. SOD PLANTING
1. LAY SOD IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
2. WATER ALL AREAS OF THE SOD UNTIL THOROUGHLY WET.
3. ROLL SOD WITH A SOD ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOD TO OBTAIN A UNIFORM, SMOOTH FINISH.
4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
5. KEEP SOD ADEQUATELY WATERED UNTIL SOD MAKES A FIRM CONNECTION TO THE SOIL.
F. SEED PLANTING
1. AREAS SHALL BE RAKED TO A DEPTH OF ½", SMOOTH AND FREE OF STONES AND DEBRIS.
2. APPLY SEED EVENLY AT THE RATE RECOMMENDED.
3. RAKE AND WATER TO ESTABLISH A FIRM CONNECTION OF THE SEED TO THE SOIL.
4. KEEP SEED AREA MOIST (NOT WET) UNTIL SEED GERMINATES AND GRASS IS APPROX. ½" IN HEIGHT.
5. KEEP AREA ADEQUATELY WATERED UNTIL A STAND OF THE GRASS IS ESTABLISHED.
6. RE-SEED TO ESTABLISH A THICK STAND OF GRASS IF NECESSARY.

END OF SECTION 02915

CITY OF ROCKWALL CASE #XXX
LANDSCAPE DETAILS

FELDMAN DESIGN STUDIOS
P.O. Box 892346, Richardson, Texas 75085
Office: 972.980-1750 Mobile: 972.525-4944
carol@feldmandesign.com

NO.	ITEM DESCRIPTION	DATE: 3/18/22
1.	SUBMITTAL	
2.		
3.		
4.		
5.		
6.		
7.		

STATE OF TEXAS
CAROL FELDMAN
2080
REGISTERED ARCHITECT

These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

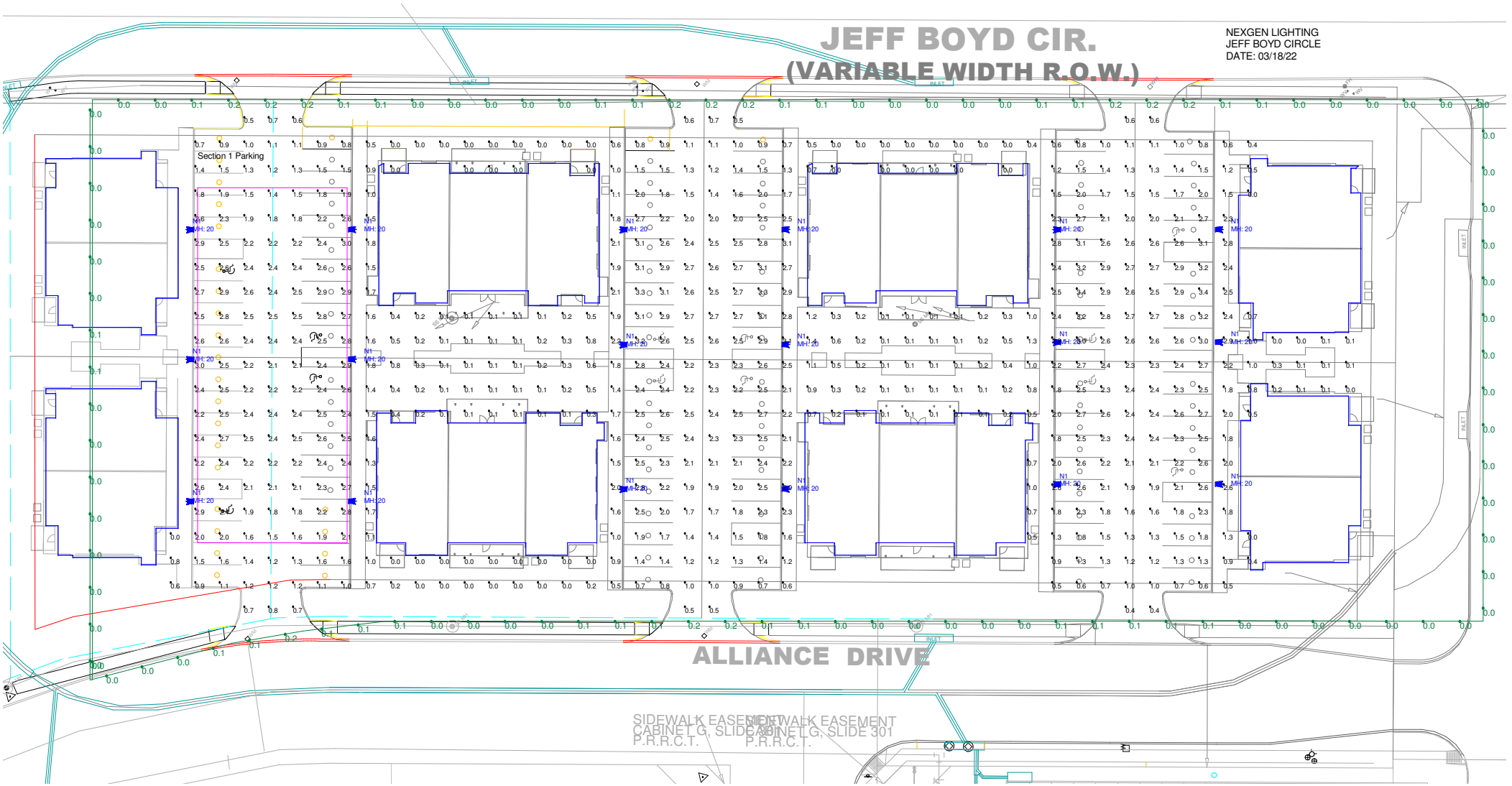
ALLIANCE DRIVE DEVELOPMENT
LOCATION (STREET ADDRESS)
ROCKWALL, TEXAS

SHEET NO.
L1.02

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	18	N1	SINGLE	0.950	NV-1-T4-16L-1-40K-SINGLE @ 20FT	56

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY CLACS	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.
SITE CALCS	Illuminance	Fc	1.52	3.4	0.0	N.A.	N.A.
Section 1 Parking	Illuminance	Fc	2.32	3.0	1.4	1.66	2.14

NEXGEN LIGHTING
JEFF BOYD CIRCLE
DATE: 03/18/22



PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 3/25/2022

PROJECT NUMBER:	SP2022-014	CASE MANAGER:	Henry Lee
PROJECT NAME:	Site Plan for Project Bullseye	CASE MANAGER PHONE:	972.772.6434
SITE ADDRESS/LOCATIONS:	2851 DISCOVERY BLVD	CASE MANAGER EMAIL:	hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Chistophe Guignard of KRISS USA, Inc. on behalf of Matt Wavering of the Rockwall Economic Development Corporation (REDC) for the approval of a Site Plan for an Office/Manufacturing Facility on a 16.44-acre tract of land being identified as Lots 7 & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) and Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of FM-549 and SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	03/25/2022	Approved w/ Comments

03/25/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an Office/Manufacturing Facility on a 16.44-acre tract of land being identified as Lots 7 & 8, Block A, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 73 (PD-73) and Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District and the SH-276 Overlay (SH-276 OV) District, located at the northwest corner of the intersection of FM-549 and SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com. April 5, 2022 is the deadline to have all comments; please provide staff revised plans before April 5, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be replatted after the engineering process to establish the property line and new easements.

M.5 Provide the City standard Site Plan Signature Block on all sheets of the plans. Also remove the placeholder text (i.e. [Day] [Month] [Year]).

M.6 Site Plan:

(1) Indicate the distance between the proposed building and the property lines. (Subsection 03.04. B, of Article 11)

(2) Please indicate the building setback along Corporate Crossing. (Subsection 03.04. B, of Article 11)

(3) Please dash in the proposed gates. (Subsection 03.04. B, of Article 11)

(4) Label the new fire lane as “Fire Lane and Utility Easement.” (Subsection 03.04. B, of Article 11)

(5) Indicate all existing and proposed fire hydrants. (Subsection 03.04. B, of Article 11)

(6) Please indicate the required sidewalk along Corporate Crossing and label the existing sidewalk on SH-276. Also, the sidewalk along Corporate Crossing should meander. (Subsection 03.04. B, of Article 11)

(7) Parking for the proposed building is met given the parking requirements, however the future proposed expansion will require an additional 20 parking spaces. (Table 5, of Article 06)

(8) Please label the height and type of any proposed or existing fencing. (Subsection 08.02. F, of Article 08)

(9) Will there be any above ground storage tanks? If so, please indicate the subsequent screening (Subsection 01.05. D. of Article 05)

(10) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12’x10’. A minimum of 6” bollards will be required at potential impact zones and the pad site shall be paved to city standards. Please provide a dumpster detail showing conformance to these requirements.

(Subsection 01.05. B, of Article 05)
(11) A wing wall will be required to screen the loading docks from the adjacent Right-of-Ways. (Subsection 01.06, of Article 05)
(12) The roof mounted utility equipment must be fully screened by the parapet; please crosshatch the roof mounted equipment on the building elevations. The parapet must also be finished on both sides. (Subsection 01.05. C, of Article 05)
(13) Is there any pad mounted utility equipment? If so indicate the subsequent screening. (Subsection 01.05. C, of Article 05)
(14) Please delineate the roof garden on the site plan. (Subsection 01.05. C, of Article 05)
M.7 Landscape Plan:
(1) Indicate the percentage of pervious vs. impervious cover. (Subsection 01.01. B, of Article 05)
(2) The Code Calculation chart on the landscape plans need to be corrected to meet our landscape buffer standards; these changes will subsequently require more plantings within each landscape buffer. Below is a breakdown of the code requirements for each buffer:
a. Discovery Boulevard - 408 LF (1 Canopy and 1 Accent tree per 50 LF): 9 Canopy and 9 Accent trees required. Currently there are 12 Canopy and 8 Accent trees.
b. Corporate Crossing - 1042 LF (2 Canopy and 4 Accents trees per 100 LF: 21 Canopy and 42 Accent trees required. Currently there are 34 Canopy and 21 Accent trees.
c. SH-276 - 507 LF (2 Canopy and 4 Accent trees per 100 LF): 11 Canopy and 21 Accent trees required. Currently there are 19 Canopy and 10 Accent trees.
(3) Provide a note that all irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08)
(4) Please label the berms along Discovery Boulevard, Corporate Crossing, and SH-276. (Subsection 05.01, of Article 08)
M.8 Treescape Plan:
(1) Provide the site data table provided on the site plan (See table 2.1 of the site plan check list)
(2) Please change the symbol for either the protected trees or the removed trees. Currently the symbols match, which makes identifying the removed and protected trees difficult. (Subsection 03.01. G, of Article 09)
M.9 Photometric Plan:
(1) Provide the site data table provided on the site plan (See table 2.1 of the site plan check list)
(2) Please provide cutsheets for all light fixtures. (Subsection 03.03, of Article 07)
M.10 Building Elevations:
(1) Provide the material percentages for all materials on the building. (Subsection 05.01, of Article 05)
(2) The use of 90% masonry material is required, however this requirement is not met, which is not uncommon for large industrial building. Typically, larger buildings will cluster these materials around the entryways. This will require a variance to the Unified Development Code (UDC). (Subsection 06.02. C. of Article 05)
(3) The use of 20% natural or quarried stone is required, however this requirement is not met, which is not uncommon for large industrial building. This will require a variance to the Unified Development Code (UDC). (Subsection 06.02. C. of Article 05)
(4) The primary and secondary articulation standards are not met, which is not uncommon with large industrial buildings. The vertical articulation is not met on the NWC on the West elevation and on the NEC on the East elevation. The horizonal articulation is not met on all sides of the building. (Subsection 05.01. C.1. of Article 05)
(5) Please indicate the parapet height and provide a note that the parapet will be finished on both sides. Also, please dash in the roof line. (Subsection 04.01, of Article 05)
(6) Please crosshatch the roof mounted utility equipment to confirm conformance with the screening requirements. (Subsection 01.05.C. of Article 05)
M.11 There are currently ten (10) variances and one (1) special exception associated with this request, see below. Please provide a variance letter that outlines the variances and exception you wish to request as well as the associated compensatory measures. For each variance requested two (2) offsetting compensatory measures. In this case 20 compensatory measures would be required.

(1) Tilt-wall construction (Special Exception)
(2) Less than 20% natural stone (Variance)
(3) Less than 90% masonry material (Variance)
(4) Primary articulation (Variance)
(5) Secondary articulation (Variance)
(6) Architectural elements; seven (7) are required (Variance)
(7) 4-sided architecture (Variance)
(8) Double head-in parking (Variance)
(9) Detention pond planting (Variance)
(10) Landscape buffer (Variance)

For the compensatory measures, staff has already identified the dog park and the roof garden. To help lessen the impact of the requested variances compensatory measures that

incorporate the use of masonry material or natural stone around the entryways and dress up the façade along Corporate Crossing could go a long way.

I.12 The site plan indicates a dog park on the subject property. Make note of the requirements for dog parks within Chapter 6, Article X – Dog Parks, within the City of Rockwall Code of Ordinances.
I.13 Please note that failure to address all comments provided by staff by 3:00 PM on April 5, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 5, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 12, 2022 Planning & Zoning Meeting.
I.15 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on March 29, 2022.
2) Planning & Zoning meeting/public hearing meeting will be held on April 12, 2022.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	03/23/2022	Needs Review

03/23/2022: - Minimum driveway spacing along Discovery is 100', or a variance is required.
- Fire lane to have 30' radii.

The following items are informational for the engineering design process.
General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.

Drainage Items:
- Dumpster area to drain to an oil/water separator and then to the storm lines.
- Drainage/detention/floodplain is being worked on with a current engineering plan set with EDC. (Not approved yet)
- No grate inlets allowed. Must use, drop, wye, or curb inlet style.

Roadway Paving Items:
- Parking to be 20'x9' minimum. Label parking dimensions on site plan
- All drive isles to be 24' wide minimum.
- Fire lane radii depends on the height of the building. If the building height is 30' or more, the radii must be 30'. If shorter than 30', the radii can be 20' min.
- No dead-end parking
- Must build 5' wide sidewalk along Discovery Blvd, Corporate Crossing and Research Cir.
- Min. 100' driveway spacing on Discovery Blvd.

Water and Wastewater Items:
- Required to show water and sanitary sewer lines on site plan
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- If fire hydrants are in parking islands, the islands must be 10' in width to allow for 5' clearance around the fire hydrants
- Must loop min 8" water line on site. - Sewer pro-rata of $2,773.07/acre.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- All public right-of-ways to be sodded (not seeded or hydro-mulched)
- Need to show proposed and existing water, sewer, and storm on landscape plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Henry Lee	03/25/2022	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	03/22/2022	Needs Review

03/22/2022: All fire lane radius shall be a minimum of 30-ft.
FDC must be within 100-feet of a fire hydrant.
Fire hydrants (proposed and existing) shall be shown on the site plan.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	03/22/2022	Approved w/ Comments

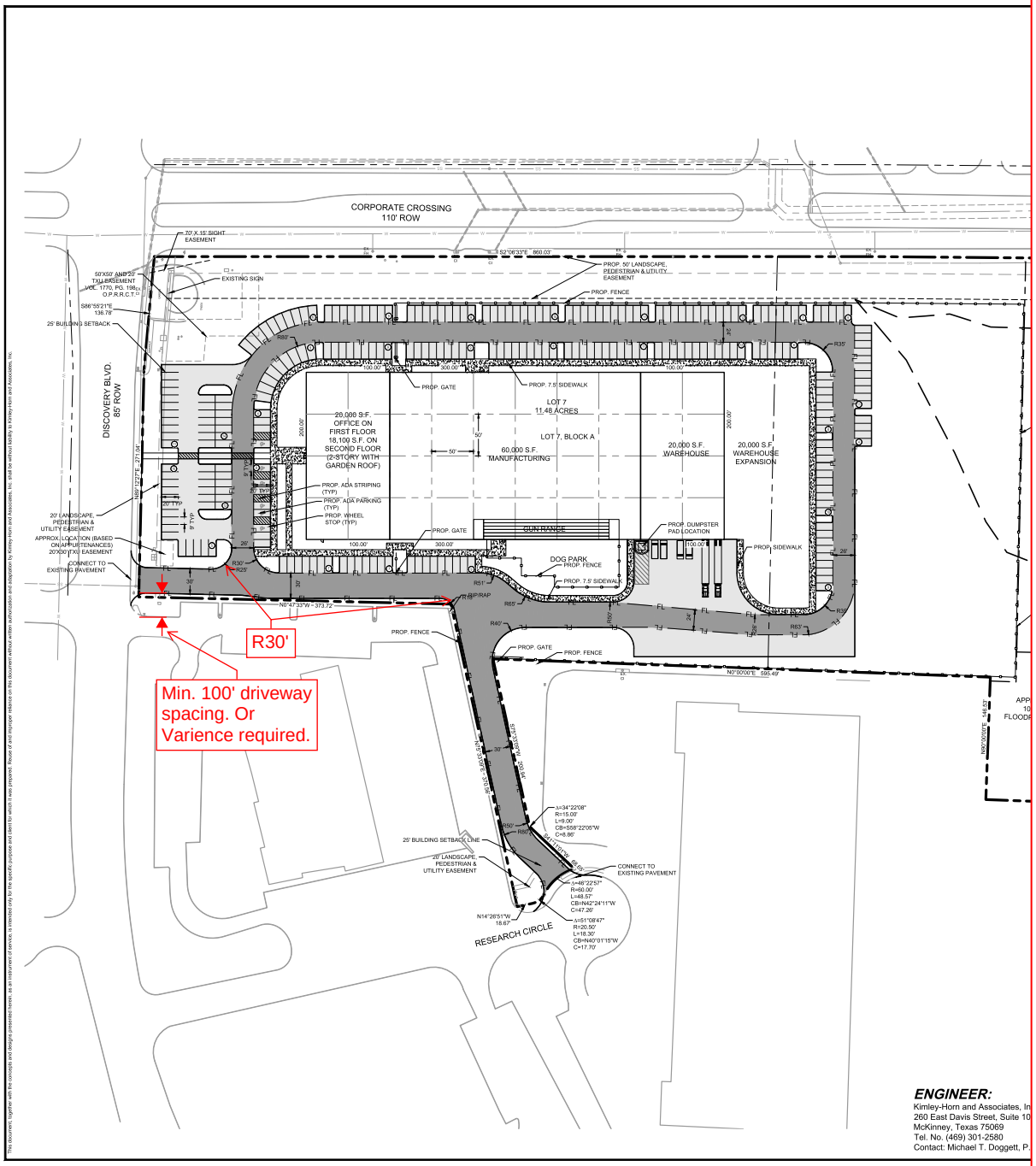
03/22/2022: Assigned address will be *2851 Discovery Blvd, Rockwall, TX 75032*

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Ed Fowler	03/23/2022	Approved w/ Comments

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Henry Lee	03/25/2022	N/A

No Comments



ENGINEER:
Kimley-Horn and Associates, In
260 East Davis Street, Suite 10
McKinney, Texas 75069
Tel. No. (469) 301-2580
Contact: Michael T. Doggett, P.

General Items:
- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.

Drainage Items:
- Dumpster area to drain to an oil/water separator and then to the storm lines.
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- Need to show proposed and existing water, sewer, and storm on landscape plan.

GRAPHIC SCALE 60'

LEGEND

	PROPOSED FIRE LANE
	PROPOSED LIGHT DUTY PAVEMENT
	PROPSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	PROPOSED FENCE (REFERENCE LANDSCAPE)
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
T	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

SITE DATA TABLE	
ZONING	PD-73 and LI
LD ZONING	LI Z202[...]-014
A (SQ. FT.)	716,109 S.F.
A (ACRES)	16.44 AC
ACTURING	60,000 SF
USE	20,000 SF
	58,100 SF
UILDING SQ. FT.	120,000 SF
ILDING HEIGHT	40'
ERAGE	16.76%
REA RATIO	0.1676
ED PARKING	
ACTURING REQUIRED PARKING	170 (1.5*ACF: 60[...] SF)
USE REQUIRED PARKING	23 (1.5*ACF: 1[...] SF)
REQUIRED PARKING	127 (1.5*ACE: 300 SF)
RKING REQUIRED	267
PROVIDED	267
P PARKING REQUIRED	7
P PARKING PROVIDED	7

SITE PLAN
PROJECT BULLSEYE
NWC SH 276 & FM 549
±16.44 ACRES

City of Rockwall
Rockwall County, Texas
Submitted: 03/18/2022

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX-F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction, bidding, or permit purposes.
Kimley»Horn
Engineer MICHAEL T. DOGGETT
P.E. No. 68628 Date XX/XX/2022

No.	REVISIONS	DATE

KHA PROJECT 068213117
DATE 03/18/2022
SCALE AS SHOWN
DESIGNED BY MD
DRAWN BY MD
CHECKED BY MD

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

SITE PLAN

CASE NO.

SHEET NUMBER
1 OF 1

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☑ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	NORTHWEST CORNER OF CORPORATE CROSSING AND STATE HWY 276				
SUBDIVISION	ROCKWALL TECHNOLOGY PARK	LOT	7/8	BLOCK	A
GENERAL LOCATION	NORTHWEST CORNER OF CORPORATE CROSSING AND STATE HWY 276				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-73		CURRENT USE	UNDEVELOPED	
PROPOSED ZONING	LI (Case #Z2022-006)		PROPOSED USE	INDUSTRIAL	
ACREAGE	16.44	LOTS [CURRENT]	2	LOTS [PROPOSED]	3

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	ROCKWALL EDC	☑ APPLICANT	KRISS USA, INC
CONTACT PERSON	MATT WAVERING	CONTACT PERSON	CHRISTOPHE GUIGNARD
ADDRESS	2610 OBSERVATION TRAIL, SUITE 104	ADDRESS	565 W. LAMBERT ROAD
			SUITE F
CITY, STATE & ZIP	ROCKWALL, TX 75032	CITY, STATE & ZIP	BREA, CA 92821
PHONE	903-494-7943	PHONE	714-333-1988 X122
E-MAIL	MWAVERING@ROCKWALLEDC.COM	E-MAIL	CH.GUIGNARD@KRISS-USA.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Wavering [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 578.80 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* March, 20 22 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th *DAY OF* March, 20 22.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jammonds

MY COMMISSION EXPIRES

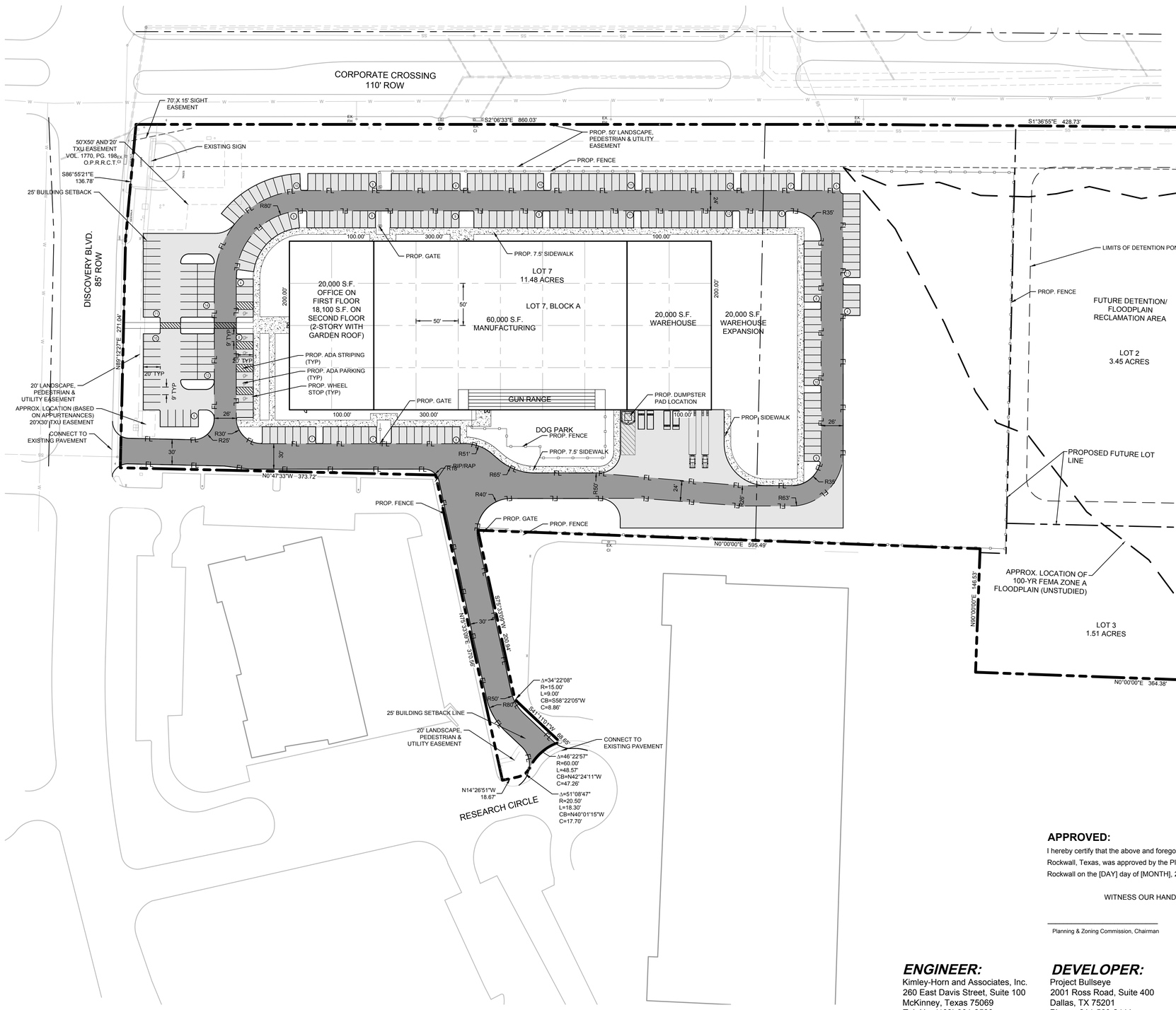
JENNIFER L. HAMMONDS
Notary Public, State of Texas
ID #_13230083-8
My Comm. Exp. 01-06-2024

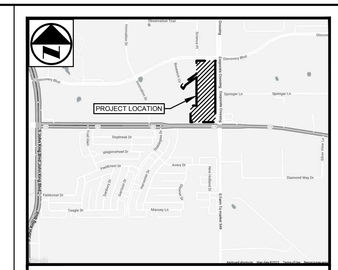


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







LEGEND

FL / FL	PROPOSED FIRE LANE
	PROPOSED LIGHT DUTY PAVEMENT
	PROPSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	PROPOSED FENCE (REFERENCE LANDSCAPE)
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
S	SANITARY SEWER MANHOLE
T	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

SITE DATA TABLE	
EXISTING ZONING	PD-73 and LI
PROPOSED ZONING	LI Z2021-014
LOT AREA (SQ. FT)	716,109 S.F.
LOT AREA (ACRES)	16.44 AC
MANUFACTURING	60,000 SF
WAREHOUSE	20,000 SF
OFFICE	38,100 SF
TOTAL BUILDING SQ. FT.	120,000 SF
1 STY BUILDING HEIGHT	40'
LOT COVERAGE	16.76%
FLOOR AREA RATIO	0.1676
REQUIRED PARKING	
MANUFACTURING REQUIRED PARKING	120 (1 SPACE: 500 SF)
WAREHOUSE REQUIRED PARKING	20 (1 SPACE: 1000 SF)
OFFICE REQUIRED PARKING	127 (1 SPACE: 300 SF)
TOTAL PARKING REQUIRED	267
PARKING PROVIDED	267
HANDICAP PARKING REQUIRED	7
HANDICAP PARKING PROVIDED	7

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], 2022.

WITNESS OUR HANDS, this [DAY] day of [MONTH], 2022.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

ENGINEER:
Kimley-Horn and Associates, Inc.
260 East Davis Street, Suite 100
McKinney, Texas 75069
Tel. No. (469) 301-2580
Contact: Michael T. Doggett, P.E.

DEVELOPER:
Project Bullseye
2001 Ross Road, Suite 400
Dallas, TX 75201
Phone: 214-560-2441
Contact: Christophe Guignard

OWNER:
Rockwall EDC
2610 Observation Trail, Suite 104
Rockwall, TX 75032
Phone: 903-494-7943
Contact: Matt Wavering

SITE PLAN
PROJECT BULLSEYE
NWC SH 276 & FM 549
±16.44 ACRES

City of Rockwall
Rockwall County, Texas
Submitted: 03/18/2022

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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FOR REVIEW ONLY
Not for construction, bidding, or permit purposes.
Kimley»Horn
Engineer MICHAEL T. DOGGETT
P.E. No. 98628 Date XX/XX/2022

KHA PROJECT 068213117	DATE 03/18/2022	SCALE AS SHOWN	DESIGNED BY MD	DRAWN BY MD	CHECKED BY MD

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

SITE PLAN

CASE NO.

SHEET NUMBER
1 OF 1

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IMAGES:
XREFS:
PLOT STAMP:
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3/18/2022 2:37 PM
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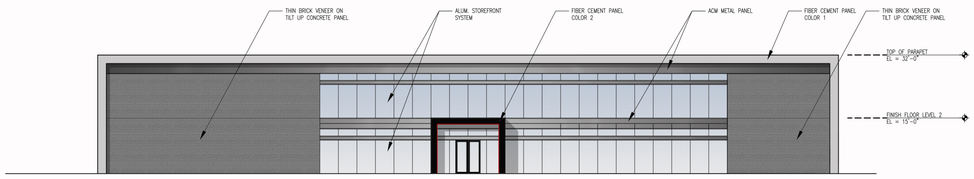
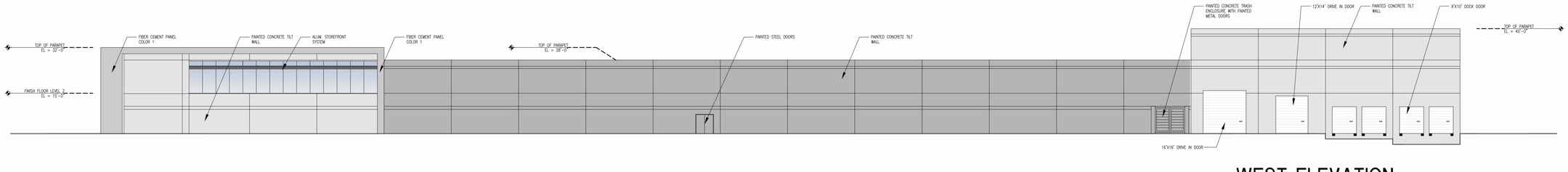
DWG NAME:
SITE PLAN-PRELIM.DWG
LAYOUT:
SITE PLAN



04 NORTH ELEVATION
SCALE: 1" = 20'



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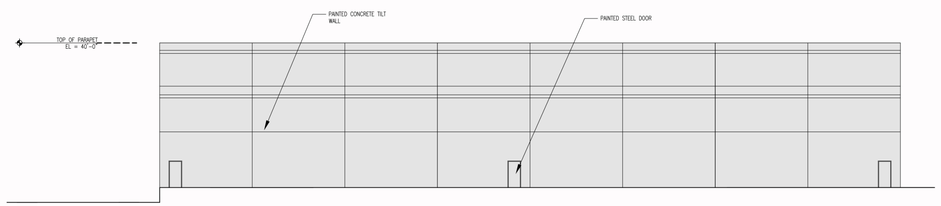
SCALE: 1" = 20'



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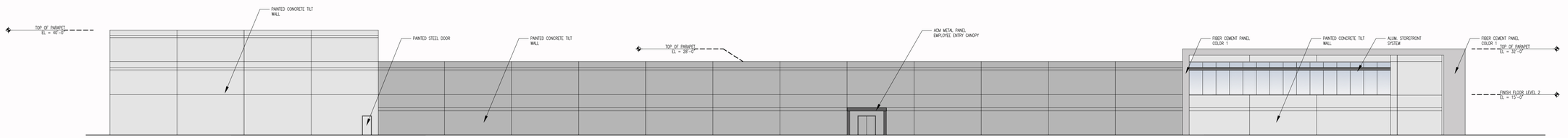
SCALE: 1" = 20'



01 EAST ELEVATION
SCALE: 1" = 20'

INTERIM REVIEW DOCUMENTS
Fernando J. Andrade,
TX. #17868, 03.18.22
Not for Permit or Construction

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gsr | andrade ARCHITECTS
4121 Commerce St. Ste.1
Dallas, Texas 75226
P 214.824.7040
F 214.887.0559

GSR Andrade Architects
Architect

Civil Engineer

Structural Engineer

Mechanical Engineer

Electrical Engineer

Plumbing Engineer

Landscape Architect

STREAM

A NEW PROJECT BY KRISS USA:

'PROJECT BULLSEYE'

CORPORATE CROSSING
ROCKWALL, TEXAS 75032

PROJECT NO.: 3040
DATE: 03.18.22
REVISIONS: -

NO.	DATE	DESCRIPTION

A4.00
EXTERIOR ELEVATIONS

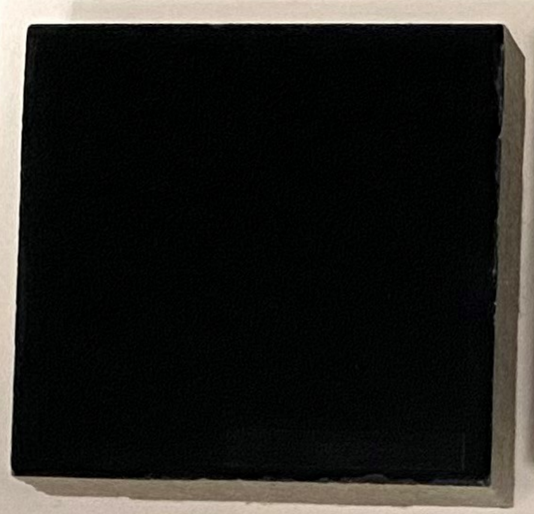




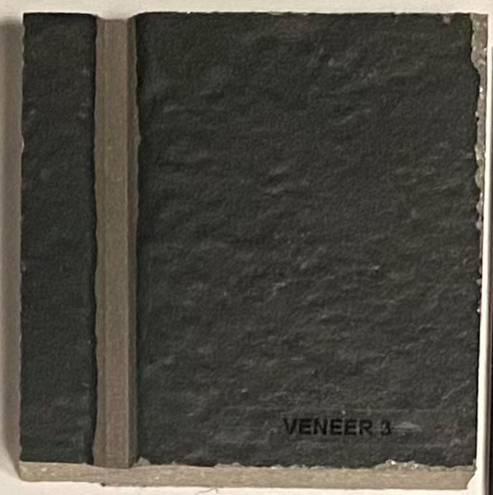





KRISS®







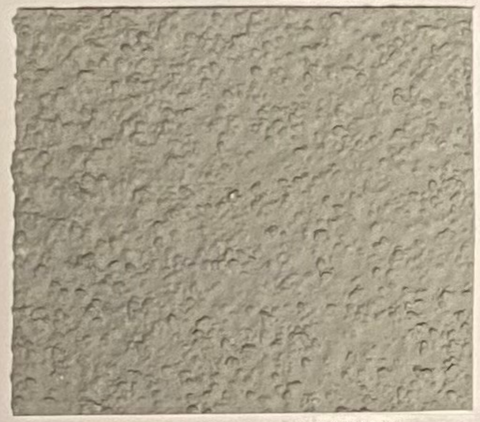


FRAMES





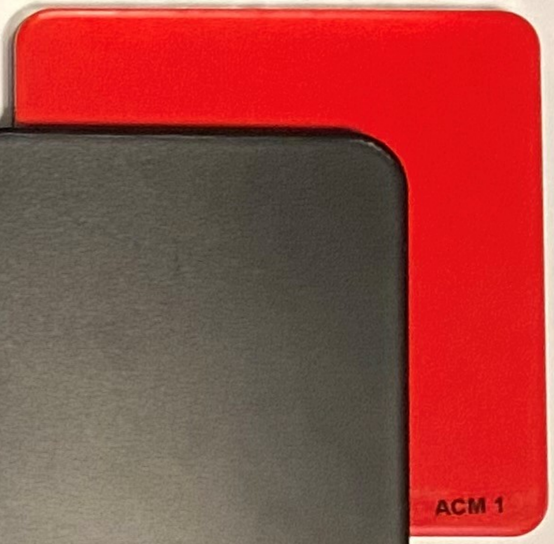
PAINT 1



PAINT 2



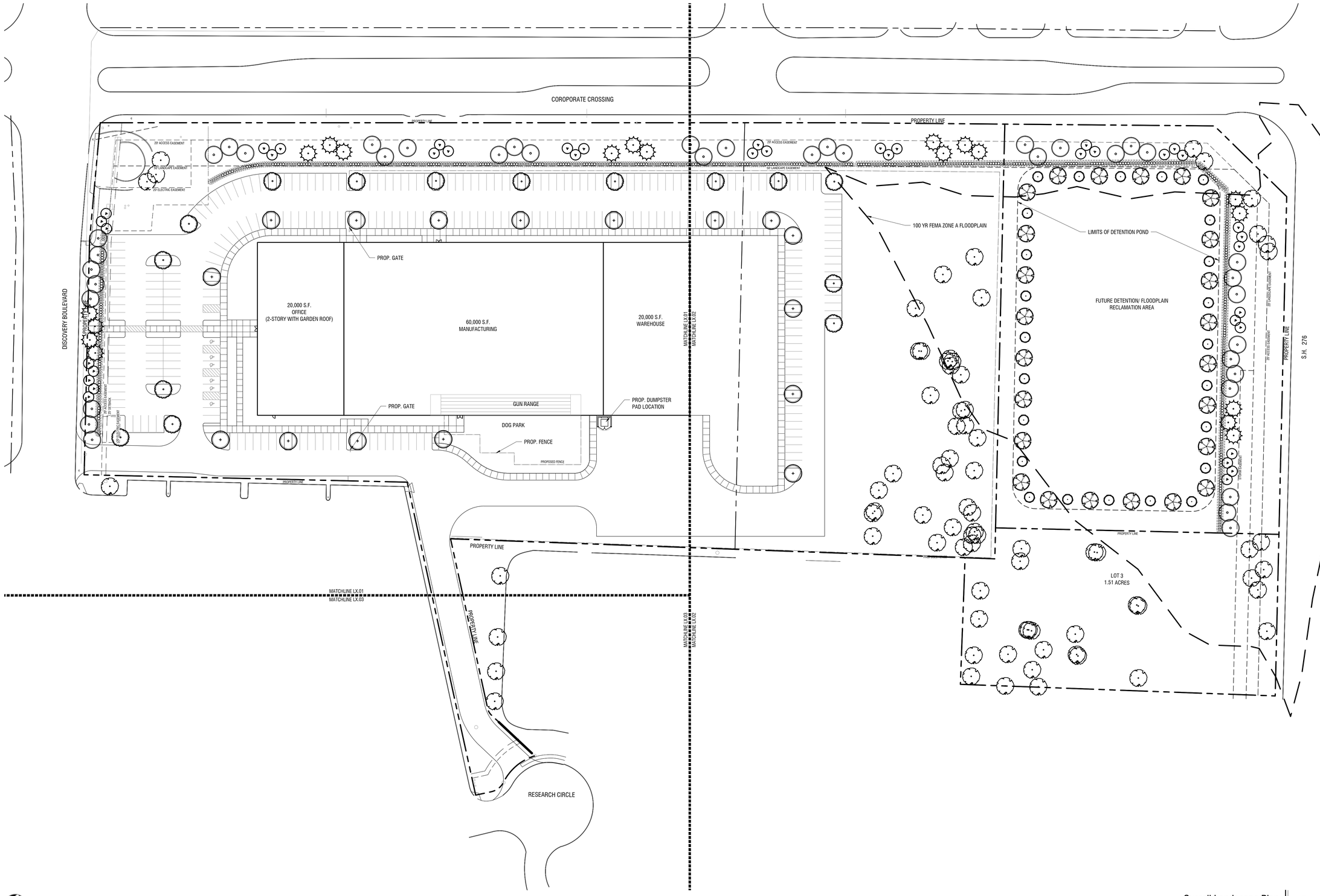
CONCEPT RENDERING



STREAM REALTY

PROJECT BULLSEYE

gsr|andrade ARCHITECTS



Overall Landscape Plan

Scale: 1" = 50'-0"

A

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

PRELIMINARY
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Not for construction or permit purposes
Kimley»Horn
P.L.A. Courtney L. Smith
L.A. No. 3323 Date 03.18.2022

KHA PROJECT	068213117
DATE	03/18/2022
SCALE	AS SHOWN
DESIGNED BY	CLS
DRAWN BY	NJF
CHECKED BY	AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549

ROCKWALL, TEXAS

City of Rockwall

OVERALL LANDSCAPE PLAN

CASE NO.

SHEET NUMBER

L1.01

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PLANT LEGEND

TREES	COMMON / BOTANICAL NAME
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
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	Existing Tree to Remain / Existing Tree to Remain
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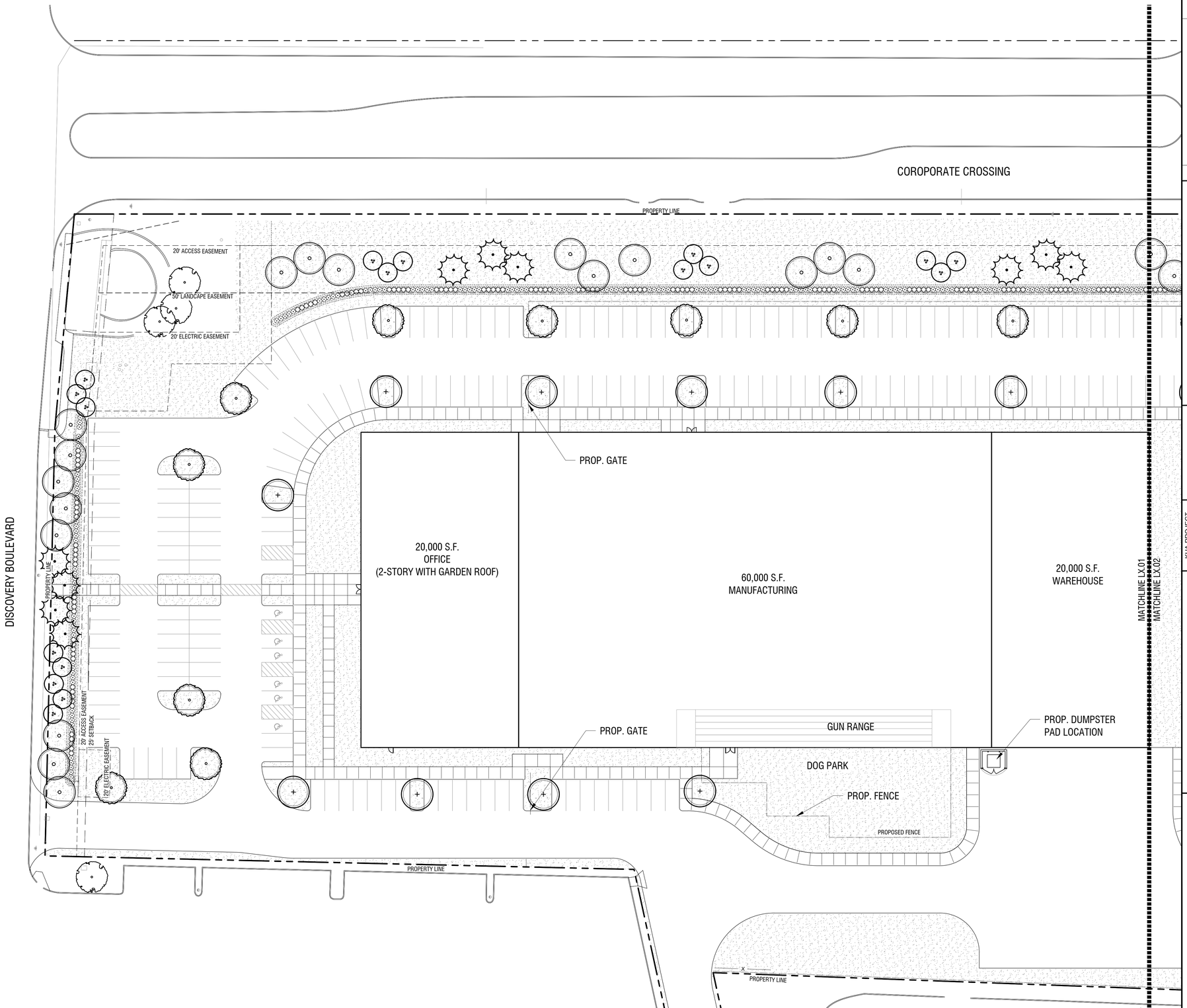
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM

GROUND COVERS	COMMON / BOTANICAL NAME
	Bermuda Grass / Cynodon dactylon
	Drainfield Mix / Drainfield Mix



NORTH

0' 30' 60'

Scale: 1" = 30'-0"

Code Landscape Plan

Scale: 1" = 30'-0"

A

No.	REVISIONS	DATE	BY

Kimley»Horn

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P.L.A. Courtney L. Smith
L.A. No. 3323 Date 03.18.2022

KHA PROJECT 068213117
DATE 03/18/2022
SCALE AS SHOWN
DESIGNED BY CLS
DRAWN BY NJF
CHECKED BY AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

LANDSCAPE PLAN

CASE NO.

SHEET NUMBER
L1.02

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IMAGES rockwall logo , Tree Status Scoping Chart , Tree Protection Fence detail - 4.0in , Above Grade Detail_TSS cont. 6 or smaller , Detail_shrub_groundcover , Detail_Tree Protection , xLandscapeDRAL.rds , xTrees , Detail_TSS cont. mulitrunk.vrn
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DWG NAME L1.01 CODE LANDSCAPE PLAN.DWG [L1.02]

PLANT LEGEND

TREES	COMMON / BOTANICAL NAME
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Existing Tree to Remain / Existing Tree to Remain
	Lacebark Elm / Ulmus parvifolia
	Live Oak / Quercus virginana

FLOWERING TREES	COMMON / BOTANICAL NAME
	Desert Willow / Chilopsis linearis
	Texas Redbud / Cercis canadensis var. texensis

SHRUBS	COMMON / BOTANICAL NAME
	Dwarf Yaupon / Ilex vomitoria `Nana`
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM

GROUND COVERS	COMMON / BOTANICAL NAME
	Bermuda Grass / Cynodon dactylon
	Drainfield Mix / Drainfield Mix

PROPERTY LINE

20' ACCESS EASEMENT

50' LANDCAPE EASEMENT

100 YR FEMA ZONE A FLOODPLAIN

LIMITS OF DETENTION POND

FUTURE DETENTION/ FLOODPLAIN
RECLAMATION AREA

20' LANDSCAPE EASEMENT

20' ACCESS EASEMENT

PROPERTY LINE

STORM EASEMENT

MATCHLINE LX.01
MATCHLINE LX.02

PROPERTY LINE

PROPOSED FENCE

LOT 3
1.51 ACRES

S.H. 276

NORTH

0' 30' 60'
Scale: 1" = 30'-0"

Code Landscape Plan
Scale: 1" = 30'-0"

A

No.	REVISIONS	DATE	BY

Kimley»Horn
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Kimley»Horn
P.E.A. No. 3323 Courtney L. Smith Date 03.18.2022

KHA PROJECT	068213117
DATE	03/18/2022
SCALE	AS SHOWN
DESIGNED BY	CLS
DRAWN BY	NJF
CHECKED BY	AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

LANDSCAPE PLAN

CASE NO.

SHEET NUMBER
L1.03

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IMAGES rockwall logo - Tree Stake Solutions Chart
XREFS dPlant Legend - Key - 48SQ - 24SQ - Above Grade - Detail_TS6 cont 5 or smaller - Detail_shrub groundcover - Detail_Tree Protection - xLandscapeSHALL45 - xTrees - Detail_TS6 cont - multitrunk vm
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PLOT DATE 3/18/2022 1:18:37 PM KRISS ROCKWALL\LADSHEETS\CIVIL
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DWG NAME L1.01 CODE LANDSCAPE PLAN.DWG [L1.03]

PLANT LEGEND

TREES	COMMON / BOTANICAL NAME
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Eastern Redcedar / Juniperus virginiana
	Existing Tree to Remain / Existing Tree to Remain
	Lacebark Elm / Ulmus parvifolia
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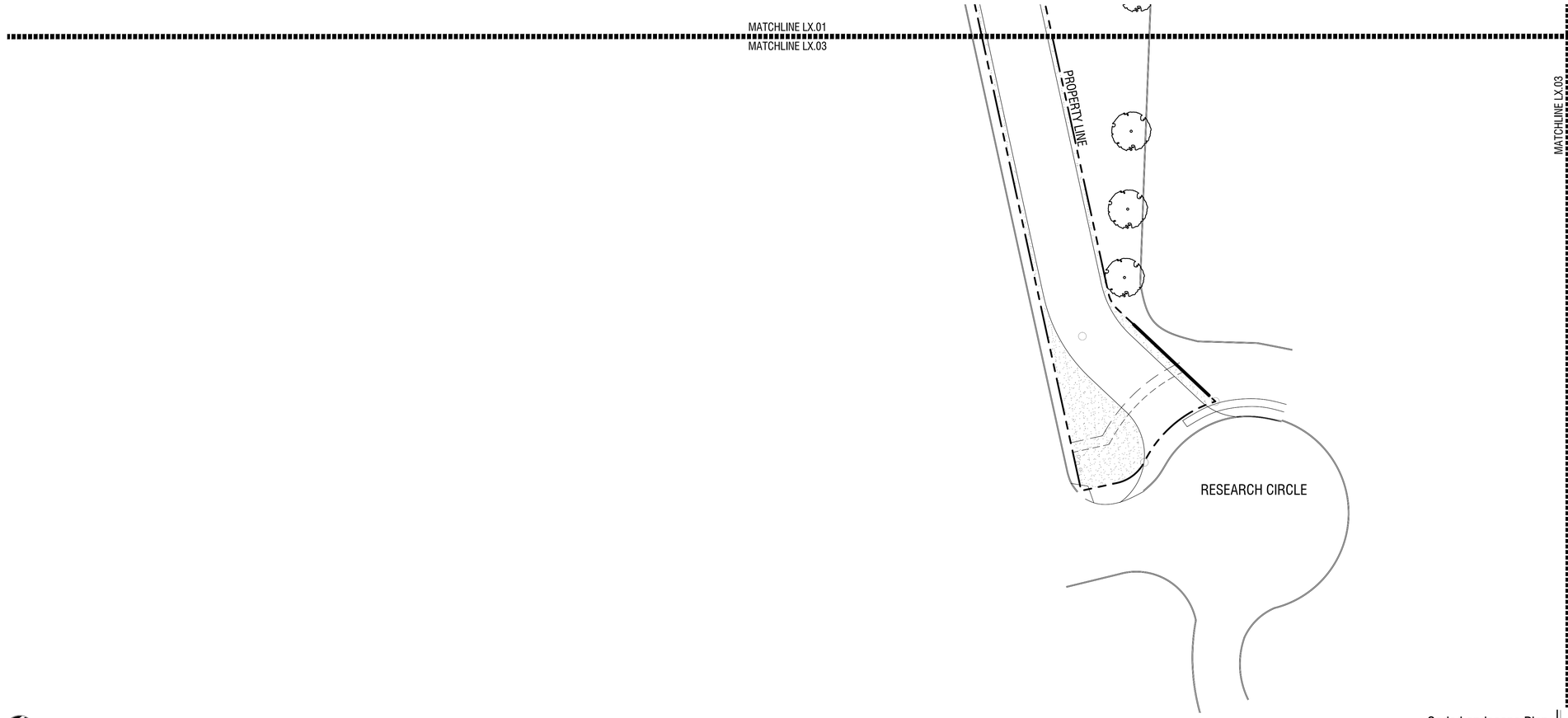
GROUND COVERS	COMMON / BOTANICAL NAME
	Bermuda Grass / Cynodon dactylon
	Drainfield Mix / Drainfield Mix



Code Landscape Plan

Scale: 1" = 30'-0"

A

No.	REVISIONS	DATE	BY

Kimley»Horn
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L.A. No. 3323 Date 03.18.2022

KHA PROJECT 068213117
DATE 03/18/2022
SCALE AS SHOWN
DESIGNED BY CLS
DRAWN BY NJF
CHECKED BY AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549

ROCKWALL, TEXAS

City of Rockwall

LANDSCAPE PLAN

CASE NO.

SHEET NUMBER
L1.04

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IMAGES
xrefs
LAST SAVED
PLOTTED
DWG PATH
DWG NAME
mcneall logo , Tree Stake Solutions Chart - ...
Offsite Haul Route - 10000 Feet.jpg , ACad - Above Grade - Detail_TSS cont. 6 or smaller - Detail_shrub groundcover - Detail_Tree Protection - d.anthosapoDALLAS - rTrees - Detail_TSS cont - multitrunk orn
3/18/2022 1:19 PM
Scott Shafer, Kimley-Horn
K:\MKN_DAL\Pr_PROJECTS\063213117 - KRISS ROCKWALL\CAD\SHEETS\CIVIL
L1.01 CODE LANDSCAPE PLAN.DWG , [L1.05]

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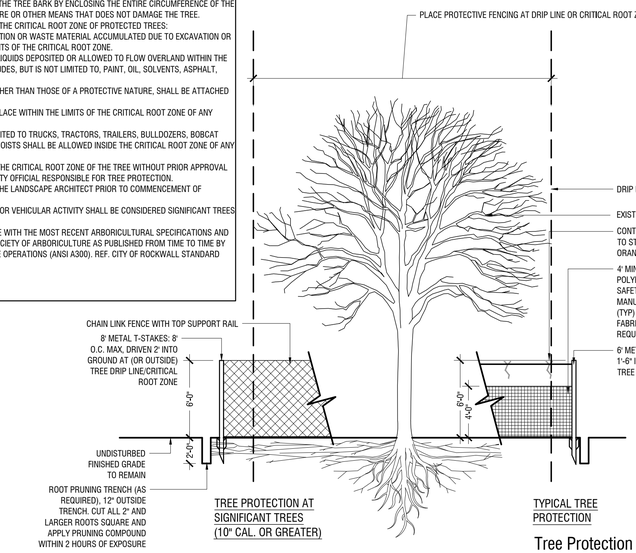
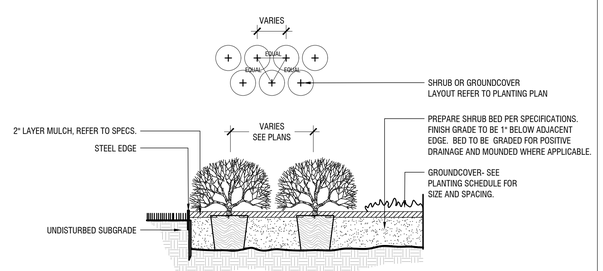
NOTES:
1. THE CRITICAL ROOT ZONE IS DEFINED AS THE AREA OF UNDISTURBED NATURAL SOIL AROUND A TREE DEFINED BY A HORIZONTAL CIRCLE DRAWN AT GRADE WITH THE CENTER BEING THE CENTER OF THE TRUNK OF THE TREE AND A RADIUS EQUAL TO THE DISTANCE FROM THE TRUNK TO THE OUTERMOST PORTION OF THE DRIP LINE.
2. THE DRIP LINE IS DEFINED AS WHICHEVER OF THE FOLLOWING IS THE LARGEST:
   - 2.a. THE IRREGULAR SHAPE FORMED AROUND A TREE BY A SERIES OF VERTICAL LINES THAT RUN THROUGH THE OUTERMOST PORTION OF THE CANOPY OF THE TREE AND EXTEND TO THE GROUND -OR-
   - 2.b. A CIRCULAR AREA WITH A RADIUS OF ONE-HALF (1/2) THE HEIGHT OF THE TREE EXTENDING OUTWARD FROM THE CENTER POINT OF THE TREE.
3. PERFORM ROOT PRUNING ON ALL EXISTING TREES WHERE CONSTRUCTION ACTIVITY WILL FALL WITHIN THE DRIP LINE/CRITICAL ROOT ZONE OF TREES.
4. ONE (1) MONTH PRIOR TO EXCAVATION AND CONSTRUCTION ACTIVITIES, HAND CUT ROOTS BY DIGGING A TRENCH 18"-24" DEEP BY 8" WIDE ALONG THE OUTSIDE PERIMETER OF THE TREE DRIP LINE/CRITICAL ROOT ZONE, MINIMUM. PLACE TRENCH ON THE OUTSIDE OF TREE PROTECTION FENCE.
5. BARK PROTECTION: IN SITUATIONS WHERE A PRESERVED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE CONTRACTOR SHALL PROTECT THE TREE BARK BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE WITH 2" x 4" (2x4) LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE.
6. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES:
   - 6.a. NO MATERIAL INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIAL ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE.
   - 6.b. NO EQUIPMENT SHALL BE CLEANED OR OTHER LIQUIDS DEPOSITED OR ALLOWED TO FLOW OVERLAND WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE. THIS INCLUDES, BUT IS NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR SIMILAR MATERIALS
   - 6.c. NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY PRESERVED TREE
   - 6.d. NO VEHICULAR AND/OR PARKING SHALL TAKE PLACE WITHIN THE LIMITS OF THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE
   - 6.e. NO HEAVY EQUIPMENT, INCLUDING BUT NOT LIMITED TO TRUCKS, TRACTORS, TRAILERS, BULLDOZERS, BOBCAT TRACTORS, TRENCHERS, COMPRESSORS AND HOISTS SHALL BE ALLOWED INSIDE THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE.
   - 6.f. NO GRADE CHANGE WILL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT, OWNER AND CITY OFFICIAL RESPONSIBLE FOR TREE PROTECTION.
7. SIGNIFICANT TREES TO BE MARKED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
8. ALL TREES WITHIN (10) FEET OF ANY CONSTRUCTION OR VEHICULAR ACTIVITY SHALL BE CONSIDERED SIGNIFICANT TREES AND PROTECTED AS SUCH.
9. ALL PRUNING SHALL BE CONDUCTED IN ACCORDANCE WITH THE MOST RECENT ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE AS PUBLISHED FROM TIME TO TIME BY THE AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS (ANSI A300). REF. CITY OF ROCKWALL STANDARD TREE PROTECTION DETAILS.



Tree Protection Fencing

Scale: 3/16" = 1'-0"

D

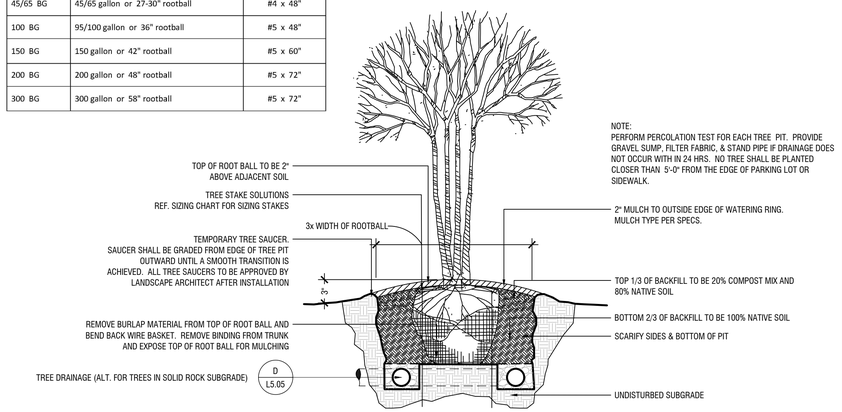


Shrubs & Groundcover

Scale: 1/2" = 1'-0"

C

Item#	Description	Nail Length x 3 pcs (included)
5 BG	5 gallon or 10" rootball	#4 x 24"
15 BG	10/15 gallon or 17" rootball	#4 x 36"
30 BG	20/30 gallon or 22" rootball	#4 x 36"
45/65 BG	45/65 gallon or 27-30" rootball	#4 x 48"
100 BG	95/100 gallon or 36" rootball	#5 x 48"
150 BG	150 gallon or 42" rootball	#5 x 60"
200 BG	200 gallon or 48" rootball	#5 x 72"
300 BG	300 gallon or 58" rootball	#5 x 72"

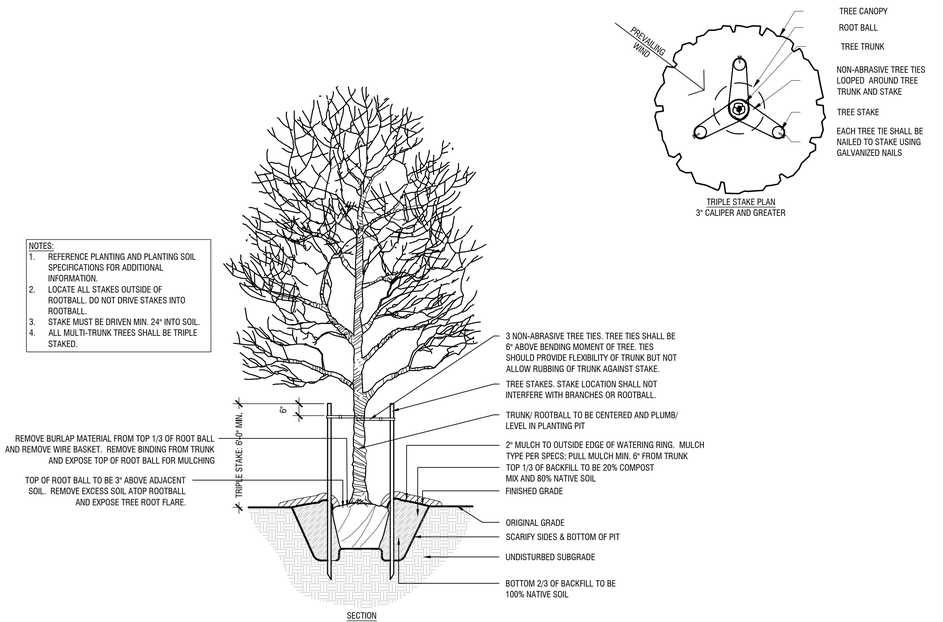


NOTE:
PERFORM PERCOLATION TEST FOR EACH TREE PIT. PROVIDE GRAVEL SUMP, FILTER FABRIC, & STAND PIPE IF DRAINAGE DOES NOT OCCUR WITH IN 24 HRS. NO TREE SHALL BE PLANTED CLOSER THAN 5'-0" FROM THE EDGE OF PARKING LOT OR SIDEWALK.

Multi-trunk / Ornamental Tree

Scale: 1/2"=1'-0"

B



Canopy Tree - 5" or Smaller (Above Grade Tree Stakes)

Scale: 1/2"=1'-0"

A

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Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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Kimley»Horn
P.L.A. No. 3323 Courtney L. Smith Date 03.18.2022

KHA PROJECT 068213117
DATE 03/18/2022
SCALE AS SHOWN
DESIGNED BY CLS
DRAWN BY NJF
CHECKED BY AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

LANDSCAPE DETAILS

CASE NO.

SHEET NUMBER
L1.05

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
3. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
5. FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
6. ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
7. LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
8. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
9. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
10. ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
11. ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
12. PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
13. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
14. ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
15. TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT
16. CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
17. THE PROPERTY OWNER WILL MAINTAIN PLANTS AND IRRIGATION SYSTEM ON SITE.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
2. CONTACT DEVELOPMENT SERVICES FOR IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVERSPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE R.O.W.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND (5') FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND DIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS, ETC. SHALL BE LOCATED CLOSER THAN (10') FROM THE CURB AT STREET OR DRIVEWAY INTERSECTIONS.

PLANT SCHEDULE

TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Bald Cypress / Taxodium distichum	4" cal	12`-14` ht		24	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR AT SIDEWALKS
	Cedar Elm / Ulmus crassifolia	4" cal	12`-14` ht		15	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR AT SIDEWALKS
	Eastern Redcedar / Juniperus virginiana	4" cal	12`-14` ht		19	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR AT SIDEWALKS
	Existing Tree to Remain / Existing Tree to Remain	-			78	
	Lacebark Elm / Ulmus parvifolia	4" cal	12`-14` ht		16	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR
	Live Oak / Quercus virginana	4" cal	12`-14` ht		39	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER, 7` CLEAR AT SIDEWALKS
FLOWERING TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Desert Willow / Chilopsis linearis	45 gal	8`-10` ht		24	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.)
	Texas Redbud / Cercis canadensis var. texensis	45 gal	8`-10` ht		39	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED
SHRUBS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS
	Dwarf Yaupon / Ilex vomitoria `Nana`	5 gal	24" h x 24" w	36" OC	306	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Green Cloud Texas Ranger / Leucophyllum frutescens `Green Cloud` TM	5 gal	24" h x 24" w	36" OC	294	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
GROUND COVERS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	
	Bermuda Grass / Cynodon dactylon	sod			336,268 sf	REFER TO SPECIFICATIONS
	Drainfield Mix / Drainfield Mix	flat			92,194 sf	DRAINFIELD SEED MIX. REF. NATIVE AMERICAN SEED COMPANY.

Kriss Rockwall
Code Calculations Chart

Site Data	**AC**	**SF**
Total Site Area	16.44	716,117
Surface Parking Spaces	267	

Site Landscape Area	**Required (% / SF)**	**Provided (% / SF)**
15% of site to be landscaped	15%	33%
	107,418	233,553

Street Frontage	**Required**	**Provided**
Discovery Boulevard (408 LF)		
1 Canopy Tree/ 50 LF	8	8
1 Accent Tree/50LF	8	8
1 Cedar Tree/100LF	4	4
Continuous row of shrubs and berming (min. 30" ht.)	YES	YES
Corporate Crossing (1042 LF)		
1 Canopy Tree/ 50 LF	21	21
1 Accent Tree/50LF	21	21
1 Cedar Tree/100 LF	10	10
Continuous row of shrubs and berming (min. 30" ht.)	YES	YES
SH 276 (507 LF)		
1 Canopy Tree/ 50 LF	10	10
1 Accent Tree/50LF	10	10
1 Cedar Tree/100LF	5	5
Continuous row of shrubs and berming (min. 30" ht.)	YES	YES

Parking Lot	**Required**	**Provided**
1 Large Canopy Tree/ 10 parking spaces	27	31
One tree within 80' of each parking space	YES	YES
Headlight Screening (min. 2' ht. berm with evergreen shrubs)	YES	YES

Detention Basin Screening	**Required**	**Provided**
1 Canopy Tree/ 50LF	24	24
1 Accent Tree/50 LF	24	24

KRISS ROCKWELL - TREE MITIGATION CHART

CODE REQUIRED

COMMON NAME	SCIENTIFIC NAME	QTY	CAL.	MITIGATION
Bald Cypress	*Taxodium distichum*	**24**	**4**	**96**
Cedar Elm	*Ulmus crassifolia*	**15**	**4**	**60**
Shumard Red Oak	*Quercus shumardii*	**19**	**4**	**76**
Lacebark Elm	*Ulmus parvifolia*	**16**	**4**	**64**
Live Oak	*Quercus virginiana*	**39**	**4**	**156**
	TOTAL MITIGATION REQUIRED:			107.8
	TOTAL MITIGATION PROVIDED:			452.0
	TOTAL MITIGATION OUTSTANDING:			-344.3

NOTE: ALL MITIGATION TREES TO BE MIN. 4" CAL.

NO.	REVISIONS	DATE	BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928

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Kimley»Horn
P.L.A. Courtney L. Smith
L.A. No. 3323 Date 03.18.2022

KHA PROJECT 068213117	DATE 03/18/2022	SCALE AS SHOWN	DESIGNED BY CLS	DRAWN BY NJF	CHECKED BY AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

LANDSCAPE NOTES AND CALCULATIONS

CASE NO.

SHEET NUMBER
L1.00

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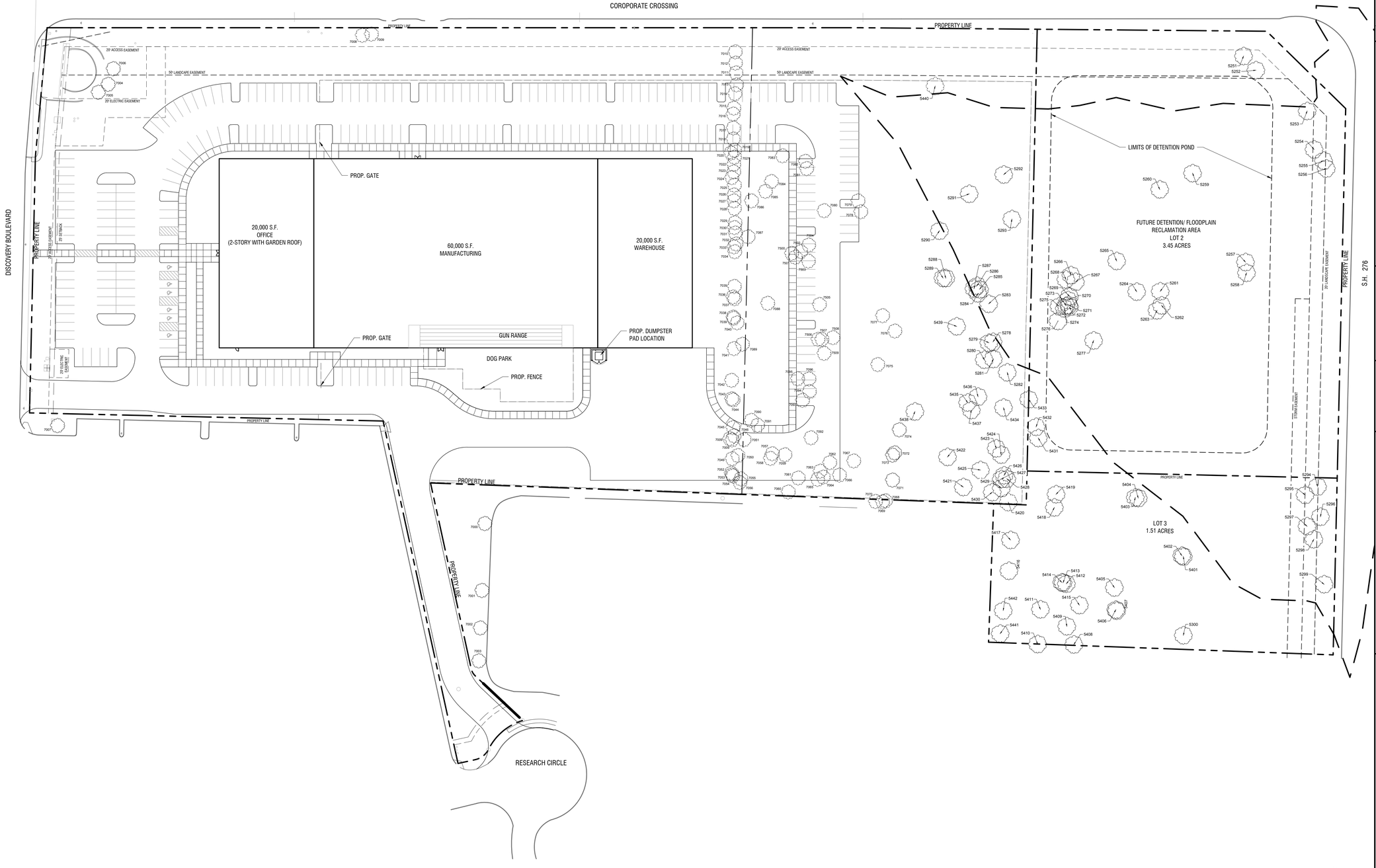
IMAGES rockwall logo Tree Stake Solutions Chart
XREFS Attached: xref - Plan 24x36 x-Sitev Above Grade Detail_TSS cont 5 yr smaller Detail_shrub groundcover Detail_Tree Protection xLandscapeDALL45 xTrees Detail_TSS cont multistake.rvm
LAST SAVED 3/18/2022 1:19 PM
PLOT STAMP 3/18/2022 1:19:36 PM
DWG PATH K:\MKN_DAL\Pr_PROJECTS\068213117 KRISS ROCKWALL\CADD\SHEETS\CIVIL
DWG NAME L1.01 LOAD_LANDSCAPE PLAN2.DWG [L1.00]

SYMBOL LEGEND:		
17	EXISTING TREE TO BE REMOVED	
2	EXISTING TREE TO REMAIN	TREE TO BE SAVED
	TREE PROTECTION FENCING	4' HT. PROTECTION FENCING, TO BE LOCATED AT LIMIT OF GRADING AROUND EXISTING VEGETATION



Treescape Plan

Scale: 1" = 50'-0"

A

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Kimley»Horn

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260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
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KHA PROJECT	068213117
DATE	03/18/2022
SCALE	AS SHOWN
DESIGNED BY	CLS
DRAWN BY	NJF
CHECKED BY	AJB

PROJECT BULLSEYE
NWC SH 276 & FM 549

ROCKWALL, TEXAS

City of Rockwall

TREESCAPE PLAN

CASE NO.

SHEET NUMBER
L1.07

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Rockwall EDC (Lot 2) - City of Rockwall

Tag Number	DBH	Common Name	*Scientific Name*	Condition	Trunk	Action	Class	Replacement Ratio	Mitigation Required
5251	9.0	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5252	7.3	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5253	12.3	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5254	17.4	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Protect	Secondary	.5:1	N/A
5255	9.8	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5256	10.6	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5257	4.0	black willow	*Salix nigra*	Hazard	Single	Remove	Unprotected	N/A	0.00
5258	8.6	black willow	*Salix nigra*	Hazard	Single	Remove	Unprotected	N/A	0.00
5259	15.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Remove	Unprotected	N/A	0.00
5260	25.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Remove	Unprotected	N/A	0.00
5261	15.0	honey locust	*Gleditsia triacanthos*	Healthy	Multi	Remove	Unprotected	N/A	0.00
5262	8.0	Osage-orange	*Maclura pomifera*	Healthy	Multi	Remove	Unprotected	N/A	0.00
5263	6.4	black willow	*Salix nigra*	Declining	Single	Remove	Unprotected	N/A	0.00
5264	5.0	black willow	*Salix nigra*	Healthy	Single	Remove	Unprotected	N/A	0.00
5265	7.4	honey locust	*Gleditsia triacanthos*	Healthy	Single	Remove	Unprotected	N/A	0.00
5266	95.0	black willow	*Salix nigra*	Healthy	Single	Remove	Unprotected	N/A	0.00
5267	11.5	hackberry	*Celtis laevigata*	Healthy	Forked	Remove	Secondary	.5:1	5.75
5268	22.0	black willow	*Salix nigra*	Healthy	Forked	Remove	Unprotected	N/A	0.00
5269	18.5	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Remove	Secondary	.5:1	9.25
5270	10.6	black willow	*Salix nigra*	Healthy	Single	Remove	Unprotected	N/A	0.00
5271	6.6	hackberry	*Celtis laevigata*	Healthy	Single	Remove	Unprotected	N/A	0.00
5272	6.7	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected	N/A	0.00
5273	11.5	hackberry	*Celtis laevigata*	Healthy	Forked	Remove	Secondary	.5:1	5.75
5274	8.5	hackberry	*Celtis laevigata*	Healthy	Single	Remove	Unprotected	N/A	0.00
5275	8.0	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Remove	Unprotected	N/A	0.00
5276	4.3	hackberry	*Celtis laevigata*	Healthy	Single	Remove	Unprotected	N/A	0.00
5277	8.0	honey locust	*Gleditsia triacanthos*	Healthy	Forked	Remove	Unprotected	N/A	0.00
5278	8.3	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5279	4.8	hackberry	*Celtis laevigata*	Healthy	Single	Protect	Unprotected	N/A	N/A
5280	7.6	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5281	8.5	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5282	6.3	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5283	9.0	black willow	*Salix nigra*	Healthy	Single	Protect	Unprotected	N/A	N/A
5284	6.2	hackberry	*Celtis laevigata*	Healthy	Single	Protect	Unprotected	N/A	N/A
5285	7.2	American elm	*Ulmus americana*	Healthy	Forked	Protect	Primary	1:1	N/A
5286	7.7	eastern cottonwood	*Populus deltoides*	Healthy	Single	Protect	Unprotected	N/A	N/A
5287	6.1	hackberry	*Celtis laevigata*	Healthy	Single	Protect	Unprotected	N/A	N/A
5288	13.7	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5289	10.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5290	8.0	honey locust	*Gleditsia triacanthos*	Declining	Single	Protect	Unprotected	N/A	N/A
5291	9.5	honey locust	*Gleditsia triacanthos*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5292	9.0	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5293	10.0	honey locust	*Gleditsia triacanthos*	Healthy	Single	Protect	Unprotected	N/A	N/A
5294	7.6	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5295	6.0	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5296	8.4	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5297	8.7	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5298	9.2	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5299	9.9	live oak	*Quercus virginiana*	Healthy	Single	Protect	Primary	1:1	N/A
5300	14.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5401	12.2	Osage-orange	*Maclura pomifera*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5402	7.7	honey locust	*Gleditsia triacanthos*	Healthy	Single	Protect	Unprotected	N/A	N/A
5403	16.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	0.00
5404	7.6	honey locust	*Gleditsia triacanthos*	Healthy	Single	Protect	Unprotected	N/A	0.00
5405	14.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5406	12.3	Osage-orange	*Maclura pomifera*	Healthy	Single	Protect	Unprotected	N/A	N/A
5407	7.2	Osage-orange	*Maclura pomifera*	Healthy	Single	Protect	Unprotected	N/A	N/A
5408	20.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5409	14.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5410	22.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5411	15.0	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5412	16.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5413	6.8	honey locust	*Gleditsia triacanthos*	Healthy	Single	Protect	Unprotected	N/A	N/A
5414	10.0	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5415	10.3	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5416	10.6	honey locust	*Gleditsia triacanthos*	Healthy	Single	Protect	Unprotected	N/A	N/A
5417	13.0	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Secondary	N/A	N/A
5418	14.0	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Protect	Secondary	N/A	N/A
5419	6.0	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5420	16.3	Osage-orange	*Maclura pomifera*	Healthy	Multi	Remove	Unprotected	N/A	N/A
5421	10.5	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5422	15.0	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Protect	Secondary	N/A	N/A
5423	7.4	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5424	8.7	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5425	10.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5426	6.7	hackberry	*Celtis laevigata*	Healthy	Single	Protect	Unprotected	N/A	N/A
5427	11.7	Osage-orange	*Maclura pomifera*	Healthy	Multi	Protect	Unprotected	N/A	N/A
5428	7.6	Osage-orange	*Maclura pomifera*	Healthy	Single	Protect	Unprotected	N/A	N/A
5429	7.2	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5430	4.3	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5431	6.1	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected	N/A	N/A
5432	10.5	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Remove	Unprotected	N/A	N/A
5433	7.0	honey locust	*Gleditsia triacanthos*	Healthy	Single	Remove	Unprotected	N/A	N/A
5434	13.5	eastern redcedar	*Juniperus virginiana*	Healthy	Multi	Protect	Secondary	N/A	N/A
5435	12.0	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary	N/A	N/A
5436	10.5	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5437	5.5	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5438	9.7	eastern redcedar	*Juniperus virginiana*	Healthy	Forked	Protect	Unprotected	N/A	N/A
5439	9.3	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected	N/A	N/A
5440	11.5	Osage-orange	*Maclura pomifera*	Healthy	Multi	Remove	Unprotected	N/A	N/A
5441	12.0	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary	N/A	N/A
5442	12.0	eastern redcedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary	N/A	N/A

Kimley-Horn red tree tag series: 5251-5300; 5401-5442. Trees measuring 4-inches or larger at DBH were tagged, in accordance with the City of Rockwall Tree Ordinance.

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	0	0
Total tree inches being removed - Secondary - 0.5:1	41.5	20.8
Total tree inches being removed - Feature - 2:1	0	0.0
Total tree inches being removed	41.5	20.8

Mitigation Inches	**20.75**
Proposed Tree Inches Per Planting Plan	**340**
NET TOTAL	**-319.25**

Tree Inches Being Relocated	Tree Inches	Mitigation Inches
Total small tree inches being relocated - 1:1	0	0
Total large and medium trees being relocated - < 6" - 1:1	0	0
Total large and medium trees being relocated - 7"-12" - 2:1	0	0
Total large and medium trees being relocated - 12"-24" - 3:1	0	0
Total large and medium trees being relocated - > 24" - 5:1	0	0
Total tree inches being relocated	0	0

Project Bullseye (Lot 7) - City of Rockwall

Tag Number	DBH	Common Name	*Scientific Name*	Condition	Trunk	Action	Class	Replacement Ratio	Mitigation Required
7000	7	Live Oak	*Quercus virginiana*	Healthy	Single	Protect	Primary		
7001	12	Cedar Elm	*Ulmus crassifolia*	Healthy	Single	Protect	Primary		
7002	10	Cedar Elm	*Ulmus crassifolia*	Healthy	Single	Protect	Primary		
7003	12	Cedar Elm	*Ulmus crassifolia*	Healthy	Single	Protect	Primary		
7004	14	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary		
7005	14	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary		
7006	12	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary		
7008	8	Live Oak	*Quercus virginiana*	Healthy	Single	Remove	Primary	1:1	8
7009	7	Live Oak	*Quercus virginiana*	Healthy	Single	Remove	Primary	1:1	7
7010	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7011	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7012	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7013	10	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7014	12	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Secondary	1:0.5	6
7015	12	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Secondary	1:0.5	6
7016	12	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Secondary	1:0.5	6
7017	12	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Secondary	1:0.5	6
7018	12	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Secondary	1:0.5	6
7019	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7020	10	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7021	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7022	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7023	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7024	6	Honey Locust	*Gleditsia triacanthos*	Healthy	Single	Remove	Unprotected		
7025	10	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7026	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7027	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7028	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7029	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7030	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7031	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7032	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7033	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7034	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7035	10	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7036	8	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7037	10	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7038	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7039	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7040	10	Cedar Elm	*Ulmus crassifolia*	Healthy	Single	Remove			
7041	10	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7042	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7043	10	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7044	9	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7045	36	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:2	72
7046	7	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7047	8	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7048	11	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7049	6	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7050	8	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7051	8	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7052	8.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7053	7.0	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7054	7.0	Hackberry	*Celtis occidentalis*	Healthy	Single	Remove	Unprotected		
7055	7.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7056	13.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	6.5
7057	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7058	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7059	14.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	7
7060	19.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	9.5
7061	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7062	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7063	6.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7064	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7065	8.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7066	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7067	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7068	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7069	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7070	10.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7071	9.0	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected		
7072	12.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Protect	Secondary		
7073	14.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Protect	Secondary		
7074	12.0	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Secondary		
7075	7.0	Unknown	*Unknown*	Healthy	Single	Protect	Unprotected		
7076	8.0	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected		
7077	10.0	Cedar	*Juniperus virginiana*	Healthy	Single	Protect	Unprotected		
7078	12.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	
7079	11.0	Honey Locust	*Gleditsia triacanthos*	Healthy	Single	Remove	Unprotected		
7078	12.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	6
7079	11.0	Honey Locust	*Gleditsia triacanthos*	Healthy	Single	Remove	Unprotected		
7080	8.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7081	7.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7082	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7083	11.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7084	14.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	7
7085	6.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7086	13.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	6.5
7087	15.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	7.5
7088	14.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	7
7090	10.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7091	6.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7092	15.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	7.5
7093	11.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7094	13.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	6.5
7095	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7096	7.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7500	7.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7501	7.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7502	19.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Secondary	1:0.5	9.5
7503	7.0	Bois D'Arc	*Maclura pomifera*	Healthy	Single	Remove	Unprotected		
7504	18.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	9
7505	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7506	8.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7507	11.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Unprotected		
7508	12.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	6
7509	14.0	Cedar	*Juniperus virginiana*	Healthy	Single	Remove	Secondary	1:0.5	7

Kimley-Horn red tree tag series: 7000-7096; 7500-7509. Trees measuring 4-inches or larger at DBH were tagged, in accordance with the City of Rockwall Tree Ordinance.

Tree Inches Being Removed	Tree Inches	Mitigation Inches
Total tree inches being removed - Primary - 1:1	15	15
Total tree inches being removed - Secondary - 0.5:1	317.0	0.0
Total tree inches being removed - Feature - 2:1	36	72.0
Total tree inches being removed	424.4	87

Mitigation Inches	**87**
Proposed Tree Inches Per Planting Plan	**364**
NET TOTAL	**-277**

Tree Inches Being Relocated	Tree Inches	Mitigation Inches
Total small tree inches being relocated - 1:1	0	0
Total large and medium trees being relocated - < 6" - 1:1	0	0
Total large and medium trees being relocated - 7"-12" - 2:1	0	0
Total large and medium trees being relocated - 12"-24" - 3:1	0	0
Total large and medium trees being relocated - > 24" - 5:1	0	0
Total tree inches being relocated	0	0

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

rockwall logo - dfw-3dv36 - xDw - above grade - detail_ornamental - Above Grade - Detail_725 cont 5 or smaller - Detail_shrub_groundcover - Detail_Tree Protection - xTrees
IMAGES
XREFS
LAST SAVED
PLOTTED
DWG PATH
DWG NAME
3/18/2022 1:16 PM
3/18/2022 1:16:37 PM
K:\MKN_LALD_PROJECTS\068213117 - KRSS ROCKWALL\CAD\SHEETS\CIVIL
L1.06 TREE SURVEY [L1.06 TREE SURVEY]

No.	REVISIONS	DATE	BY

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
260 EAST DAVIS STREET, SUITE 100, MCKINNEY, TX 75069
PHONE: 469-301-2580 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX-F-928

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Courtney L. Smith
L.A. No. 3323 Date 03.18.2022

KHA PROJECT 068213117	SCALE AS SHOWN	DESIGNED BY CLS
DATE 03/18/2022		DRAWN BY NJF
		CHECKED BY AJB

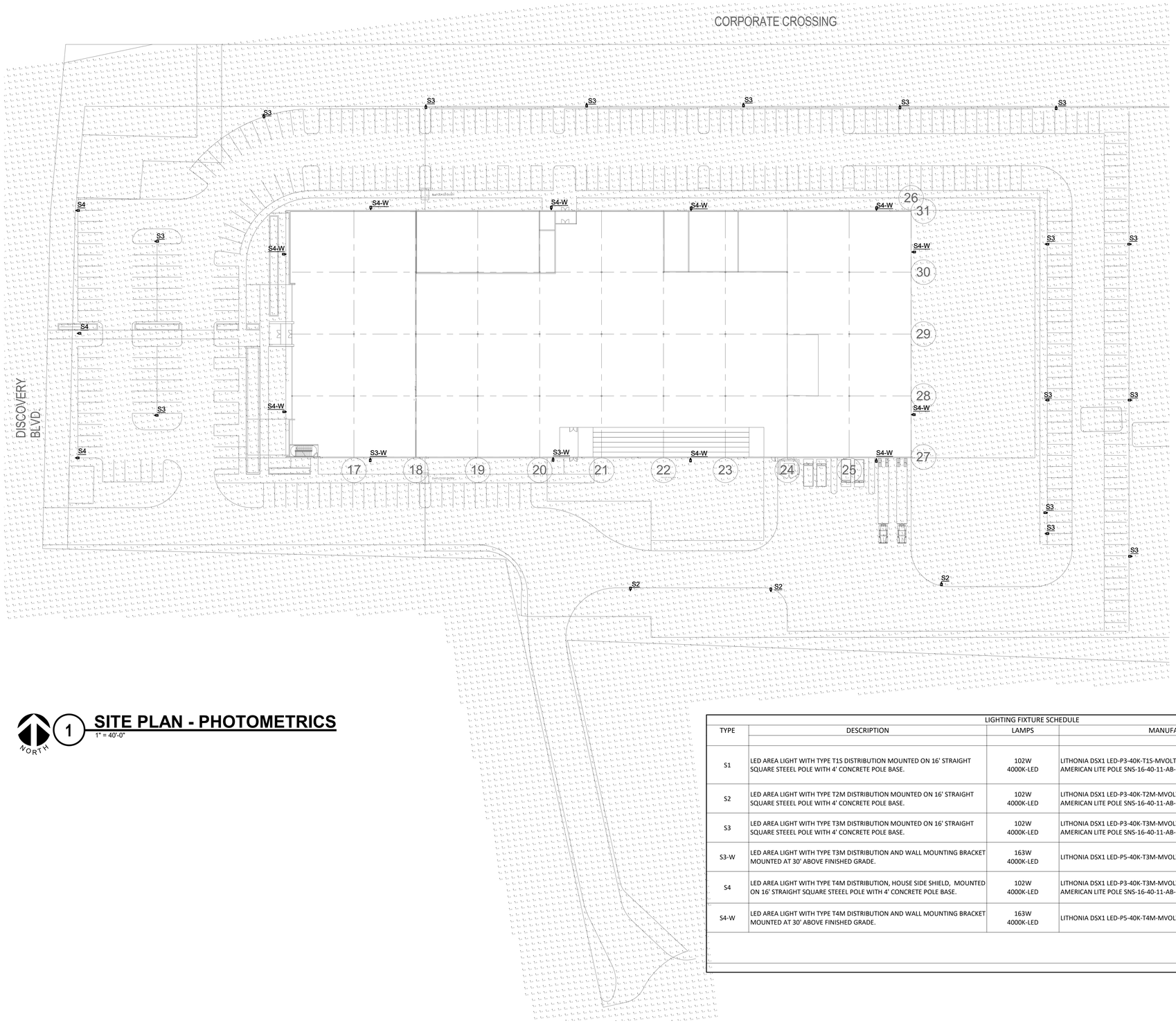
PROJECT BULLSEYE
NWC SH 276 & FM 549
ROCKWALL, TEXAS

City of Rockwall

TREE SURVEY

CASE NO.

SHEET NUMBER
L1.06



NORTH

1 SITE PLAN - PHOTOMETRICS

1" = 40'-0"

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	LAMPS	MANUFACTURER/CATALOG NUMBER	BUG RATING	NOTES
S1	LED AREA LIGHT WITH TYPE T1S DISTRIBUTION MOUNTED ON 16' STRAIGHT SQUARE STEEEL POLE WITH 4' CONCRETE POLE BASE.	102W 4000K-LED	LITHONIA DSX1 LED-P3-40K-T1S-MVOLT-SPA-PIRH-DDBXD AMERICAN LITE POLE SNS-16-40-11-AB-DB-D29-BC	B2-U0-G2	
S2	LED AREA LIGHT WITH TYPE T2M DISTRIBUTION MOUNTED ON 16' STRAIGHT SQUARE STEEEL POLE WITH 4' CONCRETE POLE BASE.	102W 4000K-LED	LITHONIA DSX1 LED-P3-40K-T2M-MVOLT-SPA-PIRH-DDBXD AMERICAN LITE POLE SNS-16-40-11-AB-DB-D19-BC	B2-U0-G2	
S3	LED AREA LIGHT WITH TYPE T3M DISTRIBUTION MOUNTED ON 16' STRAIGHT SQUARE STEEEL POLE WITH 4' CONCRETE POLE BASE.	102W 4000K-LED	LITHONIA DSX1 LED-P3-40K-T3M-MVOLT-SPA-PIRH-DDBXD AMERICAN LITE POLE SNS-16-40-11-AB-DB-D19-BC	B2-U0-G2	
S3-W	LED AREA LIGHT WITH TYPE T3M DISTRIBUTION AND WALL MOUNTING BRACKET MOUNTED AT 30' ABOVE FINISHED GRADE.	163W 4000K-LED	LITHONIA DSX1 LED-P5-40K-T3M-MVOLT-WBA-PIRH-DDBXD	B3-U0-G3	
S4	LED AREA LIGHT WITH TYPE T4M DISTRIBUTION, HOUSE SIDE SHIELD, MOUNTED ON 16' STRAIGHT SQUARE STEEEL POLE WITH 4' CONCRETE POLE BASE.	102W 4000K-LED	LITHONIA DSX1 LED-P3-40K-T3M-MVOLT-SPA-PIRH-HS-DDBXD AMERICAN LITE POLE SNS-16-40-11-AB-DB-D19-BC	B2-U0-G3	
S4-W	LED AREA LIGHT WITH TYPE T4M DISTRIBUTION AND WALL MOUNTING BRACKET MOUNTED AT 30' ABOVE FINISHED GRADE.	163W 4000K-LED	LITHONIA DSX1 LED-P5-40K-T4M-MVOLT-WBA-PIRH-DDBXD	B2-U0-G3	

STATE OF TEXAS
DAVID A. SMITH
129382
LICENSED
PROFESSIONAL ENGINEER

03/18/2022

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gsr andrade
ARCHITECTS
4121 Commerce St. Ste. 1
Dallas, Texas 75226
P 214.824.7040
F 214.887.0559

GSR Andrade Architects
Architect
Civil Engineer
Structural Engineer
Mechanical Engineer
Electrical Engineer
Plumbing Engineer
Landscape Architect

A NEW PROJECT BY KRISS USA:

'PROJECT BULLSEYE'

CORPORATE CROSSING
ROCKWALL, TEXAS 75032

PROJECT NO.: 3040
DATE: 03/18/22
REVISIONS:

NO.	DATE	DESCRIPTION

E001
SITE PLAN - ELECTRICAL

STREAM

2001 Ross Avenue
Suite 400
Dallas, TX 75201
Phone: 214.267.0400
Fax: 214.267.0404
www.streamrealty.com

March 18, 2022

Rockwall Planning Department
385 S Goliad Street
Rockwall, TX 75087

RE: Project Bullseye Site Plan Submission
NWC Corporate Crossing & FM 276

Dear Planning Staff,

On behalf of the prospective buyer of the subject tract, we are pleased to submit our application for Site Plan review. The project will consist of a purpose-built office, warehouse, manufacturing use which is an allowed use in the Light Industrial zoning district. With our site plan, we are requesting the below listed variance which are known to the Rockwall Economic Development Corporation and in return are willing to provide the also below listed upgrades:

Building Variance Requests:

- (C), (1) Materials- 90% Masonry (tilt not a masonry material) required with a mix of accent masonry all 4 sides of the building.
  - Requested Variance: Variance to accept painted Tilt Wall with reveals as Masonry.
- (C), (2) Roof Design- no flat roofs allowed in the Overlay.
  - Requested Variance: Allow Flat/Low Slope Roof
- (C), (4) Architectural Elements- we would need 7 features as listed and highlighted in the attached file and spread across the perimeter.
  - Requested Variance: No Additional Architectural Features beyond that shown in the renderings of the North Elevation of the Office Entry.
- (C), (5) Architectural finished all 4 sides.
  - Requested Variance: Clean Modern articulation/massing without ornamentation in lieu of prescribed Elements under (C), (4)

Site Variance Requests:

- Code Requirement: Double Head-In parking provided along frontage of Discovery Blvd
  - Requested Variance: The client has a higher need for parking to be located at the front entrance of the office portion of the building. Based on the configuration of the site, single head-in parking would result in employees parking far from their point of entry.

Landscape Variance Requests:

Detention Pond Planting:

- Code Requirement: We are required to plant canopy trees based on SF of the pond.

- Requested Variance: Propose we provide 1 canopy tree and 1 accent tree per 50 LF of perimeter of the pond

Landscape Buffer for Overlay District:

- Code Requirement: The overlay requirements are pretty stout (2 canopy trees and basically 5 accent trees per 100 LF, so 50' o.c. for canopy trees and 20; o.c. for the ornamentals.)
  - Requested Variance: I'd like to ask to reduce to 2 canopy trees, 2 accent trees, and 1 cedar tree per 100 LF for both the 276 Overlay district and the 549 Overlay District

Should you have any questions on the above or during the application, please feel free to contact our design team or this office.

Respectfully submitted,

Grayson K. Hughes, PE
Director
Stream Realty Partners
Industrial Development Services